

Please note: changes have been made to the Statements of Significance contained within this report following the reports' finalisation. The changes were made as a result of Amendment C240glen authorisation conditions and following the C240glen Planning Panel hearing. The final Statements of Significance are incorporated at Clause 72.04 of the Glen Eira Planning Scheme and supersede the ones in this report.



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CITY OF GLEN EIRA

MCKINNON HERITAGE REVIEW



PREPARED FOR: Glen Eira City Council
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Cover page image: Looking east from opposite Elm Grove to the north side of McKinnon Village shopping precinct (GJM Heritage, December 2022).

ACKNOWLEDGEMENTS

We would like to acknowledge the valuable information provided by Glen Eira City Council to assist us in undertaking this heritage review. Our gratitude goes to Anne Kilpatrick of the Glen Eira Historical Society and Carol Poole of the Moorabbin Historical Society for their assistance.

The study area forms part of the traditional lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation People, who are represented by the Bunurong Land Council Aboriginal Corporation. This heritage review is limited in its scope to consideration of post-contact cultural heritage and does not specifically address Aboriginal cultural heritage significance. Nonetheless, we acknowledge the Traditional Owners of the land and pay our respects to their Elders past, present and emerging. For more information, please visit <https://www.bunuronglc.org/>.

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CONTENTS

1	INTRODUCTION	1
2	LOCALITY HISTORY	3
3	HERITAGE REVIEW METHODOLOGY.....	5
3.1	Defining a Heritage Place.....	5
3.2	Defining a 'Locally Significant' Heritage Threshold	5
3.3	Documentation Review.....	5
3.3.1	Council property data.....	5
3.3.2	Heritage resources.....	6
3.4	Survey of the Study Area	6
3.5	Detailed Assessments.....	6
3.5.1	Historical Research.....	7
3.5.2	Locality History	8
3.5.3	Historic Themes.....	8
3.5.4	Physical Analysis.....	8
3.5.5	Comparative Analysis	8
3.5.6	Assessment Against Criteria	9
3.5.7	Statement of Significance.....	9
3.5.8	Extent of Heritage Curtilage	9
3.5.9	Schedule to the Heritage Overlay Triggers.....	9
4	FINDINGS & RECOMMENDATIONS.....	11
4.1	Individual Places Recommended for the Heritage Overlay.....	11
4.2	Precincts Recommended for the Heritage Overlay	15
4.3	Individual Places Not Recommended for the Heritage Overlay	18

APPENDICES

APPENDIX I: PLANNING PRACTICE NOTE 1: APPLYING THE HERITAGE OVERLAY (2018)

APPENDIX II: CITATIONS AND STATEMENTS OF SIGNIFICANCE FOR PLACES AND PRECINCTS RECOMMENDED FOR INCLUSION IN THE HERITAGE OVERLAY

APPENDIX III: ASSESSMENTS OF PLACES NOT RECOMMENDED FOR INCLUSION IN THE HERITAGE OVERLAY



1 INTRODUCTION

Glen Eira City Council (“Council”) commissioned GJM Heritage to undertake the *McKinnon Heritage Review* (“the heritage review”) in 2022. The purpose of the heritage review has been to:

1. undertake a heritage gap study of the suburb of McKinnon and the northern portion of the suburb of Bentleigh to identify places and precincts of potential heritage significance; and
2. determine whether those places identified satisfy the threshold for local heritage significance and inclusion in the Heritage Overlay of the Glen Eira Planning Scheme.

The study area is illustrated at Figure 1. For the purposes of the heritage review, the residential area included within HO75 (Ormond and Environs Precinct) was excluded, to be considered at a later date as part of a future Ormond Heritage Review. However, this review did consider the commercial part of HO75 within McKinnon (the McKinnon Village Shopping Centre) with a view to determining whether the commercial precinct warranted its own Heritage Overlay and Statement of Significance.

The heritage review comprised a number of stages: documentation review, desktop fieldwork, on-site fieldwork, detailed heritage assessments, and preparation of Statements of Significance.

This report documents the methodology for the heritage review, and provides a summary of its findings and recommendations. Appended to this report are the heritage citations and Statements of Significance for those places recommended for inclusion in the Heritage Overlay and the heritage assessments for those places determined not to meet the threshold for inclusion in the Heritage Overlay.

Over 3,000 properties within the City of Glen Eira are currently included in the Heritage Overlay; however, the heritage review study area contains only three existing places of individual significance, one precinct, and a portion of a very large precinct (HO75, Ormond and Environs Precinct). These Heritage Overlays are listed below and are indicated on the map at Figure 1:

- HO75 Ormond and Environs Precinct
- HO117 Fountain and Pediment, 32-46 Huntley Street, Bentleigh
- HO129 House, 162 McKinnon Road, McKinnon
- HO224 House, 14-16 Clee Street, McKinnon
- HO188 Field Street Precinct.

The limited application of the Heritage Overlay potentially reflects that that area was – prior to 1994 – within the City of Moorabbin, which had undertaken less heritage assessment work than the City of Caulfield at the time of amalgamation. It may also reflect that the area generally developed later than the northern portion of the municipality and comprised more modestly-scaled building stock compared to the grander buildings found particularly around Caulfield. The aim of this review is to therefore review the existing built environment of the study area and to determine



whether there are places of heritage value that are worthy of inclusion in the Heritage Overlay when assessed against the current heritage assessment criteria.

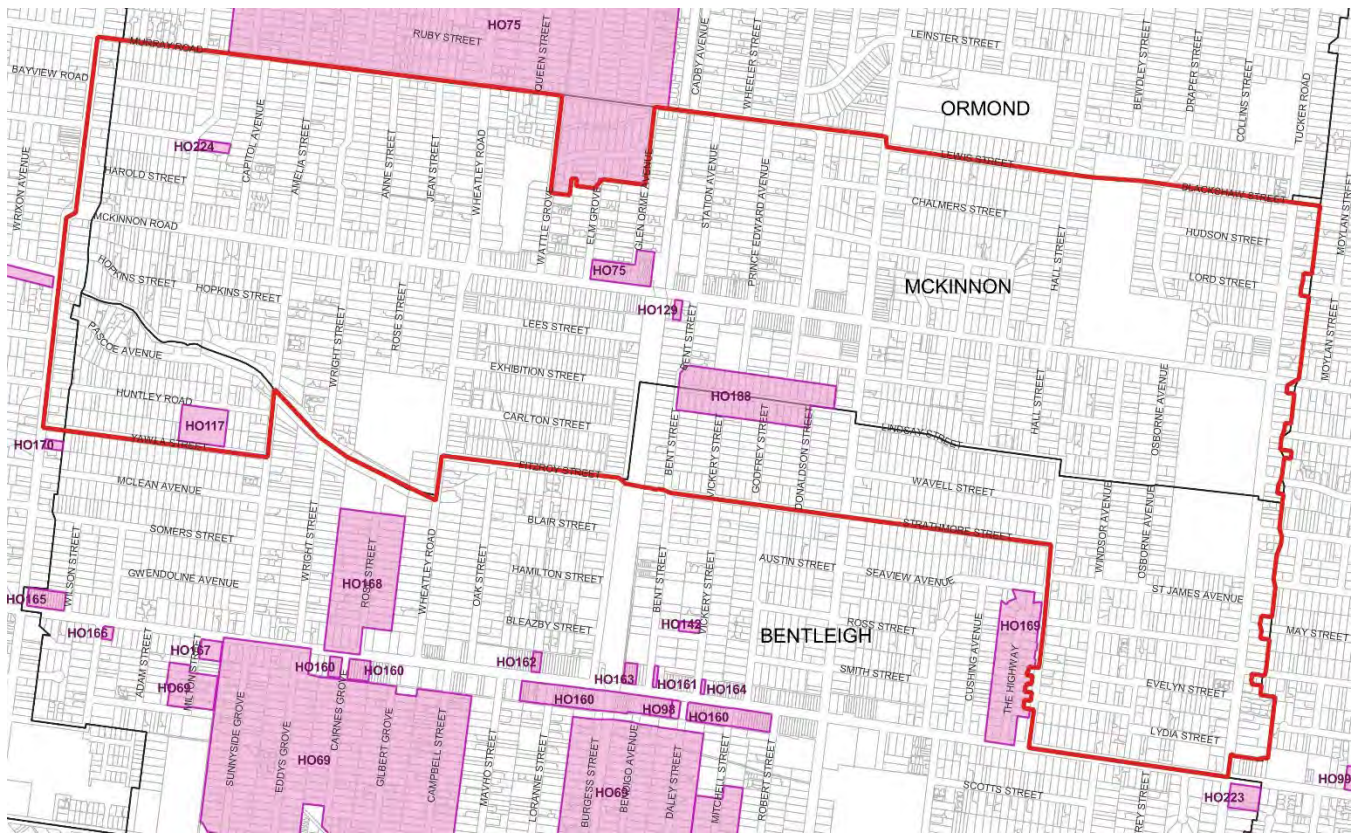


Figure 1. Study area indicated in red. Existing Heritage Overlays indicated in pink (Source: GJM Heritage, 2023 utilising VicPlan planning and property data).



2 LOCALITY HISTORY

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited. This history is replicated in each of the heritage citations and assessments contained in Appendix II & III to provide a historical context to the place being considered when that assessment is read in isolation from this broader report.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).



It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

3 HERITAGE REVIEW METHODOLOGY

The methodology adopted for the heritage review accords with the Victorian Planning Provisions *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018) ('PPN1', see Appendix I) and the principles of the ICOMOS Burra Charter (including its guidelines for identifying and assessing places).

3.1 Defining a Heritage Place

The term 'heritage place' is applied in the heritage review as per the definition in PPN1:

A heritage place could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land. It cannot include movable or portable objects such as machinery within a factory or furniture within a house.

3.2 Defining a 'Locally Significant' Heritage Threshold

As per PPN1, in order to establish if a place meets the threshold for local significance, the heritage review involved the completion of historical, physical and comparative analysis of each place in order to establish if the place meets one or more of the heritage criteria set out in PPN1 (see Appendix 1).

PPN1 defines the appropriate thresholds as follows:

The thresholds to be applied in the assessment of significance shall be 'State Significance' and 'Local Significance.' 'Local Significance' includes those places that are important to a particular community or locality.

3.3 Documentation Review

3.3.1 Council property data

During the project inception stage, Council provided property data for the study area which formed the basis for the heritage review. This data listed all properties (as at 13 December 2022) grouped by the following periods, according to Council valuation data:

- Pre-1900
- 1900-1918
- 1919-1944
- 1945-1975
- 1976-2018.

The data listed almost 8,200 land parcels with built form (of various types) constructed within these periods. This property data formed the Master List for the heritage review. The accuracy of the Master List was contingent on the accuracy of Council's property data.



3.3.2 Heritage resources

The following sources were reviewed to identify places that had been subject to previous heritage assessments (at a local and State-level):

- Municipal heritage studies for the current City of Glen Eira, including:
 - *A Ward City of Glen Eira Heritage Management Plan* (1996)
 - RBA Architects & Conservation Consultants *Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)* (2018)
 - RBA Architects & Conservation Consultants *Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)* (2019)
 - Built Heritage *City of Glen Eira Post-War & Hidden Gems Heritage Review* (2020)
- HERMES heritage database records managed by Heritage Victoria.
- Non-statutory heritage registers and lists: National Trust of Australia (Victoria) Register and the Register of the National Estate.

3.4 Survey of the Study Area

A street-by-street survey of all properties within the study area, excluding the residential properties within HO75, was conducted from the public realm.

The survey was informed by an historical overview of the study area, an understanding of the development periods within the study area, and an understanding of places already included in the Heritage Overlay.

During the survey, photographs of places of potential heritage significance were taken and the integrity and current condition of each place was noted. The properties were also inspected for additional elements such as outbuildings, fences, trees, landscaping or plantings that potentially contributed to the significance of the place – this was supplemented using aerial photography, where necessary, when the place was not clearly visible from the public realm.

Some sites were not entirely visible from the public realm. These places were concealed from the public realm due to fences or vegetation. In order to complete the physical analysis to a reasonable standard, the following approach was taken:

- Aerial and other available photographs were reviewed (for example, photographs included in historical and local publications and online via real estate websites); and
- Some additional desktop historical review was conducted.

The documentation review and subsequent survey resulted in the identification of 20 individual places and two (2) potential precincts of potential heritage significance. These places were then assessed to determine if they met the threshold for local heritage significance.

3.5 Detailed Assessments

Detailed heritage assessments were undertaken for the 20 individual properties and two (2) potential precincts identified in the first stages of the heritage review. The



findings from the detailed assessment process are detailed in Section 4 of this report.

Those places that were assessed as meeting the threshold of local significance are identified in Sections 4.1 and 4.2 of this report, with the heritage citations and Statements of Significance provided in Appendix II. It is recommended that these citations and Statements of Significance be uploaded to the Hermes database to inform the future management of these places, as recommended in PPN1 guidance.

Those places that were assessed and considered not to meet the threshold of local significance are identified in Section 4.3 of this report, and the detailed assessments provided at Appendix III with reasons provided for their exclusion. It is recommended that these reasons be uploaded to the Hermes database for future reference.

The approach for undertaking the detailed heritage assessment is summarised below.

3.5.1 Historical Research

A range of primary and secondary sources were consulted as part of the historical research into each place. The aim of the historical research was to determine, where possible:

- The build date of each place;
- The owner of the place when built;
- A builder, designer or architect;
- Whether the place had any significant associations with events or people;
- The development sequence of the place; and
- The current level of intactness compared to the original design (where known).

Key sources reviewed included:

- Previous studies and assessments for existing documentation, including:
 - Andrew Ward, *Glen Eira Heritage Management Plan*, 1996
 - Built Heritage, *City of Glen Eira Post-War & Hidden Gems Heritage Review*, Draft August 2019 and 2020;
- Building and planning permit records, provided by Council;
- Municipal rate books;
- Historical Certificates of Title;
- Sands and McDougall Melbourne and Suburb Directories;
- Key local histories;
- Trove digitised newspapers, pictures and photos collections;
- Newspapers.com digitised newspaper archives;
- State Library of Victoria online picture and map collection;

- Melbourne and Metropolitan Board of Works detail plans and property drainage plans; and
- Historical aerial photographs.

The Glen Eira Historical Society and Moorabbin Historical Society were consulted, to discuss their holdings and potential to assist with historical information for the places being assessed for inclusion in the Heritage Overlay. The findings were limited, but their time, efforts and research are greatly appreciated.

The City of Glen Eira's History and Heritage Co-ordinator was also consulted to review Council's archival documentation for the relevant properties.

3.5.2 Locality History

A locality history was compiled to provide a context for the individual places and precincts recommended for inclusion in the Heritage Overlay, to help understand their value within the City of Glen Eira's developmental history.

This locality history builds on historical information provided in Andrew Ward's *City of Glen Eira Heritage Management Plan* (1996) and the *City of Glen Eira Thematic Environmental History* (2020) prepared by Built Heritage Pty Ltd.

3.5.3 Historic Themes

Research determined that the places and precincts recommended for the Heritage Overlay within the heritage review, represent one or more the following key historic themes, as drawn from *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

4.0 Transforming and managing land and natural resources

4.4 Farming

5.0 Building Victoria's industries and workforce

5.3 Marketing and retailing

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians

8.0 Building community life

8.3 Providing health and welfare services.

The themes associated with each place are identified in the heritage citations.

3.5.4 Physical Analysis

Informed by the site visits conducted and available photographic or documentary evidence, a physical description was compiled for each place noting the components of the place, architectural detail and the level of integrity. The physical descriptions also note any contributory elements such as outbuildings, fences and trees.

3.5.5 Comparative Analysis

A comparative analysis was undertaken for each place to establish its context within the municipality and its significance threshold. Places were compared in terms of their period of construction, architectural expression, their level of integrity (as



relevant) and historic use. Places were compared against similar places that are currently protected by the Heritage Overlay of the Glen Eira Planning Scheme on an individual or precinct basis as relevant.

3.5.6 Assessment Against Criteria

Drawing upon the historical research, physical investigation and comparative analysis, an assessment against the heritage criteria set out in PPN1 was undertaken.

3.5.7 Statement of Significance

A separate Statement of Significance was prepared for each individually significant place or precinct in accordance with PPN1 for incorporation into the planning scheme. The Statements of Significance follow the format of 'What is significant?', 'How is it significant?' and 'Why is it significant?'. The Statement of Significance clearly defines the heritage values of the place and identifies contributory elements to guide future management.

The Statements of Significance for places recommended for inclusion in the Heritage Overlay are included at Appendix II.

3.5.8 Extent of Heritage Curtilage

Where a place was found to meet the threshold for local significance, an aerial photograph was marked up to indicate the recommended extent of the Heritage Overlay (heritage curtilage). The recommended heritage curtilages are included in the individual citations (see Appendix II). The recommended heritage curtilages have been determined in accordance with the guidance provided in PPN1 and capture all elements that are considered to contribute to the significance of the place.

3.5.9 Schedule to the Heritage Overlay Triggers

Where a place was found to meet the threshold for local significance, consideration was given to the following:

- Whether tree controls, paint controls, solar energy system or internal alteration controls should be triggered in the Schedule to the Heritage Overlay;
- Whether outbuildings and fences should be subject to the notice and review requirements of the *Planning and Environment Act 1987*; and
- Whether provisions for allowing prohibited uses should be made.

In accordance with the guidance provided in PPN1, the following approach was taken:

- Tree controls were recommended where trees were identified as contributing to the significance of the place, generally by virtue of them likely being a remnant of an early planting scheme or where documentation indicated that the building was designed with landscape elements specifically in mind. Where relevant, specific trees or tree species have been identified to provide greater specificity to owners and regulators.
- Where external painting of previously painted surfaces could impact the significance or legibility of the heritage place, external paint controls were recommended.

- Where outbuilding or fences were determined to contribute to the significance of the place, it has been recommended that these elements be subject to permit notice and review requirements.
- As interiors could not be inspected, no places have been identified as warranting the application of internal alteration controls. It is noted that PPN1 cautions that this control should only be used sparingly for “special interiors of high significance”.



4 FINDINGS & RECOMMENDATIONS

The detailed heritage assessment process has resulted in the following findings and recommendations:

- Fifteen (15) places were assessed as being of local individual significance and warrant inclusion in the Heritage Overlay (listed in Section 4.1).
- Two (2) precincts were identified and assessed as being of local significance and warrant inclusion in the Heritage Overlay (listed in Section 4.2).
- Five (5) places were found *not* to meet the threshold of local individual significance and do *not* warrant inclusion in the Heritage Overlay (listed in Section 4.3).

4.1 Individual Places Recommended for the Heritage Overlay


Citations and Statements of Significance for places recommended for inclusion in the Heritage Overlay are included at Appendix II.

NAME	ADDRESS	PHOTO
BENTLEIGH		
House	5 Lydia Street, Bentleigh	
Note: The dwelling at 5 Lydia Street was demolished in accordance with a live planning permit in June 2025 and will not form part of Planning Scheme Amendment C240.		
MCKINNON		
Flats	1-4/1 Clee Street, McKinnon	

NAME	ADDRESS	PHOTO
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Scheuer House	4 Clee Street, McKinnon	
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Lombard House	18 Clee Street, McKinnon	
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House	5 Ellindale Avenue, McKinnon	
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'Ellindale'	2 Glen Orme Avenue, McKinnon	
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(Remove from HO75 – Ormond and Environs Precinct and include in own HO)




NAME	ADDRESS	PHOTO
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House	230 Jasper Road, McKinnon	
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House	15 Lees Street, McKinnon	
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House	74 McKinnon Road, McKinnon	
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'Essex'	123 McKinnon Road, McKinnon	
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NAME	ADDRESS	PHOTO
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McKinnon Baby Health Centre & Kindergarten

Part 186-200 McKinnon Road, McKinnon



'Kardella'

330 McKinnon Road, McKinnon



'Samoh't'


36 Murray Road, McKinnon



House



3 Norman Street, McKinnon



NAME	ADDRESS	PHOTO
House	40 Wheatley Road, McKinnon	

4.2 Precincts Recommended for the Heritage Overlay

Citations and Statements of Significance for precincts recommended for inclusion in the Heritage Overlay are included at Appendix II.

NAME	ADDRESS	PHOTO
McKinnon Hill Residential Precinct	51- 63 McKinnon Road, McKinnon	 <p data-bbox="831 1368 1034 1397"><i>51 McKinnon Road</i></p>  <p data-bbox="831 1740 1034 1769"><i>53 McKinnon Road</i></p>

NAME	ADDRESS	PHOTO
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55 McKinnon Road



57 McKinnon Road



59 McKinnon Road



61 McKinnon Road

NAME	ADDRESS	PHOTO
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63 McKinnon Road

McKinnon Village Precinct
 (Remove 129-167 McKinnon Road, 2A-2C Elm Grove and 2A-2E Glen Orme Avenue, McKinnon from HO75 – Ormond and Environs Precinct and include these properties together with 146-154 McKinnon Road in own HO)

129-167 & 146-154 McKinnon Road, 2A-2C Elm Grove & 2A-2E Glen Orme Avenue, McKinnon



129-153 McKinnon Road



129-157 McKinnon Road



159-167 McKinnon Road



146-154 McKinnon Road

4.3 Individual Places Not Recommended for the Heritage Overlay

Assessments of places not recommended for inclusion in the Heritage Overlay are included at Appendix III.

NAME	ADDRESS	PHOTO
BENTLEIGH		
House	4 Evelyn Street, Bentleigh	
MCKINNON		
'Dilwarhi'	22 Carlton Street, McKinnon	
House	259 McKinnon Road, McKinnon	

NAME	ADDRESS	PHOTO
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Allnutt Park

41-59 Wheatley Road, McKinnon



House

65 Wheatley Road, McKinnon



APPENDIX I: *PLANNING PRACTICE NOTE 1: APPLYING THE HERITAGE OVERLAY (2018)*

Applying the Heritage Overlay

Planning Practice Note 1

AUGUST 2018

This practice note provides guidance about the use of the Heritage Overlay.

What places should be included in the Heritage Overlay?

- Any place that has been listed on the Australian Heritage Council's now closed Register of the National Estate.
- Any place that has been referred by the Heritage Council for consideration for an amendment to the planning scheme.
- Places listed on the National Trust Heritage Register of the National Trust of Australia (Victoria), provided the significance of the place can be shown to justify the application of the overlay.
- Places identified in a local heritage study, provided the significance of the place can be shown to justify the application of the overlay.

Places listed on the former *Register of the National Estate* or on the *National Trust Heritage Register* of the National Trust of Australia (Victoria) do not have statutory protection unless they are protected in the planning scheme.

The heritage process leading to the identification of the place needs to clearly justify the significance of the place as a basis for its inclusion in the Heritage Overlay. The documentation for each place shall include a statement of significance that clearly establishes the importance of the place and addresses the heritage criteria.

What are recognised heritage criteria?

The following recognised heritage criteria shall be used for the assessment of the heritage value of the heritage place. These model criteria have been broadly adopted by heritage jurisdictions across Australia and should be used for all new heritage assessment work.

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).

Criterion C: Potential to yield information that will contribute to understanding our cultural or natural history (research potential).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).



Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

The adoption of the above criteria does not diminish heritage assessment work undertaken before 2012 using older versions of criteria.

The thresholds to be applied in the assessment of significance shall be 'State Significance' and 'Local Significance'. 'Local Significance' includes those places that are important to a particular community or locality. Letter gradings (for example, "A", "B", "C") should not be used.

To apply a threshold, some comparative analysis will be required to substantiate the significance of each place. The comparative analysis should draw on other similar places within the study area, including those previously included in a heritage register or overlay. Places identified to be of potential state significance should undergo analysis on a broader (statewide) comparative basis.

Places of significance for historical or social reasons

Planning is about managing the environment and its changes. An appropriate test for a potential heritage place to pass in order to apply the Heritage Overlay is that it has 'something' to be managed. This 'something' is usually tangible but it may, for example, be an absence of built form or the presence of some other special characteristic. If such things are present, there will be something to manage and the Heritage Overlay may be applied.

If not, a commemorative plaque is an appropriate way of signifying the importance of the place to the local community.

Group, thematic and serial listings

Places that share a common history and/or significance, but which do not adjoin each other or form a geographical grouping may be considered for treatment as a single heritage place. Each place that forms part of the group might share a common statement of significance; a single entry in the Heritage Overlay Schedule and a single Heritage Overlay number.

This approach has been taken to the listing of Chicory Kilns on Phillip Island in the Bass Coast Planning Scheme. The kilns are dispersed across the island but share a common significance. Group listing of the kilns also draws attention to the fact that the kilns are not just important on an individual basis but are collectively significant as a group.

The group approach has also been used for the former Rosella Factory Complex in the Yarra Planning Scheme. This important factory complex had become fragmented through replacement development making it hard to justify a precinct listing. The group listing, with a single Heritage Overlay number, has meant that the extent and significance of the complex can still be appreciated.

Writing a statement of significance

For every heritage place (that is, a precinct or individual place) a statement of significance must be prepared using the format of 'What is significant?'; 'How is it significant?' and 'Why is it significant?'.

What is significant? – This section should be brief, usually no more than one paragraph or a series of dot points. There should be no doubt about the elements of the place that are under discussion. The paragraph should identify features or elements that are significant about the place, for example, house, outbuildings, garden, plantings, ruins, archaeological sites, interiors as a guide to future decision makers. Clarification could also be made of elements that are not significant. This may guide or provide the basis for an incorporated plan which identifies works that may be exempt from the need for a planning permit.

How is it significant? – Using the heritage criteria above, a sentence should be included to the effect that the place is important. This could be because of its historical significance, its rarity, its research potential, its representativeness, its aesthetic significance, its technical significance and/or its associative significance. The sentence should indicate the threshold for which the place is considered important.

Why is it significant? – The importance of the place needs to be justified against the heritage criteria listed above. A separate point or paragraph should be used for each criterion satisfied. The relevant criterion reference should be inserted in brackets after each point or paragraph, for example "(Criterion G)". An example statement of significance has been prepared for guidance, see **Appendix A**.



The explanatory report for an amendment that includes a place in the Heritage Overlay (or other supporting documentation accompanying a planning scheme amendment) should:

- state whether the place is a precinct or an individual place
- identify if further controls allowed by the schedule to the overlay are required such as external paint controls or tree controls (the identification of further controls should be based on the explanation of why a heritage place is significant).

Incorporating, saving and displaying statements of significance

A statement of significance must be incorporated in the planning scheme for each heritage place included in the schedule to the Heritage Overlay after 31 July 2018. This requirement does not apply to a heritage place included in the schedule by an amendment prepared or authorised by the Minister for Planning under section 8(1)(b) or section 8A(4) of the *Planning and Environment Act 1987* before 31 October 2018.

However, a statement of significance may be incorporated for any heritage place included in the schedule before 31 July 2018 or by an amendment that the exemption applies to.

If a statement of significance is incorporated in the planning scheme, the name of the statement must be specified in the schedule to the overlay.

All statements of significance (incorporated or otherwise) should be securely stored in the HERMES heritage database.

Where a planning scheme amendment has resulted in the inclusion of, or amendments to, places in the Heritage Overlay, the strategic justification (that is, the heritage study documentation and statements of significance) needs to be updated. A statement of significance that has been incorporated into the planning scheme can only be changed by an amendment to the planning scheme. If the heritage place does not have a statement of significance that has been incorporated, then any changes should be entered into the department's HERMES heritage database.

Where a place (either a precinct or individual place) is included in the Heritage Overlay, the statement of significance for that place should be publicly viewable through the department's Victorian Heritage Database.

Additional resources may be required

When introducing the Heritage Overlay, a council should consider the resources required to administer the heritage controls and to provide assistance and advice to affected property owners. This might include providing community access to a heritage adviser or other technical or financial assistance.

Drafting the Heritage Overlay schedule

What is a heritage place?

A heritage place could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land. It cannot include movable or portable objects such as machinery within a factory or furniture within a house.

What is the planning scheme map reference number?

In column one of the schedule, the Planning Scheme Map Reference prefix should read HO1, HO2, HO3 and so on. Each heritage place in the schedule will have its own identifying number. The planning scheme maps should also record these numbers as a cross reference between the maps and the schedule.

Street numbers and location descriptions

Street numbers and locality addresses should be included for properties wherever possible. Where a street address is not available, plan of subdivision details (for example, Lot 1 of PS12345) should be used. Avoid using Crown Allotment details, Certificate of Title details or obscure location descriptions if possible.

How should the Heritage Overlay schedule be arranged?

There are three preferred options for arranging the schedule:

- Heritage places may be arranged in ascending numerical order by their planning scheme map reference number (eg HO1, HO2, HO3 and so on).
- Heritage places may be grouped according to their suburb, town or location and then arranged alphabetically by street address within each grouping.
- All places may be listed alphabetically by their street address irrespective of their location.

Use the method which most assists users of the planning scheme to find the relevant property by a simple search through the schedule.



An example of a schedule to the Heritage Overlay is included at **Appendix B**.

Application requirements

The schedule allows for application requirements to be specified.

Incorporated plan

Clause 43.01-3 of the Heritage Overlay allows an incorporated plan to be prepared to identify works to a heritage place that are exempt from the need for a planning permit. To do so, the plan must be specified in the schedule to the overlay and must also be listed in the schedule to Clause 72.04.

Statements of significance

Where a statement of significance is incorporated in the planning scheme, it must be given a title which includes the name of the heritage place or if there is no name specified, the full address of the heritage place. The title of the statement of significance must be specified in the schedule to the overlay. The title of the statement must also be listed in the schedule to Clause 72.04.

Heritage design guidelines

Where detailed heritage design guidelines have been prepared for a heritage place, they may be incorporated into the planning scheme. The title of the incorporated document must be specified in the schedule to the overlay and must also be listed in the schedule to Clause 72.04.

Applying external painting controls

External painting controls over particular heritage places can be applied in the schedule by including a 'yes' in the External Paint Controls Apply? column.

Applying internal alterations controls

Internal alteration controls over specified buildings can be applied in the schedule by including a 'yes' in the Internal Alteration Controls Apply? column. This provision should be applied sparingly and on a selective basis to special interiors of high significance. The statement of significance for the heritage place should explain what is significant about the interior and why it is important.

Applying tree controls

The schedule can apply tree controls over heritage places. The tree controls could apply to the whole of a heritage place (for example, over a house site or an area) or a tree or group of trees could be specifically nominated as the heritage place.

Tree controls are applied by including a 'yes' in the Tree Controls Apply? column. Tree controls should only be applied where there has been a proper

assessment. The statement of significance for the heritage place should identify the particular trees that are significant (under "What is significant?") and why the tree or trees are important.

If only one, or a few trees within a large property are considered significant, the 'Tree Controls Apply' column can be qualified with the relevant details. A planning permit would then only be required to remove, destroy or lop the trees that were specifically identified in the column.

This control is designed to protect trees that are of intrinsic significance (such as trees that are included on the National Trust Heritage Register), or trees that contribute to the significance of a heritage place (for example, trees that contribute to the significance of a garden or area). The control is not meant to protect trees for their amenity value. See *Planning Practice Note 7 – Vegetation Protection in Urban Areas* for alternative methods of vegetation protection.

Outbuildings and fences

Councils may consider that certain outbuildings and/or fences on heritage sites are significant and can therefore require that these be subject to the notice and review requirements of the *Planning and Environment Act 1987*. This is achieved by including the word 'yes' in the column headed 'Outbuildings or fences which are not exempt under Clause 43.01-4?'.

It is helpful to landowners and users of the planning scheme if the column in the schedule identifies the particular outbuildings and/or fences that are considered to be significant. The statement of significance for the heritage place should also identify the particular outbuildings and/or fences that are significant (under "What is significant?") and why they are important.

How should places in the Victorian Heritage Register be treated in the schedule and map?

Section 56 of the *Heritage Act 2017* (Heritage Act) requires that the Minister for Planning must 'prepare and approve an amendment to any planning scheme applying to a place which is included or amended in the Heritage Register to identify the inclusion or amendment of that place in the Heritage Register'. This is intended as an alert to planning scheme users of restrictions that might apply to land under the Heritage Act.

Planning authorities should not amend the schedule or maps as they relate to places in the Victorian Heritage Register and certainly not without the prior approval of Heritage Victoria. This is to ensure that



planning schemes accurately reflect the Heritage Register as required by the Heritage Act.

Under Clause 43.01-2, places on the Victorian Heritage Register are subject to the requirements of the Heritage Act and not the planning provisions of the Heritage Overlay. Where Places included in the Victorian Heritage Register are listed in the schedule, a dash should be recorded in columns three (external paint controls), four (internal alteration controls), five (tree controls) and six (outbuildings and fences) to avoid any possible confusion as to whether planning provisions apply to these properties. In column seven ('Included on the Victorian Heritage Register ...') the reference number of the property on the Victorian Heritage Register should be included as an aid to users of the planning scheme.

Allowing a prohibited use of a heritage place

It is possible to make a prohibited use permissible at a specific place by including a 'yes' in the Prohibited uses may be permitted? column.

This provision should not be applied to significant areas because it might result in the de facto rezoning of a large area. The provision should only be applied to specific places. For example, the provision might be used for a redundant church, warehouse or other large building complex where it is considered that the normally available range of permissible uses is insufficient to provide for the future conservation of the building. Currently this provision applies in the metropolitan area of Melbourne to places that are included on the Victorian Heritage Register.

Aboriginal heritage places

Scarred trees, stone arrangements and other places significant for their Aboriginal associations can be identified by including a 'yes' in the Aboriginal Heritage Place? column. As with any place listed in the Schedule to the Heritage Overlay, supporting justification is expected to apply this provision.

The standard permit requirements of Clause 43.01-1 of the Heritage Overlay apply to Aboriginal heritage places included in the schedule. Clause 43.01-10 reminds a responsible authority that the requirements of the *Aboriginal Heritage Act 2006* apply to these places.

How are heritage precincts and areas treated?

Significant precincts and areas should be identified in the schedule and be mapped.

How are individual buildings, trees or properties of significance located within significant areas treated?

The provisions applying to individual buildings and structures are the same as the provisions applying to areas, so there is no need to separately schedule and map a significant building, feature or property located within a significant area.

The only instance where an individual property within a significant area should be scheduled and mapped is where it is proposed that a different requirement should apply. For example, external painting controls may be justified for an individual building of significance but not over the heritage precinct surrounding the building.

Alternatively, tree controls may be justified for a specific tree or property within a significant precinct but not over the whole precinct. In such situations the individual property or tree should be both scheduled and mapped.

Significant buildings or structures within a significant precinct can be identified through a local planning policy.

Curtilages and Heritage Overlay polygons

The Heritage Overlay applies to both the listed heritage item and its associated land. It is usually important to include land surrounding a building, structure, tree or feature of importance to ensure that any development, including subdivision, does not adversely affect the setting, context or significance of the heritage item. The land surrounding the heritage item is known as a 'curtilage' and will be shown as a polygon on the Heritage Overlay map. In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (for example, a suburban dwelling and its allotment).

However, there will be occasions where the curtilage and the Heritage Overlay polygon should be reduced in size as the land is of no significance. Reducing the curtilage and the polygon will have the potential benefit of lessening the number of planning permits that are required with advantages to both the landowner and the responsible authority. Examples of situations where a reduction in the curtilage and polygon may be appropriate include:

- A homestead on a large farm or pastoral property where it is only the house and/or outbuildings that is important. In most cases with large rural properties, the inclusion of large areas of surrounding farmland is unlikely to have any positive heritage benefits or outcomes.



- A significant tree on an otherwise unimportant property.
- A horse trough, fountain or monument in a road reservation.
- A grandstand or shelter in a large but otherwise unimportant public park.

Suggested steps in establishing a curtilage and polygon include:

1. Review the heritage study documentation and ask the question 'What is significant?'. The polygon should capture those elements of the place that are significant. If there are multiple elements that are widely dispersed on the property, one option may be to have multiple polygons which share the same Heritage Overlay number.
2. In addition to capturing the elements that are significant, it is almost always necessary to include a curtilage (see definition above) to:
 - retain the setting or context of the significant building, structure, tree or feature
 - regulate development (including subdivision) in proximity to the significant building, tree or feature.
3. Where possible, uncomplicated and easily recognised boundaries (such as a fence line) leave little room for potential dispute in terms of the land affected by any future Overlay.
4. Use aerial photos where they exist to assist in identifying a reduced curtilage.
5. Where access is possible, 'ground truthing' may be of assistance.

6. Explain the basis for the reduced curtilage polygon in the heritage study documentation
7. Where questions might arise in the future as to the extent of the polygon shown on the planning scheme map, use the entry in the Schedule to the Heritage Overlay (i.e. column two) to specify the area covered by the polygon. For example:

"The heritage place is the Moreton Bay Fig Tree and land beneath and beyond the canopy of the tree and extending for a distance of five metres from the canopy edge."

Mapping heritage places

All heritage places must be both scheduled and mapped.

In each case, care should be taken to ensure that there is an accurate correlation between the Heritage Overlay schedule and the Heritage Overlay map.

The need for care is exemplified by the fact that the Heritage Overlay map will be the determining factor in any dispute as to whether a control applies (for example, in cases where there is conflict between the Heritage Overlay map and the property description or address in the Heritage Overlay schedule).

Councils are encouraged to review their planning schemes to ensure that all heritage places are correctly mapped and that there are no discrepancies between how places are identified in the Heritage Overlay schedule and Heritage Overlay maps.

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**APPENDIX A. Example statement of significance**

GUMNUT PLANNING SCHEME

Wombat Flats Precinct Statement of Significance

Heritage Place: Wombat Flats Precinct	PS ref no: HO26
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*[Insert photo and or map, if applicable]***What is significant?**

The following features contribute to the significance of the precinct:

The houses constructed from c.1855 to c.1910, as shown on the precinct map.

- The overall consistency of housing form (hipped roofs, single storey wall heights), materials and detailing (weatherboard, face brick or stucco external cladding, corrugated metal roofs, wide verandahs facing the street, brick chimneys), and siting (generous and consistent front and side setbacks).
- Streetscape materials such as bluestone kerb and channel and concrete footpaths. Features that do not contribute to the significance of this place include non-original alterations and additions to the contributory buildings shown on the precinct map and the houses at 32, 24 & 36 Wattle Avenue.

Contributory buildings:

Wattle Avenue: 3,5,7,9,11,13,15,17,19

Myrtle Street: 7,11,12

Features that do not contribute to the significance of this place include non-original alterations and additions to the contributory buildings shown on the precinct map and the houses at 32, 24 & 36 Wattle Avenue.

How is it significant?

The Wombat Flats Precinct is of local, historic and aesthetic significance to Gumnut Shire.

Why is it significant?

Historically, the precinct demonstrates how the gold rush encouraged the residential development of this area in the mid-nineteenth century. The later Victorian and Edwardian housing demonstrates the next stage of development, which resulted from the establishment of improved transport links and industries such as the Butterscotch Factory in near-by Lilly Pilly Street. (Criterion A)

The precinct is significant for the way it demonstrates the key phases of development prior to World War I, characterised by mid to late Victorian era housing, supplemented by Edwardian infill, set within a nineteenth century subdivision with a regular allotment pattern. It is representative of the way residential areas in Gumnut developed during this era. (Criterion D)

The mid to late Victorian and Federation/Edwardian houses with characteristic form, materials and detailing are complemented by traditional public realm materials such as concrete footpaths and bluestone kerb and channel. (Criterion E)

Primary source*[Insert applicable study and/or citation, if applicable]**[Insert grading table for large precincts]*

Number	Address	Grade
7	Wattle Avenue	Contributory

This document is an incorporated document in the Gumnut Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987



APPENDIX B. Example schedule to the Heritage Overlay

GUMNUT PLANNING SCHEME

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0 Application requirements

None specified.

2.0 Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage Place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	House 1 Albert Street, Belmont	Yes	No	No	Yes, front fence	No	No	No
HO2	Althol House 57 Albert Street, Belmont	-	-	-	-	Yes Ref No H456	Yes	No
HO3	Moreton Bay Fig Tree 26 Bryant Street, Ceres The heritage place is the Moreton Bay Fig Tree and land beneath the canopy edge of the tree for a distance of five metres from the canopy edge	No	No	Yes	No	No	No	No
HO4	Barwon River Bridge Station Street, Geelong	-	-	-	-	Yes Ref No H789	No	No
HO5	William Street Precinct William Street, Geelong Incorporated plan: William Street Precinct permit exemptions Statement of significance:	Yes	No	No	No	No	No	No

Heritage places listed in the schedule before 31 July 2018 are not required to include a statement of significance

An incorporated plan, statement of significance and design guidelines are listed in column 2, under the relevant heritage place name



GUMNUT PLANNING SCHEME

PS map ref	Heritage Place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Williams Street Precinct Statement of Significance Heritage design guidelines: William Street Precinct streetscape design guidelines							
HO6	Wombat Flats Precinct 1-35 & 2-36 Wattle Avenue and 1-29 & 2-30 Blue Gum Statement of significance: Wombat Flats Precinct Statement of Significance	No	No	No	No	No	No	No
HO7	Mount Rothwell Stone Arrangement Mount Rothwell Station Little River-Ripley, Little River Statement of significance: Mount Rothwell Stone Arrangement Statement of Significance	No	No	No	No	No	No	Yes

A statement of significance is listed in column 2, under the relevant heritage place name

APPENDIX II: CITATIONS AND STATEMENTS OF SIGNIFICANCE FOR PLACES AND PRECINCTS RECOMMENDED FOR INCLUSION IN THE HERITAGE OVERLAY

NAME	ADDRESS	PAGE NO.
BENTLEIGH		
House	5 Lydia Street, Bentleigh	1
MCKINNON		
Flats	1-4/1 Clee Street, McKinnon	13
Scheuer House	4 Clee Street, McKinnon	24
Lombard House	18 Clee Street, McKinnon	35
House	5 Ellindale Avenue, McKinnon	46
'Ellindale' (Remove from HO75 – Ormond and Environs Precinct and include in own HO)	2 Glen Orme Avenue, McKinnon	58
House	230 Jasper Road, McKinnon	70
House	15 Lees Street, McKinnon	81
McKinnon Hill Residential Precinct	51- 63 McKinnon Road, McKinnon	93
House	74 McKinnon Road, McKinnon	109
'Essex'	123 McKinnon Road, McKinnon	122
McKinnon Village Precinct (Remove from HO75 – Ormond and Environs Precinct and include in own HO)	129-167 & 146-154 McKinnon Road, 2A-2C Elm Gove & 2A-2E Glen Orme Avenue, McKinnon	134
McKinnon Baby Health Centre & Kindergarten	Part 186-200 McKinnon Road, McKinnon	154
'Kardella'	330 McKinnon Road, McKinnon	168

NAME	ADDRESS	PAGE NO.
'Samoht'	36 Murray Road, McKinnon	180
House	3 Norman Street, McKinnon	194
House	40 Wheatley Road, McKinnon	206

HERITAGE CITATION

5 LYDIA STREET, BENTLEIGH



Figure 1. 5 Lydia Street, Bentleigh (GJM Heritage, March 2023).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1890	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area in which the property is sited was first subdivided into suburban residential allotments in the mid-1880s (Ward 1996: Vol 1, 46). George Burney, a Brighton farmer, subdivided six acres on the north-west corner of Centre and Tuckers roads c1879, establishing Lydia Street (LV: V1101/F118). In 1885 and 1886 George Le Feure, East Melbourne medical doctor, purchased acreage north of Lydia Street from Burney. Le Feure subdivided the land further, creating residential lots fronting Lydia Street, Tucker Road and the newly formed Evelyn Street (LV: V1796/F068, V1776/F050).

Lot 22 on Lydia Street (current no. 5) was purchased by Edward Callow, blacksmith of Centre Road, East Brighton, in November 1888 (LV: V2086/F053). In 1890, Callow was rated for vacant Lots 22, 23 and 24 in East Brighton Village. In 1891 Callow was rated solely for a house and land in East Brighton Village. The 1893 rate book confirms that Callow's house and outbuildings were located on Lots 22, 23 and 24, East Brighton Village. This suggests that the house at 5 Lydia Street was constructed in 1890 for Callow, who subsequently occupied the house (S&Mc).

The woven-wire fence and pedestrian and vehicle gates along the front boundary may be of early construction.

The Callows continued to occupy 5 Lydia Street until 1907. Following Callow's death in 1907, the property was passed to his executors and widow Catherine E Callow 'of Lydia Street, East Brighton' and John J Kinrade, East Brighton market gardener, in December 1907, who transferred the land to Kate Quinn, 'spinster' of Elizabeth Street, East Brighton, on the same day (LV: V2086/F053). Callow's 1907 probate documents identify that Callow owned Lots 22, 23 and 24 on Lydia Street (the current nos. 1-5), described with a seven roomed weatherboard house with a roof of slate and iron.

A plan dated 1920 shows the footprint of the house and outbuildings at this date (see Figure 2).

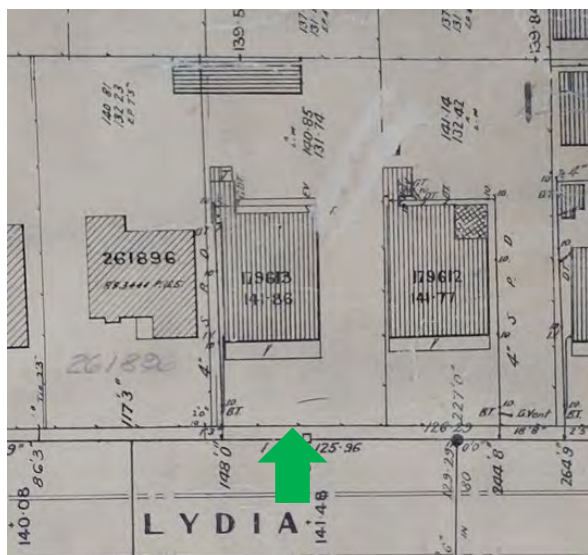


Figure 2. Footprint of the house and its outbuildings, 1926 (Source: MMBW Detail Plan 3217, dated 1920).

Subsequent owners included the Director of War Services Homes, Canberra.

Later additions were constructed to the rear of the house (dates not confirmed). Outbuildings were constructed along the property boundaries to the rear of the house (dates not confirmed).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.7 Making homes for Victorians.

Description

5 Lydia Street is located on the north side of Lydia Street, north-west of the main intersection of Centre and Tucker roads, Bentleigh. The rectangular site is accessed via a driveway at the eastern end of the street boundary. The house is setback behind a front garden and lawn.

The single-storey house is constructed of timber and is symmetrical in form with an M-section hipped roof clad in later tiles. Two rendered (overpainted) chimneys with decorative string mouldings and capping are located behind the front ridgeline. Below the eaves on the principal elevation are timber brackets, alternating with diamond-shaped and roundel motifs. A hipped verandah clad with corrugated sheet metal extends across the principal elevation, and is supported by thin, fluted cast iron columns with a decorative cast iron frieze and brackets. The principal elevation to Lydia Street has timber ashlar boarding and a panelled front door with a toplight and stained glass sidelights. The central entrance and four symmetrically placed sash windows (two either side of the door) are framed with pilasters with simple capitals.

Additions are located to the north (rear) of the house with outbuildings beyond. An early woven wire and timber fence, with driveway gates and a central pedestrian gate, is located along the front boundary.

Key Features

- Single-storey timber house with timber block-fronted (or ashlar-boarded) principal elevation, typical of modest Italianate houses of the late Victorian period
- Hipped roof form
- Symmetrical front elevation with central door flanked by pairs of sash windows
- Hipped front verandah with cast iron columns and decorative frieze and brackets
- Detailing including paired timber eaves brackets with alternating diamond-shaped and roundel motifs
- Panelled front door with sidelights and toplight comprising stained glass
- Rendered brick chimneys with decorative string mouldings and capping, and
- Woven wire front fence with decorative metal gates.



Figure 3. Aerial photo of the subject site, February 2023 (Source: Nearmap).



Figure 4. Detail of eaves and verandah (GJM Heritage, March 2023)



Figure 5. Chimney detail (GJM Heritage, March 2023)

Intactness/Integrity

The house at 5 Lydia Street, Bentleigh remains highly intact to its period of construction. Despite replacement of the original slate roof cladding and single-storey rear additions, the place retains a high degree of integrity as a modest late Victorian residence.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct historical development history. Nineteenth century housing was limited to a small number of speculative subdivisions, commonly located in the vicinity of railway stations after the railway line opened through Bentleigh and McKinnon in 1881, or to accommodate local market gardeners.

A small number of examples in the southern part of the municipality are comparable to 5 Lydia Street, Bentleigh and are included in the Heritage Overlay of the City of Glen Eira. They include:

22 Brady Road, Bentleigh East (HO97), 1889



Figure 6. 22 Brady Road, Bentleigh East (Source: VHD)

9 Vickery Street, Bentleigh (HO142), 1895



Figure 7. 9 Vickery Street, Bentleigh (Source: GJM Heritage, May 2022)

St Elmo, 133 Tucker Road, Bentleigh (HO215),
1885



Figure 8. 133 Tucker Road, Bentleigh (Source: Built Heritage , City of Glen Eira Heritage Review, 2020)

Athole, 18 Poplar Grove, Carnegie (HO80), 1889

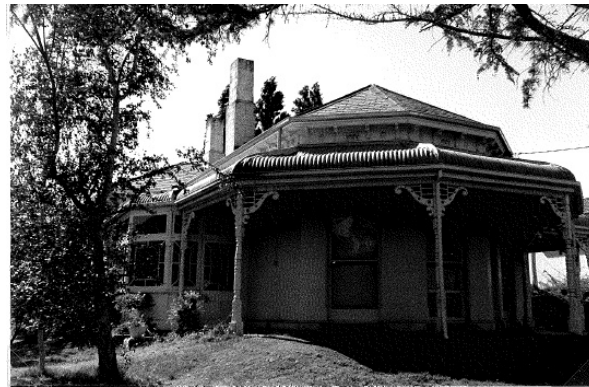


Figure 9. 18 Poplar Grove, Carnegie (Source: VHD)

Ida Villa, 234 Neerim Road, Carnegie (HO175),
c1891-99



Figure 10. 234 Neerim Road, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh & Carnegie Structure Plan Areas', 2019)

Like the house at 5 Lydia Street, Bentleigh, the above houses were constructed in the southern suburbs of what is now the City of Glen Eira in the late nineteenth century, either on subdivided land or as accommodation for local market gardeners. Constructed in either timber (Figures 6 & 7) or brick (Figures 8-10), these houses exhibit a range of representative characteristics of modest Italianate housing of the late Victorian period, including single-storey hipped roof forms, symmetrical or asymmetrical forms and front elevations, decorative front verandahs, bracketed eaves with associated decorative elements and brick chimneys. Like the above examples, 5 Lydia Street, Bentleigh retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of the Victorian Italianate style.

Similar to the small number of Victorian Italianate houses in McKinnon, Bentleigh and Bentleigh East included in the Heritage Overlay of the Glen Eira Planning Scheme, 5 Lydia Street, Bentleigh clearly demonstrates an important phase in the historical development of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 5 Lydia Street, Bentleigh has strong associations with the early development of Bentleigh, when land was first subdivided and sold for residential development in the southern part of the municipality in the late nineteenth century. The house is one of a small number of places remaining in the suburb to demonstrate this early phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 5 Lydia Street, Bentleigh is a fine and highly intact representative example of a modest late Victorian house. It displays typical characteristics of the Italianate style of the late Victorian period, including hipped roof, paired eaves brackets with frieze of diamond-shaped and roundel motifs, symmetrical block-fronted timber principal elevation with pairs of sash windows either side of a central door, decorative architraves to door and window openings, front verandah with decorative ironwork and a pair of decorative rendered chimneys.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes – front fence and gates
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 11 below.



Figure 11. Recommended Extent of Heritage Overlay (to property boundaries)

References

- Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.
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- Landata Victoria (LV), Certificates of Title, as cited.
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- Probate File, Edward Callow, Public Records Office Victoria (PROV), VPRS 28/P0002, 104/537.
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- Sands & McDougall (S&Mc) Directories.
- Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.
- Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

5 LYDIA STREET, BENTLEIGH – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 5 Lydia Street, Bentleigh

PS ref no.: TBC



Figure 1. 5 Lydia Street, Bentleigh (GJM Heritage, March 2023).

What is significant?

5 Lydia Street, Bentleigh, a late Victorian Italianate style residence constructed in 1890.

Elements that contribute to the significance of the place include:

- Single-storey timber house with timber block-fronted (or ashlar-boarded) principal elevation, typical of modest Italianate houses of the late Victorian period
- Hipped roof form
- Symmetrical front elevation with central door flanked by pairs of sash windows
- Hipped front verandah with cast iron columns and decorative frieze and brackets
- Detailing including paired timber eaves brackets with alternating diamond-shaped and roundel motifs
- Panelled front door with sidelights and toplight comprising stained glass
- Rendered brick chimneys with decorative string mouldings and capping, and
- Woven wire front fence with decorative metal gates.

Later alterations and additions, including the rear additions and outbuildings are not contributory.

How is it significant?

5 Lydia Street, Bentleigh is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

The house at 5 Lydia Street, Bentleigh has strong associations with the early development of Bentleigh, when land was first subdivided and sold for residential development in the southern part of the municipality in the late nineteenth century. The house is one of a small number of places remaining in the suburb to demonstrate this early phase of development in the southern part of the City of Glen Eira (Criterion A).

The house at 5 Lydia Street, Bentleigh is a fine and highly intact representative example of a modest late Victorian house. It displays typical characteristics of the Italianate style of the late Victorian period, including hipped roof, paired eaves brackets with frieze of diamond-shaped and roundel motifs, symmetrical block-fronted timber principal elevation with pairs of sash windows either side of a central door, decorative architraves to door and window openings, front verandah with decorative ironwork and a pair of decorative rendered chimneys. (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

FLATS 1-4/1 CLEE STREET, MCKINNON



Figure 1.1 Clee Street, McKinnon (GJM Heritage, February 2023)

DATE: May 2023

Place Type: Residential flats	Architect: Walter Mason
Construction Date: 1964	Builder: John Osbourne
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The southern part of Clee Street was first subdivided into suburban residential allotments in the 1910s as part of the Clee Hill Estate, while the northern section was subdivided in the 1920s (Ward 1996: 46). A 1945 aerial photograph shows that interwar development was dense along the southern part of the street near McKinnon Road, while vacant lots remained to the north. In the postwar period a number of properties on the street were developed, either on vacant land or replacing earlier houses. This resulted in a small cluster of postwar houses and flats of architectural interest.

The subject site was first occupied by a weatherboard house and the Bayfield Dairy (*Age*, 19 Apr 1950:11; S&Mc).

The block of four flats at 1 Clee Street, McKinnon were built in 1964 for owner Hector McLennan by builder John Osbourne. The flats were designed by architect Walter Mason (Built Heritage 2019 & 2020). The front fence and hard landscaping to the front yards date to the same period as the flats.

The design was conceived as a multi-unit development to provide self-contained dwellings for McLennan, his mother-in-law and two other relatives, with each dwelling individually designed to suit each occupant (Built Heritage 2019 & 2020). A photograph of the newly completed flats was published in *The Herald* in November 1964 (Figure 2).



Figure 2. Photo of the subject site published in The Herald in November 1964 (Source: Cited in Built Heritage, 'Flats, 1 Clee Street, McKinnon' citation in City of Glen Eira Heritage Review 2019, [draft] August 2019).

Hector William McLennan, who worked in sales, and Lillian McLennan occupied Flat 4 (Electoral Roll, 1967). In 1970, the Sands & McDougall directory identified four occupants at 1 Clee Street: Mrs M C Ricardo, Mrs F Williams, Richard J Gillespie and Hector W McLennan (S&Mc; *Age*, 13 Nov 1975:25).

An advertisement published in *The Age* in 1986 described Flat 2 at 1 Clee Street as comprising three double bedrooms, tiled bathroom, a lounge-dining area with a balcony, kitchen and breakfast area, with a lock-up garage and laundry, and picturesque views to the city and the Dandenongs (*Age*, 26 Jul 1986:75).

Walter Mason, architect

Walter Mason (d. 1992) is known to have predominantly designed houses and flats in Melbourne's inner suburbs, particularly to the south-east, during the interwar period. Mason appears to have been in practice from the mid-1920s, with many commissions in the 1930s when he had a number of designs featured in architectural journals such

as *The Australian Home Beautiful*. He often appeared in the 'Building and Architecture' column of *The Age* (13 Feb 1940:4). During this period Mason's practice was based in Collins Street.

Known examples of Mason's residential commissions include: 24 Tennyson Street, St Kilda (c1927) (*Herald*, 28 Sep 1927:16); 4 Moonga Road, Toorak (c1930); and 2 Grimwade Court, Caulfield North (1938). Examples of his flats include: Walbary Court Flats at 24 Tennyson Street, Elwood (1927); 18 Stonnington Place, Toorak (c1933) (*Herald*, 8 Mar 1933:20); Taradale Flats at 229 Brighton Road, Elwood (1936); Harrowlea Flats, 86 Blessington Street, St Kilda (1937); flats at 3 Church Square, St Kilda (1940); and the flats at 5 Wimbledon Avenue, Elwood (1930, 1941). A prominent commercial project was the former Relova Redressing Laundry at 127-35 Hoddle Street, Richmond (1937).

In the latter part of his career, Mason was based in Gardenvale. Another of his later works included additions to Bittern Cottage (1916), Frankston-Flinders Road, Bittern in the 1970s (*Age*, 29 Jul 1978:38).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

1 Clee Street is a block of four flats located on the west side of Clee Street, south of Murray Road in McKinnon's west. The site is located on a curved lot at the mid-point of Clee Street, which otherwise has a north-south alignment. Subsequently the site is approximately triangular, with a long and exposed frontage to the street. This, combined with the topography of the site – the land rises to the south – makes the site particularly prominent within the surrounding suburban context.

The complex comprises four flats which are arranged in three two-storey blocks across the site – a two-storey section at the south end, with the other units elevated above garages to the north. The built form responds directly to the irregular shaped site, with rectilinear bays projecting towards the street boundary and breaking up the overall massing. The topography of the site is reflected in the stepping down of flat roofs from the high point at the south end.

The roofs are flat with broad eaves and deep timber fascias. Walls are constructed of orange face brick laid in stretcher bond, with angled brick window sills. Dark brown glazed brick, laid in stack bond, highlight the entrance to the flat that marks the transition between roof heights. Dark brown glazed tiles are used in the floor treatments of all entries and steps, and simple vertical wrought iron balustrades line the balconies, entrance porches and stairs. Windows and doors are timber-framed with horizontal glazing bars dividing windows into three sections, contributing to the horizontal emphasis provided by the flat roofs, deep fascias and balconies.

Concrete driveways lead to integrated garages with ribbed steel tilt-up doors, and concrete paths provide access to each flat. Low, curvilinear orange brick retaining walls line the front boundaries and driveways.

Key Features

- Two-storey residential flat complex in the postwar Modernist style
- Box-like forms which respond to the geometry and topography of the curved, sloping site
- Flat roofs with broad eaves and deep timber fascias

- Orange brick construction with contrasting brown glazed brick feature element
- Dark glazed tiles to external entries and steps
- Wrought iron balustrading to balconies, entrance porches and stairs
- Expansive timber framed glazing with horizontal glazing bars and low brick sills
- Horizontal emphasis provided by flat roofs, deep fascias, balconies and horizontal glazing bars
- Integrated garages with tilt-up doors
- Concrete access driveways and paths
- Low curvilinear orange brick retaining walls lining the street boundaries and driveways.



Figure 2. Aerial photo of the subject site, April 2023 (Source: Nearmap).



Figure 4. Southern end of complex (GJM Heritage, February 2023)



Figure 5. Western elevation of complex (GJM Heritage, February 2023)

Intactness/Integrity

The multi-unit complex at 1 Clee Street, McKinnon remains highly intact to its period of construction. The place retains a high degree of integrity as a small multi-unit complex from the postwar period.

Comparative Analysis

A spike in housing demand after World War II led to the construction of multi-unit developments in the postwar period in across Melbourne, including in the suburbs of what is now the City of Glen Eira. A small number of these are included in the Heritage Overlay of the Glen Eira Planning Scheme to demonstrate this historical and architectural phase of development. These include:

Flats, 53 Balaclava Road, St Kilda East (HO219),
Bernard Evans, 1949-1951 (42 flat development)



Figure 6. 53 Balaclava Road, St Kilda East (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

House and Flats, 61-63 Gordon Street, Elsternwick (HO227), Kurt Popper, 1956 (house and adjoining block of six flats)



Figure 7. 61-63 Gordon Street, Elsternwick (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

Flats, 218 Kooyong Road, Caulfield North (HO231), Winston Hall Associates, 1957-59 (dwelling with two upstairs flats)



Figure 8. 218 Kooyong Road, Caulfield North (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

Flats, 70 Orrong Crescent, Caulfield North (HO236), Holgar & Holgar, 1967-1968 (eight flats)



Figure 9. 70 Orrong Crescent, Caulfield North (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

These architect-designed multi-unit developments demonstrate this important residential typology in the City of Glen Eira. They include both large-scale blocks of flats on substantial sites (such as the 42-flat multi-unit development at 53 Balaclava Road, St Kilda East) and small-scale examples (such as those at 61-63 Gordon Street, Elsternwick and 218 Kooyong Road and 70 Orrong Crescent, Caulfield North). Like 1 Clee Street, McKinnon, the small-scale developments at 61-63 Gordon Street, Elsternwick and 218 Kooyong Road, Caulfield North were specifically designed to accommodate the client and provide additional rental accommodation.

Like the above examples, 1 Clee Street, McKinnon retains a high level of integrity to its period of construction and remains highly intact to demonstrate this important postwar residential multi-unit typology in the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The residential flats at 1 Clee Street, McKinnon are illustrative of suburban development in the City of Glen Eira in the postwar period when numerous residential flats were constructed to meet increased housing demand following World War II. The impetus for higher density living, combined with changes to strata title legislation (which allowed for the sale of individual units for the first time in Victoria), led to a proliferation of multi-unit developments throughout suburban Melbourne in the 1960s and 1970s. The residential flats at 1 Clee Street clearly demonstrate this shift towards lower-cost, higher-density living which characterised suburban development during the postwar period in what is now the City of Glen Eira, and across Melbourne more broadly.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The residential flats at 1 Clee Street, McKinnon are a fine and highly intact representative example of a postwar Modernist style multi-unit development. Designed by architect Walter Mason, the flats display typical characteristics of this style, including two-storey box-like forms with horizontal emphasis, asymmetrical elevations, stepped flat roofs with broad eaves and deep timber fascias, expansive and repetitive timber-framed glazing, contrasting brickwork and tiles, wrought iron balustrading and prominent integrated garages.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The residential flats at 1 Clee Street, McKinnon are of aesthetic significance as a well-resolved and carefully detailed example of a Modernist style multi-unit development that cleverly responds to the sloping, irregular site. Designed by architect Walter Mason, the building is characterised by the stepped massing of the units and refined detailing such as contrasting brickwork and repetitive window units. The residential flats at 1 Clee Street, McKinnon demonstrates the key aesthetic qualities of Modernist design in the City of Glen Eira to a high standard.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes – low brick walls to street boundary and driveways
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 10 below.



Figure 10. Recommended Extent of Heritage Overlay (to property boundaries)

References

Australian Electoral Roll.

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

Built Heritage, 'Flats, 1 Cleve Street, McKinnon' citation in *City of Glen Eira Heritage Review 2019*, [draft] August 2019.

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Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

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Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

The Age.

The Australian Home Beautiful.

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Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

FLATS 1-4/1 CLEE STREET, MCKINNON - STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: Residential Flats 1-4/1 Clee Street, McKinnon

PS ref no.: TBC



Figure 1. 1 Clee Street, McKinnon (GJM Heritage, February 2023).

What is significant?

Flats 1-4 at 1 Clee Street, McKinnon, a postwar Modernist style flat complex constructed in 1963.

Elements that contribute to the significance of the place include:

- Two-storey residential flat complex in the postwar Modernist style
- Box-like forms which respond to the geometry and topography of the curved, sloping site
- Flat roofs with broad eaves and deep timber fascias
- Orange brick construction with contrasting brown glazed brick feature element
- Dark glazed tiles to external entries and steps

- Wrought iron balustrading to balconies, entrance porches and stairs
- Expansive timber framed glazing with horizontal glazing bars and low brick sills
- Horizontal emphasis provided by flat roofs, deep fascias, balconies and horizontal glazing bars
- Integrated garages with tilt-up doors
- Concrete access driveways and paths
- Low curvilinear orange brick retaining walls lining the street boundaries and driveways.

How is it significant?

Flats 1-4 at 1 Cleve Street, McKinnon are of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

The residential flats at 1 Cleve Street, McKinnon are illustrative of suburban development in the City of Glen Eira in the postwar period when numerous residential flats were constructed to meet increased housing demand following World War II. The impetus for higher density living, combined with changes to strata title legislation (which allowed for the sale of individual units for the first time in Victoria), led to a proliferation of multi-unit developments throughout suburban Melbourne in the 1960s and 1970s. The residential flats at 1 Cleve Street clearly demonstrate this shift towards lower-cost, higher-density living which characterised suburban development during the postwar period in what is now the City of Glen Eira, and across Melbourne more broadly (Criterion A).

The residential flats at 1 Cleve Street, McKinnon are a fine and highly intact representative example of a postwar Modernist style multi-unit development. Designed by architect Walter Mason, the flats display typical characteristics of this style, including two-storey box-like forms with horizontal emphasis, asymmetrical elevations, stepped flat roofs with broad eaves and deep timber fascias, expansive and repetitive timber-framed glazing, contrasting brickwork and tiles, wrought iron balustrading and prominent integrated garages (Criterion D).

The residential flats at 1 Cleve Street, McKinnon are of aesthetic significance as a well-resolved and carefully detailed example of a Modernist style multi-unit development that cleverly responds to the sloping, irregular site. Designed by architect Walter Mason, the building is characterised by the stepped massing of the units and refined detailing such as contrasting brickwork and repetitive window units. The residential flats at 1 Cleve Street, McKinnon demonstrates the key aesthetic qualities of Modernist design in the City of Glen Eira to a high standard (Criterion E).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

SCHEUER HOUSE, 4 CLEE STREET, MCKINNON



Figure 1. 4 Clee Street, McKinnon (GJM Heritage, February 2023).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1971	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

landscape design for the front garden, indicate that the enclosed garage was previously an open carport. The architectural drawings are initialled 'CK', however the name of the architect has not been determined.

Ruth Scheuer was born in Poland in 1935 and arrived in Australia in 1949. From 1958 Ruth was associated with the Women's International Zionist Organisation (WIZO), 'a non-party international movement dedicated to the advancement of the status of women, welfare of all sectors of Israeli society and encouragement of Jewish education in Israel and the Diaspora.' Ruth was president of Wizo Nirim from 1991 and received many volunteer awards, including from Glen Eira Council and the National Council of Jewish Women. In 2019 Ruth received a Medal of the Order of Australia (OAM) for her service to the Jewish Community of Victoria (WIZO Victoria).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

4 Clee Street is located on the east side of Clee Street opposite the intersection with Harold Street in McKinnon's west. The site is rectangular and the house is setback from the front boundary behind a small garden and coloured concrete paved driveway.

The two-storey house has a low, box-like form with a distinctive curved front elevation and a flat roof with broad timber-lined eaves to the front and sides, finished with a timber fascia. At the ground floor level, the front elevation is divided into a tripartite arrangement around a central entry, with an integrated garage (previously open carport) to the south and expansive glazing to the north. The front entrance is recessed under the first floor and is entered through a distinctive, broad curved arch with elaborate wrought iron screen. The first-floor level occupies the westernmost half of the ground floor plan form and projects forward of the entry, study and garage. The first floor façade features a continuous horizontal band of glazing above a pale brown brick spandrel, laid in stacked bond, and an exposed concrete slab edge. Side walls are pale brown brick laid in stretcher bond.

The front garden is heavily planted and unfenced. A glazed brown tiled path leads to the entrance and a broad concrete driveway leads to the garage.

Key Features

- Two-storey house in the postwar Modernist style
- Box-like form with distinctive curved front elevation
- Brick wall and concrete slab construction
- Flat roof with broad eaves and timber fascia
- Expansive timber-framed glazing at ground and first floor levels
- Brick stacked bond spandrel at first floor
- Recessed front entrance with distinctive, broad curved arch

- Horizontal emphasis to front elevation provided by flat roof and fascia, continuous glazing, brick spandrel and exposed concrete slab edge at first floor level
- Original recessed carport space (with later garage door).



Figure 3. Aerial photo of the subject site, April 2023 (Source: Nearmap).



Figure 4. Principal elevation of 4 Cleve Street, McKinnon (GJM Heritage, February 2023)

Intactness/Integrity

The house at 4 Cleve Street, McKinnon remains highly intact to its period of construction. The place retains a high degree of integrity as a house from the postwar period.

Comparative Analysis

In the immediate post-war period through to the mid-1970s, a number of Modernist houses were constructed in the City of Glen Eira, often for those with an appreciation of Modernist architecture and its design principles. These houses were designed with a simplicity of structure and a sparseness of detail. Plans were typically rectangular and forms were box-like with a horizontal emphasis. Shallow-pitched or flat roofs were clad with lightweight sheeting. Integrated carports were prominently sited while entries were commonly recessed or concealed from view. A diverse

range of clay and concrete bricks were available for wall construction. Expansive timber-framed glazing maximised sun penetration and provided visual and physical connection with the outdoors. Landscaping was commonly integrated into the overall design with paving, and integrated or freestanding individually-designed letterboxes.

A number of postwar Modernist houses are included in the Heritage Overlay of the Glen Eira Planning Scheme. Those that are comparable to 4 Clee Street, McKinnon include:

386 Alma Road, Caulfield North (HO217), Ernest Fooks, 1961-1962



Figure 5. 386 Alma Road, Caulfield North (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

14-16 Clee Street, McKinnon (HO224), Holgar & Holgar, 1962-1963



Figure 6. 14-16 Clee Street, McKinnon (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

2 Edinburgh Avenue, Caulfield (HO225). Bernard Slawik, 1962-1963



Figure 7. 2 Edinburgh Avenue, Caulfield (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

49 Aroona Road, Caulfield North (included in HO238 – Aroona Road Modernist Precinct), Holgar & Holgar, 1970-1971



Figure 8. 49 Aroona Road, Caulfield North (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

6 Labassa Grove, Caulfield North (HO232), Bernard Slawik, 1963-1964



Figure 9. 6 Labassa Grove, Caulfield North (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

Like 4 Clee Street, McKinnon, the above houses were constructed in the Modernist style of the 1950s and 1960s. Constructed in brick, these houses exhibit a range of representative characteristics of housing built in this style, including low box-like forms with prominent carports/garages, flat or low-pitched roofs, large expanses of glazing, horizontal emphasis and recessed entries. Like the above examples, 4 Clee Street, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the postwar Modernist style.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

Scheuer House at 4 Clee Street, McKinnon has strong associations with postwar suburban development in the City of Glen Eira, when a number of Modernist houses were constructed in the municipality, often for those with an appreciation of Modernist architecture, its design principles, and the value of employing an architect. Built for prominent community figure Ruth Scheuer OAM, this house reflects how Modernist design was strongly embraced by members of the Jewish community in particular. The Scheuer House at 4 Clee Street, McKinnon makes a strong contribution to this important phase in the development of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

Scheuer House at 4 Clee Street, McKinnon is a fine and highly intact representative example of a postwar Modernist style house. It displays typical characteristics of this style, including a two-storey box-like form with horizontal emphasis, flat roof with broad eaves, brick construction with stacked bond front spandrel, expansive timber-framed glazing and distinctive recessed front entrance.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

Scheuer House at 4 Clee Street, McKinnon is of aesthetic significance as a well-resolved and carefully detailed example of a Modernist style house. The building is characterised by its elevated siting, distinctive curved front elevation and broad arched entry, and refined detailing such as stacked brickwork spandrel. Scheuer House at 4 Clee Street, McKinnon demonstrates the key aesthetic qualities of Modernist design in the City of Glen Eira to a high standard.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 10 below.



Figure 10. Recommended Extent of Heritage Overlay (to property boundaries)

References

Australian Electoral Rolls, 1980.

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Permit plans (PP) provided by Glen Eira City Council.

Plan of Drainage (PD) No. 165967.

Sands & McDougall (S&Mc) Directories.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

The Age.

The Australian Jewish News.

WIZO Victoria, 'Ruth Scheuer OAM', <<https://wizovic.org.au/honour-directory/ruth-scheuer-oam/>>, accessed April 2023.

SCHEUER HOUSE – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: Scheuer House, 4 Clee Street, McKinnon	PS ref no.: TBC
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Figure 1. 4 Clee Street, McKinnon (GJM Heritage, February 2023).

What is significant?

Scheuer House at 4 Clee Street, McKinnon, a postwar Modernist style house constructed in 1971

Elements that contribute to the significance of the place include (but are not limited to):

- Two-storey house in the postwar Modernist style
- Box-like form with distinctive curved front elevation
- Brick wall and concrete slab construction
- Flat roof with broad eaves and timber fascia
- Expansive timber-framed glazing at ground and first floor levels
- Brick stacked bond spandrel at first floor
- Recessed front entrance with distinctive, broad curved arch

- Horizontal emphasis to front elevation provided by flat roof and fascia, continuous glazing, brick spandrel and exposed concrete slab edge at first floor level
- Original recessed carport space (with later garage door).

Later alterations and additions, including the later garage door, are not contributory.

How is it significant?

Scheuer House at 4 Clee Street, McKinnon is of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

Scheuer House at 4 Clee Street, McKinnon has strong associations with postwar suburban development in the City of Glen Eira, when a number of Modernist houses were constructed in the municipality, often for those with an appreciation of Modernist architecture, its design principles, and the value of employing an architect. Built for prominent community figure Ruth Scheuer OAM, this house reflects how Modernist design was strongly embraced by members of the Jewish community in particular. The Scheuer House at 4 Clee Street, McKinnon makes a strong contribution to this important phase in the development of the City of Glen Eira (Criterion A).

Scheuer House at 4 Clee Street, McKinnon is a fine and highly intact representative example of a postwar Modernist style house. It displays typical characteristics of this style, including a two-storey box-like form with horizontal emphasis, flat roof with broad eaves, brick construction with stacked bond front spandrel, expansive timber-framed glazing and distinctive recessed front entrance (Criterion D).

Scheuer House at 4 Clee Street, McKinnon is of aesthetic significance as a well-resolved and carefully detailed example of a Modernist style house. The building is characterised by its elevated siting, distinctive curved front elevation and broad arched entry, and refined detailing such as stacked brickwork spandrel. Scheuer House at 4 Clee Street, McKinnon demonstrates the key aesthetic qualities of Modernist design in the City of Glen Eira to a high standard (Criterion E).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

LOMBARD HOUSE, 18 CLEE STREET, MCKINNON



Figure 1. 18 Clee Street, McKinnon (GJM Heritage, February 2023)

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1957	Builder: Allan A Armstrong
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The southern part of Clee Street was first subdivided into suburban residential allotments in the 1910s as part of the Clee Hill Estate, while the northern section was subdivided in the 1920s (Ward 1996: 46). A 1945 aerial photograph shows that interwar development was dense along the southern part of the street near McKinnon Road, while vacant lots remained to the north. In the postwar period a number of properties on the street were developed, either on vacant land or replacing earlier houses. This resulted in a small cluster of postwar houses and flats of architectural interest.

The house at 18 Clee Street was built in 1957 on previously undeveloped land. A plan of the subject site dated July 1957 shows a footprint of the new house and identifies the owner as D Lombard and the agent as A Armstrong of 14 Roosevelt Court, East Brighton (PP) (Figure 2). Allan Albert Armstrong was a master builder active in the area in the 1950s (*Age*, 6 Sep 1952:27; Electoral Rolls, 1954).

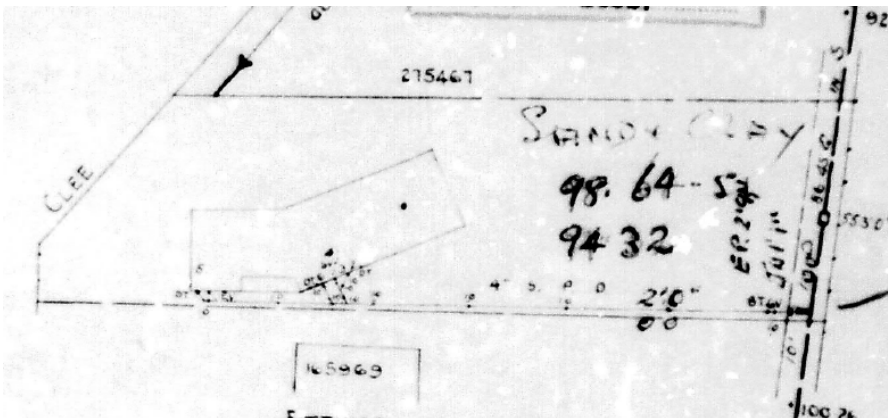


Figure 2. Footprint of the house, dated July 1957, annotated with sewerage works (Source: Plan of Drainage No. 292608).

An oblique aerial photo dated 1960 shows the new house from the south, when the property had less vegetation (Figure 3). Between 1960 and 1965 the house was occupied by D M Lombard (S&Mc).

In October 1963 the property was advertised for sale, described as an “architecturally designed and supervised” cream brick veneer home, amidst executive-type homes, with views of the surrounding district. The house comprised three bedrooms, dining room, living room, “ultramodern bathroom and kitchen”, heating in floors, and woodwork throughout (*Age*, 9 Oct 1963:25). It is noted that the identity of the architect who designed and supervised construction of the house has not been able to be established.

An outbuilding was constructed on the north boundary (date not known).

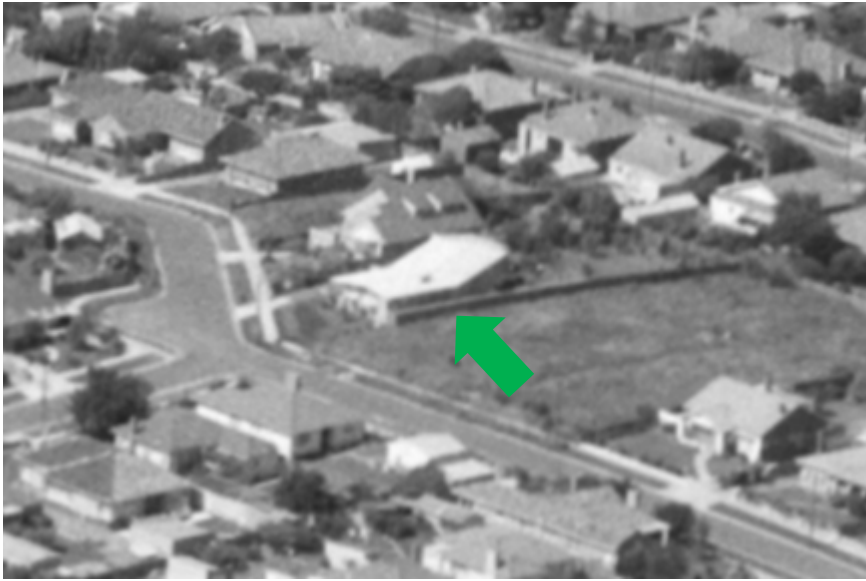


Figure 3. A 1960 oblique aerial photo, with the house at the subject site indicated (SLV, Image H2010.91/253).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

18 Clee Street is located on the east side of Clee Street opposite the intersection with Hastings Street, in McKinnon's west. The site is located at the mid-point of Clee Street where the road angles towards the east. The lot is broadly rectangular and orientated east-west with the front boundary reflecting the change in the road alignment.

The single-storey house is set back from the street behind a garden area. In plan form, the front section of the house runs parallel to the side boundaries, while the rear section of the house is angled to the north-east. The house has a low-pitched gable roof clad in metal sheeting with broad eaves, exposed rafter ends, and shallow timber fascias. Walls are constructed of cream face brick laid in stretcher bond. Substantial areas of both the western and northern elevations comprise timber-framed window walls with glazed doors integrated into these. The entrance area north of the house is partially enclosed by a brick garden wall which is an extension of the front elevation, integrated beneath windowsill height.

A driveway extends along the northern boundary leading to a carport located to the rear of the house. The front garden is unfenced and is heavily vegetated.

Key Features

- Single-storey house in the postwar Modernist style with cranked floor plan
- Cream brick construction
- Low-pitched metal-clad gable roof
- Broad eaves with exposed rafter ends and shallow timber fascia

- Expansive timber framed glazing including window walls with glazed doors
- Concealed entry behind brick garden wall.



Figure 4. Aerial photograph of the subject site, April 2023 (Source: Nearmap).



Figure 5. North west corner of the house (Source: GJM Heritage, February 2023)

Intactness/Integrity

The house at 18 Cleve Street, McKinnon appears to remain highly intact to its period of construction. The place retains a high degree of integrity as a house from the postwar period.

Comparative Analysis

In the immediate post-war period through to the mid-1970s, a number of Modernist houses were constructed in the City of Glen Eira, often for those with an appreciation of Modernist architecture and its design principles. These houses were designed with a simplicity of structure and a sparseness of detail. Plans were typically rectangular and forms were box-like with a horizontal emphasis. Shallow-pitched or flat roofs were clad with lightweight sheeting. A diverse range of clay and concrete bricks were available for wall construction and expansive timber-framed glazing maximised sun penetration and provided visual and physical connection with the outdoors. Entries were commonly recessed or concealed from view and landscaping was commonly integrated into the overall design.

A small number of postwar Modernist houses are included in the Heritage Overlay of the Glen Eira Planning Scheme. Those that are comparable to 18 Cleve Street, McKinnon include:

386 Alma Road, Caulfield North (HO217), Ernest Fooks, 1961-1962



Figure 6. 386 Alma Road, Caulfield North (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

14-16 Clee Street, McKinnon (HO224), Holgar & Holgar, 1962-1963



Figure 7. 14-16 Clee Street, McKinnon (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

2 Edinburgh Avenue, Caulfield (HO225). Bernard Slawik, 1962-1963



Figure 8. 2 Edinburgh Avenue, Caulfield (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

49 Aroona Road, Caulfield North (included in HO238 – Aroona Road Modernist Precinct), Holgar & Holgar, 1970-1971



Figure 9. 49 Aroona Road, Caulfield North (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

6 Labassa Grove, Caulfield North (HO232), Bernard Slawik, 1963-1964



Figure 10. 6 Labassa Grove, Caulfield North (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

56 Thomas Street, Brighton East (HO170)



Figure 11. 56 Thomas Street, Brighton East (Source: *City of Glen Eira Citation*)

23 Edinburgh Avenue, Caulfield (HO226)



Figure 12. 23 Edinburgh Avenue, Caulfield (Source: *Built Heritage, City of Glen Eira Heritage Review, 2020*)

Like 18 Cleve Street, McKinnon, the above houses were constructed in the postwar Modernist style of the 1950s and 1960s. Constructed in brick, these houses exhibit a range of representative characteristics of housing built in this style, including low box-like forms, flat or low-pitched roofs with broad eaves and timber fascias, expansive timber-framed window walls and recessed or concealed entries.

Of the above examples, 18 Cleve Street is most comparable with the more modestly-scaled box-like forms of the dwellings at 6 Labassa Grove, Caulfield North 56 Thomas Street, Brighton East; and 23 Edinburgh Road, Caulfield, while the two-storey examples generally display a higher level of architectural finesse than 18 Cleve Street. Built in 1958 to a design by architects Montgomery, King & Trengove, the single-storey house at 23 Edinburgh Road, Caulfield provides particularly close comparison to the house at 18 Cleve Street with its low-pitched gabled roof form with broad eaves to the north, expansive glazing including a window wall to the street and concealed entry.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

Lombard House at 18 Clee Street, McKinnon has strong associations with postwar suburban development in the City of Glen Eira when a number of Modernist houses were constructed in the municipality, often for those with an appreciation of Modernist architecture, its design principles, and the value of employing an architect. The house at 18 Clee Street, McKinnon makes a strong contribution to this important phase in the development of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

Lombard House at 18 Clee Street, McKinnon is a fine and highly intact representative example of a postwar Modernist style house. It displays typical characteristics of this style, including a single-storey box-like form, low pitched gable roof form with broad eaves, exposed rafter ends and shallow timber fascia, expansive timber-framed glazing including window walls with glazed doors, and a concealed entry.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 13 below.



Figure 13. Recommended Extent of Heritage Overlay (to property boundaries)

References

Australian Electoral Rolls.

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

Landata Victoria (LV), historical aerial photographs.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Permit plans (PP) provided by Glen Eira City Council.

Plan of Drainage (PD) No. 292608.

Sands & McDougall (S&Mc) Directories.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

State Library of Victoria (SLV), images as cited.

The Age.

LOMBARD HOUSE – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: Lombard House, 18 Clee Street, McKinnon

PS ref no.: TBC



Figure 1. 18 Clee Street, McKinnon (GJM Heritage, February 2023)

What is significant?

Lombard House at 18 Clee Street, McKinnon, a postwar Modernist house constructed in 1957.

Elements that contribute to the significance of the place include:

- Single-storey house in the postwar Modernist style with cranked floor plan
- Cream brick construction
- Low-pitched metal-clad gable roof
- Broad eaves with exposed rafter ends and shallow timber fascia
- Expansive timber framed glazing including window walls with glazed doors
- Concealed entry behind brick garden wall.

The carport to the rear is not contributory.

How is it significant?

Lombard House at 18 Clee Street, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

Lombard House at 18 Clee Street, McKinnon has strong associations with postwar suburban development in the City of Glen Eira when a number of Modernist houses were constructed in the municipality, often for those with an appreciation of Modernist architecture, its design principles, and the value of employing an architect. The house at 18 Clee Street, McKinnon makes a strong contribution to this important phase in the development of the City of Glen Eira (Criterion A).

Lombard House at 18 Clee Street, McKinnon is a fine and highly intact representative example of a postwar Modernist style house. It displays typical characteristics of this style, including a single-storey box-like form, low pitched gable roof form with broad eaves, exposed rafter ends and shallow timber fascia, expansive timber-framed glazing including window walls with glazed doors, and a concealed entry (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

5 ELLINDALE AVENUE, MCKINNON



Figure 1. 5 Ellindale Avenue, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect/Designer: J G Brockie (owner/builder)
Construction Date: 1939-40	Builder: J G Brockie (owner/builder)
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area immediately surrounding this property was subdivided into suburban residential allotments the mid-1920s (Ward 1996: Vol 1, 46). In 1924, the 'Ellindale Estate' was advertised on the north-east corner of Jasper and Manchester (now McKinnon) roads in 'South Ormond,' offering both shop and home sites (Figure 2) (*Age*, 6 Dec 1924:12; 10 Dec 1924:2). In the mid- and late-1930s, remaining lots within the estate were advertised for sale (*Argus*, 2 Mar 1935:2; 22 Feb 1939:16; *Age*, 7 Mar 1939:4).

GREAT LAND SALE ————— **SATURDAY, DECEMBER 13th, 1924**
At 3 o'clock, in a Spacious Marquee on the Land

ELLINDALE ESTATE, SOUTH ORMOND

Four Minutes walk from McKinnon Railway Station

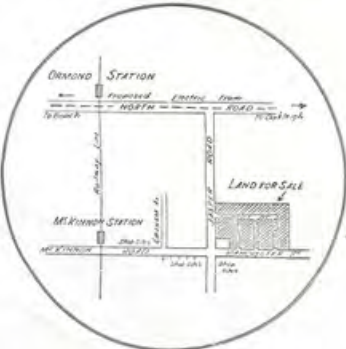
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£5 DEPOSIT

BALANCE
33 Quarterly Interest 6 per Cent.
Balance within 6 Years


ORMOND and McKINNON

Have a Splendid Train Service with
143 Electric Trains daily.



12 Shop Sites 12 **68 Home Sites 68**

Having Splendid Depths Magnificent Garden Soil



Water and Electric Light all round the Estate

TITLE CERTIFICATE

Auctioneer :

EDGAR J. HINTON

141 NEERIM ROAD GLENHUNTLY

Figure 2. Auction notice for Ellindale Estate, 1924 – subject site indicated in red (Source: City of Moorabbin Historical Society via Victorian Collections, Identifier 01655).

The house at the subject site was constructed in 1939-40. A plan of the subject site dated February 1940 (Figure 3) shows a footprint of the new house, with the owner identified as J G Brockie of 50 Lillimur Road, Ormond (PD). John Gordon Brockie was a builder (RB) and was known to have operated as J G Brockie and Son in the 1930s and early 1940s (*Camperdown Chronicle*, 10 Mar 1932:4; *Argus*, 9 Mar 1949:10). It is likely that Brockie constructed the house at the subject site.

A 1945 aerial photograph (Figure 4) shows the house and a garage near the west boundary.

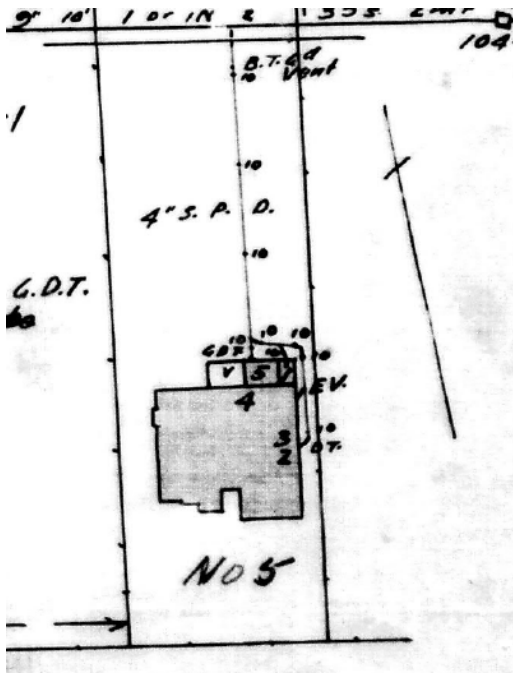


Figure 3. Footprint of the house, dated February 1940, annotated with sewerage works (Source: Plan of Drainage No. 217356).

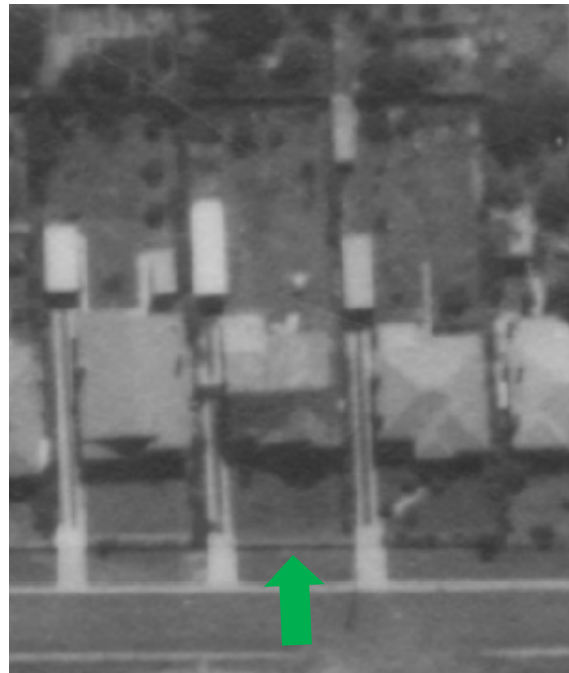


Figure 4. 1945 aerial photo of the subject site, indicated by the green arrow (Source: Landata Victoria).

In 1991 the property was advertised for sale, described as a ‘stylish clinker brick home’ with a living room, formal dining room, kitchen, three or four bedrooms and a double garage (*Age*, 14 Sep 1991:3).

Alterations and additions to the house include the demolition of a rear section of the dwelling and construction of a two-storey gable-roof addition off the rear (north) elevation in c.1996, which appears to have included adding dormer windows on the original rear roof plane. The ridgeline of the rear addition matches that of the original house. A further single-storey addition (possibly a covered patio) has been constructed off the rear (north) elevation along with a carport/garage at the north-west corner of the house (dates not known).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

5 Ellindale Avenue is located on the north side of Ellindale Avenue, off Jasper Road and in close proximity to the McKinnon Road shopping precinct. The site is rectangular and the house is set back from the front boundary behind a small garden and lawn.

Designed in the English Domestic Revival style, the originally single-storey clinker brick house has a steeply pitched, tile-clad, gable roof that runs parallel to the street frontage. The house is asymmetrical in form with stepped gabled bays projecting from the east end of the principal elevation. Two prominent, tall clinker brick chimneys are located at the western end of the house, with the chimney at the front (south) elevation articulated above the chimney breast with a shorter pitched capped section and a taller rectangular section. The prominent gable ends have small vertical vents in the brickwork and corbelling at the eaves. Later dormer windows are located on the north side of the main roof form with a later gabled wing to the north creating an attic storey. The walls are constructed of clinker brick with contrasting bands of pale clinker brick, that articulate the gable ends and appear as soldier courses above openings. An entrance porch is recessed within the projecting gable end and includes an arched opening and lamp above. Windows are narrow, timber-framed casement windows with diamond-patterned leadlight, and include a corner window at the south-west corner of the house and a bay of four windows to the gable end.

A driveway extends along the west boundary to a later carport at the north-west corner of the house, the pitched form of which is repeated in a later, possible pergola addition to the rear (north) of the house. The metal palisade front fence is a later addition.

Key Features

- Originally single-storey house in the Interwar English Domestic Revival style
- Clinker brick construction with contrasting bands of pale clinker brick
- Prominent, steeply pitched, tile-clad gable-ended roof forms
- Asymmetrical front elevation with stepped gabled bays to the east end of the front elevation and prominent chimneys to the west end
- Corbelled gable-ends with decorative vertical vents
- Recessed front entry porch with arched opening and lamp above, formed by an extension of the projecting gable end
- Timber framed casement windows with diamond-patterned leadlight.



Figure 5. Street elevation of 5 Ellindale Avenue, McKinnon (GJM Heritage, February 2023)



Figure 6. Aerial photograph of the subject site, April 2023 (Source: Nearmap).

Intactness/Integrity

As viewed from the street, the house at 5 Ellindale Avenue, McKinnon remains highly intact to its period of construction. Despite additions to the rear, which are substantially concealed from the street frontage, the addition of dormer windows into the rear roof pitch, and the construction of a garage/carport that is set back behind the principal form of the house, the place retains a high degree of integrity as an Interwar English Domestic Revival style house.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. The suburbs of Caulfield, Elsternwick, Glen Huntly and Carnegie experienced their substantial residential development in pre-war years, although some larger properties were subdivided in the interwar period, providing opportunities for further development. In contrast, it was the interwar through to the early postwar period that saw the greatest residential growth in the southern suburbs. At this time, large numbers of houses were constructed on land previously under agricultural production. The Interwar Bungalow was the dominant house type, as represented in the Field Street Precinct, Bentleigh (HO188) and large numbers of these remain throughout the southern suburbs in varying states of intactness. A smaller number of residences adopted other interwar architectural styles, including the English Domestic Revival style displayed at 5 Ellindale Avenue, McKinnon.

A number of similarly styled houses are located throughout the City of Glen Eira and a small number of these are included, or have been recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme. Those that are comparable to 5 Ellindale Avenue, McKinnon include:

Duplex, 21-23 Nepean Highway, Elsternwick (HO191)



Figure 7. 21-23 Nepean Highway, Elsternwick (Source: Google Streetview, 2022)

Moore Residence, 200 Centre Road, Bentleigh (HO167)



Figure 8. 200 Centre Road, Bentleigh (Source: RBA Architects & Conservation Consultants, 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

8 Rothschild Street, Glen Huntly in 'Glen Huntly Tudor-Moderne Precinct' (recommended for the HO)



Figure 9. 8 Rothschild Street, Glen Huntly (Source: Google Streetview, 2018)

15 Rothschild Street, Glen Huntly in 'Glen Huntly Tudor-Moderne Precinct' (recommended for the HO)



Figure 10. 15 Rothschild Street, Glen Huntly (Source: Google Streetview, 2018)

Like the house at 5 Ellindale Avenue, McKinnon the above houses were constructed in the English Domestic Revival style. Constructed of clinker brick with tiled roofs, these houses exhibit a range of representative characteristics of housing built in this style, including asymmetrical forms and front elevations, steeply pitched roof forms, prominent gable ends, tall chimneys, recessed front entry porches, contrasting brickwork detailing, timber-framed windows, and decorative wrought iron detailing. Like the above examples, 5 Ellindale Avenue, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the English Domestic Revival style.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 5 Ellindale Avenue, McKinnon has strong associations with the extensive interwar development phase of the suburb of McKinnon, when the suburb was transformed from a predominantly agricultural one to an almost exclusively residential one by the 1950s. This period of development transformed the built environment and social character of the area. The house at 5 Ellindale Avenue, McKinnon demonstrates this phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 5 Ellindale Avenue, McKinnon is a fine and highly intact representative example of an English Domestic Revival style house. It displays typical characteristics of this style, including steeply pitched gable roof forms, clinker brick construction with contrasting brick banding, asymmetrical form with stepped gabled bays to the principal elevation, prominent chimneys, recessed front entry porch within projecting gable end, and diamond-patterned leadlight to timber-framed windows.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The house at 5 Ellindale Avenue, McKinnon is a well-considered and finely executed example of an English Domestic Revival style house. The careful detailing, including the use of contrasting clinker brickwork, corbelled gable-ends with vertical vents, decorative tapered chimney, and diamond-patterned leadlight to windows, presents a picturesque composition of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 11 below.



Figure 11. Recommended Extent of Heritage Overlay (to property boundaries)

References

- Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.
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- City of Moorabbin Historical Society via Victorian Collections, <<https://victoriancollections.net.au/>>, accessed April 2023.
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- Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.
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- Plan of Drainage (PD) No. 217356.
- Rate Books (RB), City of Caulfield, East Ward: 1939, entry 1340.
- Sands & McDougall (S&Mc) Directories.
- Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.
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HOUSE, 5 ELLINDALE AVENUE, MCKINNON – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 5 Ellindale Avenue, McKinnon

PS ref no.: TBC



Figure 1. 5 Ellindale Avenue, McKinnon (GJM Heritage, December 2022).

What is significant?

The house at 5 Ellindale Avenue, McKinnon, an English Domestic Revival style house constructed in 1939-40.

Elements that contribute to the significance of the place include:

- Originally single-storey house in the English Domestic Revival style
- Clinker brick construction with contrasting bands of pale clinker brick
- Prominent, steeply pitched, tile-clad gable-ended roof forms
- Asymmetrical front elevation with stepped gabled bays to the east end of the front elevation and tall prominent chimneys to the west end
- Corbelled gable-ends with decorative vertical vents

- Recessed front entry porch with arched opening and lamp above, formed by extension of projecting gable end
- Timber framed casement windows with diamond-patterned leadlight.

Later alterations and additions, including the rear additions, rear carport/garage and front fence, are not contributory.

How is it significant?

The house at 5 Ellindale Avenue, McKinnon is of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

The house at 5 Ellindale Avenue, McKinnon has strong associations with the extensive interwar development phase of the suburb of McKinnon, when the suburb was transformed from a predominantly agricultural one to an almost exclusively residential one by the 1950s. This period of development transformed the built environment and social character of the area. The house at 5 Ellindale Avenue, McKinnon demonstrates this phase of development in the southern part of the City of Glen Eira (Criterion A).

The house at 5 Ellindale Avenue, McKinnon is a fine and highly intact representative example of an English Domestic Revival style house. It displays typical characteristics of this style, including steeply pitched gable roof forms, clinker brick construction with contrasting brick banding, asymmetrical form with stepped gabled bays to the principal elevation, tall prominent chimneys, recessed front entry porch within projecting gable end, and diamond-patterned leadlight to timber-framed windows (Criterion D).

The house at 5 Ellindale Avenue, McKinnon is a well-considered and finely executed example of an English Domestic Revival style house. The careful detailing, including the use of contrasting clinker brickwork, corbelled gable-ends with vertical vents, decorative tapered chimney, and diamond-patterned leadlight to windows, presents a picturesque composition of this architectural style (Criterion E).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

'ELLINDALE', 2 GLEN ORME AVENUE, MCKINNON



Figure 1. 2 Glen Orme Avenue, McKinnon (GJM Heritage, May 2023).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1887	Builder: Not known
Recommendation: Remove from HO75 (Ormond and Environs Precinct, Ormond) and include in a site-specific Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development

expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon’s built environment continues to demonstrate the locality’s historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

This area west of McKinnon Railway Station was first subdivided into suburban residential allotments in the mid-1880s (Ward 1996: Vol 1, 46). Alfred Dean Hodgson, Melbourne solicitor, subdivided just under twenty-five acres in c1886, creating ‘Railway Park’ (Figure 2). The subdivision extended from McKinnon Road to the south, Murray Road to the north, the railway line to the east and Wattle Grove (including the western lots) to the west. The subdivision created Elm, Wattle, Hawthorn and Pine groves (the latter now known as Glen Orme Avenue). Lots were on-sold from 1886 (LV: V1794/F652).



Figure 2. Auction notice for Railway Park estate, c1880s (Source: SLV, Filename va001356).

Frances Mary Jane Baker, 'wife of Samuel Edward Baker of McKinnon Road East Brighton butcher,' purchased one of the smallest lots in the subdivision, Lot 15 (current 2 Glen Orme Avenue), in August 1886 (LV: V1841/F160). In 1887 Samuel Baker was first rated for Lot 15 of Railway Park which comprised a house (Net Annual Value [NAV] £14; assessed June 1887). In 1888 the house was further described as a 4 roomed weatherboard house (NAV £22; assessed Feb 1888). This indicates that the house at the subject site was constructed in 1887. The house was first occupied by Edward Ellin, then by Baker from 1889 (RB).

A 1928 plan of the property (Figure 3) shows a footprint of the house and an outbuilding to the rear along the south boundary. At this date the front verandah only extended across the west elevation and a smaller verandah was located on the rear (east) elevation. The house was annotated with the name 'Ellindale'. It is possible that the house was named after the first occupants. An aerial photograph dated 1945 (Figure 4) shows the extent of the house at that time.

The property had a large number of subsequent owners (LV: V1841/F160).

The front verandah was continued around to the northern elevation house (likely pre-1945). The house was extended to the rear (east) and a garage built along the north boundary (dates not known).

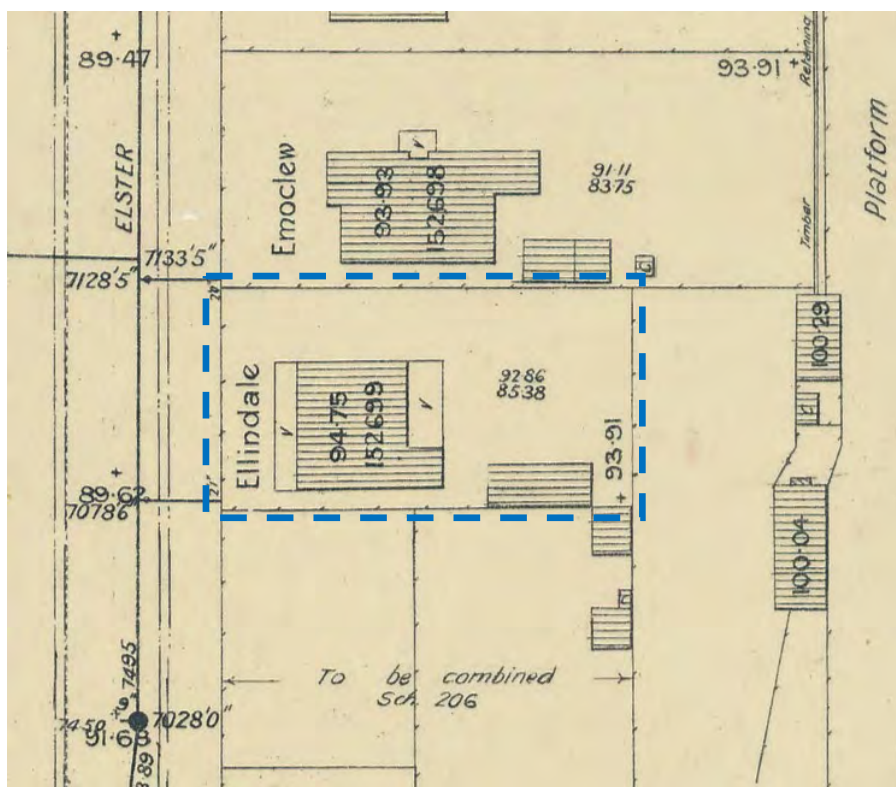


Figure 3. 1928 plan of the property, named 'Ellindale', with a footprint of the house and outbuildings (Source: MMBW DP 2829, dated 1928).

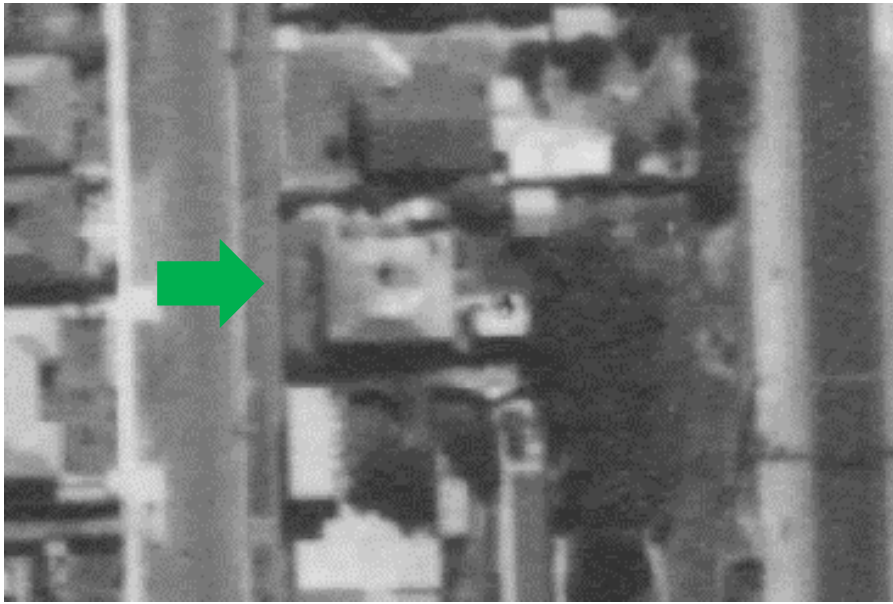


Figure 4. 1945 aerial photograph, the subject site indicated by the green arrow (Landata Victoria).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

2 Glen Orme Avenue is located on the east side of Glen Orme Avenue in close proximity to the McKinnon Road shopping precinct and immediately west of McKinnon Railway Station. The rectangular lot is accessed via a driveway at the north end of the site. The house has a small garden setback from the front boundary.

The single-storey timber house has an M-section hipped roof clad in corrugated sheet metal. A red brick corbelled chimney with a terracotta pot is located on the north ridgeline. Below the eaves are timber brackets alternating with roundels and raised panels. A verandah with a bullnosed profile, clad in corrugated sheet metal, extends across the west elevation and returns on the north elevation. It is supported on turned timber posts and decorated with a cast iron frieze and brackets. A central panelled door with a toplight is flanked by timber-framed one-over-one sash windows to each side.

The house was extended to the west after 1945. A later garage is located on the north boundary, and a later timber picket fence and vehicle gate extend across the front boundary.

Key Features:

- Single-storey timber house, typical of modest Italianate houses of the late Victorian period
- Corrugated metal-clad hipped roof-forms
- Symmetrical front elevation with central door flanked by single sash windows
- Front verandah with turned timber posts and decorative ironwork

- Detailing including paired eaves brackets with decorative roundels and raised panels between
- Panelled front door with toplight above
- Red brick chimney with corbelled detailing.



Figure 5. Aerial photo of the subject site, February 2023 (Source: Nearmap).



Figure 6. The principal (west) elevation and side (north) elevation (GJM Heritage, May 2023).

Intactness/Integrity

The house at 2 Glen Orme Avenue, McKinnon remains highly intact to its period of construction. Despite a single-storey addition made to the rear and the continuation of the front verandah as a return verandah on the north side of the original house, the place retains a high degree of integrity as a modest late Victorian residence.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct historical development history. Nineteenth century housing was limited to a small number of speculative subdivisions, commonly located in the vicinity of railway stations after the railway line opened through Bentleigh and McKinnon in 1881, or to accommodate local market gardeners.

A small number of examples in the southern part of the municipality are comparable to 2 Glen Orme Avenue, McKinnon and are included in the Heritage Overlay of the City of Glen Eira. They include:

22 Brady Road, Bentleigh East (HO97), 1889



Figure 7. 22 Brady Road, Bentleigh East (Source: VHD)

9 Vickery Street, Bentleigh (HO142), 1895



Figure 8. 9 Vickery Street, Bentleigh (Source: GJM Heritage, May 2022)

St Elmo, 133 Tucker Road, Bentleigh (HO215), 1885



Figure 9. 133 Tucker Road, Bentleigh (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

Athole, 18 Poplar Grove, Carnegie (HO80), 1889

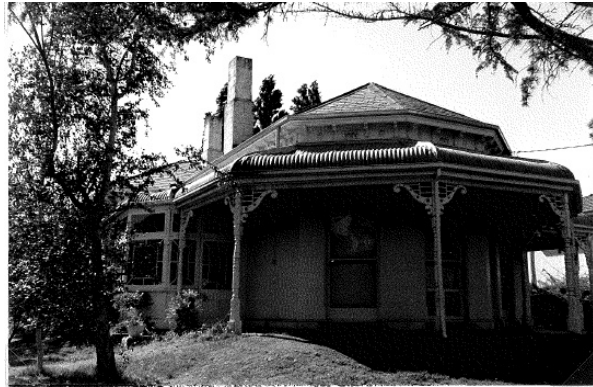


Figure 10. 18 Poplar Grove, Carnegie (Source: VHD)

Ida Villa, 234 Neerim Road, Carnegie (HO175), c1891-99



Figure 11. 234 Neerim Road, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh & Carnegie Structure Plan Areas', 2019)

Like the house at 2 Glen Orme Avenue, McKinnon, the above houses were constructed in the southern suburbs of what is now the City of Glen Eira in the late nineteenth century, either on subdivided land or as accommodation for local market gardeners. Constructed in either timber (Figures 7 & 8) or brick (Figures 9-11), these houses exhibit a range of characteristics of modest Italianate housing of the late Victorian period, including single-storey hipped roof forms clad in slate or corrugated metal, symmetrical or asymmetrical forms and front elevations, decorative front verandahs, bracketed eaves with associated decorative elements, and brick chimneys. Like the above examples, 2 Glen Orme Avenue, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of the Victorian Italianate style.

Similar to the small number of Victorian Italianate houses in McKinnon, Bentleigh and Bentleigh East included in the Heritage Overlay of the Glen Eira Planning Scheme, 2 Glen Orme Avenue, McKinnon demonstrates an important phase in the historical development of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Ellindale' at 2 Glen Orme Avenue, McKinnon has strong associations with the early development of McKinnon in the late nineteenth century, when land was first subdivided and sold in the southern part of the municipality. Constructed on land that formed part of the 1880s speculative 'Railway Park' subdivision following the construction of the railway, it is one of a small number of places remaining in the suburb to demonstrate this early phase of development. 'Ellindale' clearly illustrates this early phase of residential development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Ellindale’ at 2 Glen Orme Avenue, McKinnon is a fine and highly intact representative example of a modest late Victorian house. It displays typical characteristics of the Italianate style of the late Victorian period, including hipped roof, paired eaves brackets with frieze of panel and patera motifs, symmetrical front elevation with sash windows flanking either side of a central door, front verandah with decorative ironwork and red brick chimney.

Grading and Recommendations

‘Ellindale’ is currently included within the non-contiguous, mixed residential and commercial Ormond and Environs Precinct, Ormond (HO75). It is recommended that the place be removed HO75 and included in a site-specific Heritage Overlay in the Glen Eira Planning Scheme in recognition of its individual heritage value.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 12 below.



Figure 12. Recommended Extent of Heritage Overlay (to property boundaries)



References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Landata Victoria (LV):

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Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 2829, dated 1928.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

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Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

State Library of Victoria (SLV), images as cited.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

'ELLINDALE' – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 'Ellindale' – 2 Glen Orme Avenue, McKinnon

PS ref no.: TBC



Figure 1. 2 Glen Orme Avenue, McKinnon (GJM Heritage, May 2023).

What is significant?

'Ellindale' at 2 Glen Orme Avenue, McKinnon, a late Victorian Italianate style residence constructed in 1887.

Elements that contribute to the significance of the place include:

- Single-storey timber form, typical of modest Italianate houses of the late Victorian period
- Corrugated metal-clad hipped roof-forms
- Symmetrical front elevation with central door flanked by single sash windows
- Front verandah with turned timber posts and decorative ironwork
- Detailing including paired eaves brackets with decorative roundels and raised panels between
- Panelled front door with toplight above, and
- Red brick chimney with corbelled detailing.

Later alterations and additions, including the rear single-storey extension, the verandah to the north elevation, the garage and the front fence, are not contributory.

How is it significant?

'Ellindale' at 2 Glen Orme Avenue, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

'Ellindale' at 2 Glen Orme Avenue, McKinnon has strong associations with the early development of McKinnon in the late nineteenth century, when land was first subdivided and sold in the southern part of the municipality. Constructed on land that formed part of the 1880s speculative 'Railway Park' subdivision following the construction of the railway, it is one of a small number of places remaining in the suburb to demonstrate this early phase of development. 'Ellindale' clearly illustrates this early phase of residential development in the southern part of the City of Glen Eira. (Criterion A).

'Ellindale' at 2 Glen Orme Avenue, McKinnon is a fine and highly intact representative example of a modest late Victorian house. It displays typical characteristics of the Italianate style of the late Victorian period, including hipped roof, paired eaves brackets with frieze of panel and patera motifs, symmetrical front elevation with sash windows flanking either side of a central door, front verandah with decorative ironwork and red brick chimney (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

230 JASPER ROAD, MCKINNON



Figure 1. 230 Jasper Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1915-1917	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

Robert Walker, Melbourne estate agent, owned approximately 4.5 acres on the south-east corner of Jasper and Manchester roads (the latter now part of McKinnon Road) in January 1889. In 1896 Walker's holdings were officially transferred to the Mercantile Bank of Australia Ltd, before Florence H Grout purchased the land in July 1914. Grout subdivided the land into residential allotments and on-sold individual lots from August 1914 (LV: V2109/F608).

The current 230 Jasper Road was officially purchased by James E Meggs, a tramway track oiler 'of Jasper Road McKinnon', in February 1916 (LV: V3946/F195). Meggs was first listed in the Sands & McDougall Directories in 1915, as an occupant on the east side of Jasper Road, south of Manchester Road (now McKinnon Road). In 1917, Meggs was rated for Lot 6 on Jasper Road with a five-roomed weatherboard house, annotated 'In prod' (likely 'in production') (assessed November 1917) (RB; 1916 rate book not sighted). This strongly suggests that the house at 230 Jasper Road was constructed between 1915 and 1917.

A 1930 plan of the property (Figure 2) shows an early footprint of the house, and two outbuildings to the east (outbuildings since demolished). A 1945 aerial photo (Figure 3) shows the roof form of the house at the subject site, and two outbuildings.

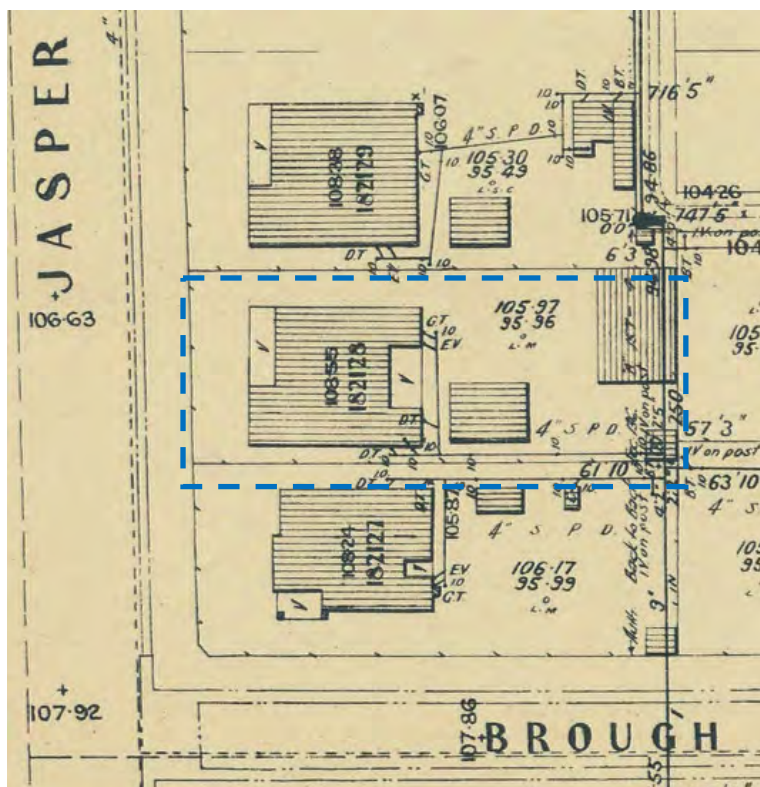


Figure 2. 1930 plan of the subject site, with a footprint of the house and outbuildings (Source: MMBW DP 3209, dated 1930).



Figure 3. 1945 aerial photograph of the subject site, indicated by the green arrow (Landata Victoria).

Meggs sold the property in 1921 and there have been various owners since (LV: V3946/F195).

The timber fretwork to the front verandah was installed in the late 2000s. A large extension was built to the rear (west of the house) between 2010 and 2013 (Google Street View).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

230 Jasper Road is located on the east side of Jasper Road, south of the intersection with McKinnon Road, in McKinnon's east. The rectangular site is accessed via a driveway at the north end of the street boundary. The house is setback from the front boundary behind a small front garden.

The single-storey timber house has a gabled-hip roof, with gablets facing north and south, clad in corrugated sheet metal with exposed rafter ends at the eaves. A tall red-brick corbelled chimney with a terracotta pot is located on the north section of the roof. The house is asymmetrical in form, with a projecting gabled bay at the south end of the principal elevation. The gabled bay has a truncated finial to the apex, and a half-timbered effect with rough-cast render to the jettied gable end with rough-cast rendered convex soffit detail. A pair of one-over-one timber-framed sash windows with toplights are located below.

The hipped verandah roof, which in part continues the main roof line, is clad in corrugated sheet metal and supported on turned timber posts, with a decorative timber frieze and brackets. Rows of notched weatherboards are located on the bottom third of the wall under the verandah, and at mid-window height on the gabled bay. The timber entrance door, with glazing to the top third, has a toplight and sidelight. Adjacent is a single timber-framed one-over-one sash window.

A large single-storey addition is located at the rear (east) of the house. A later low brick fence extends across the front boundary.

Key Features

- Single-storey timber house, typical of modest houses from the late Federation period
- Corrugated metal-clad gabled-hip roof form and integrated verandah roof
- Exposed rafter ends
- Red brick chimney
- Asymmetrical front elevation with prominent projecting gable end
- Rough cast render and half timbering effect to jettied gable end
- Notched weatherboards
- Front verandah with turned timber posts
- Timber-framed sash windows and front door with toplight and sidelights.

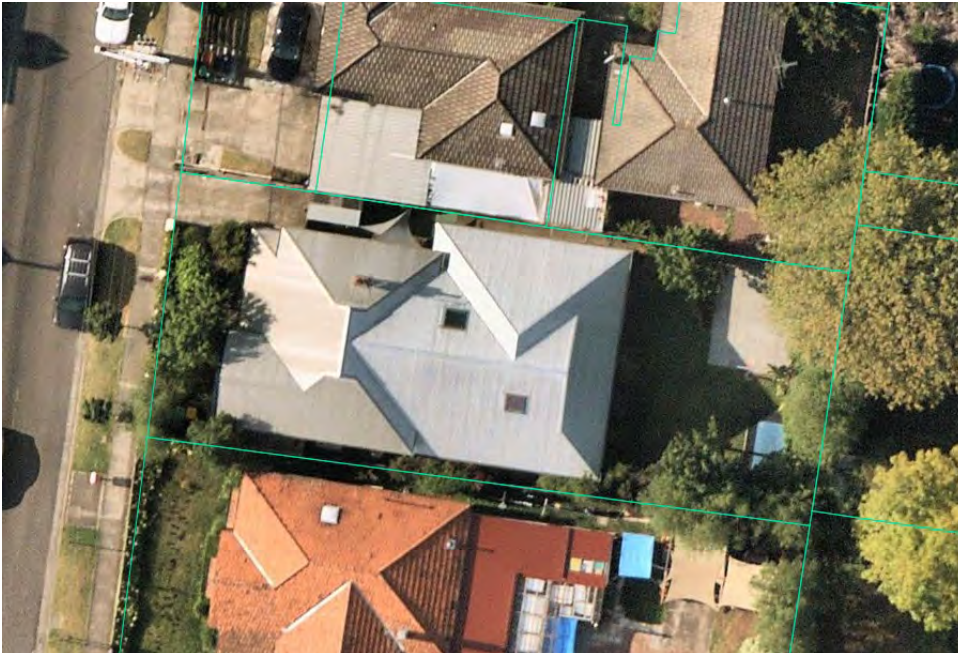


Figure 4. Aerial photo of the subject site, February 2023 (Source: GJM Heritage, December 2022).



Figure 5. South and north elevations elevation (GJM Heritage, February 2023).

Intactness/Integrity

The house at 230 Jasper Road, McKinnon remains highly intact to its period of construction. Despite a large addition made to the rear of the original house that is substantially concealed from the street frontage, the recent addition of fretwork to the verandah and the construction of brick front fence, the place retains a high degree of integrity.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. Growth of these suburbs was greatly impacted by the 1890s depression and it wasn't until around the 1910s that land sales and residential development resumed in McKinnon and the surrounding area. In the 1910s a number of houses were constructed on undeveloped land in speculative subdivisions of the 1880s, but development remained slow relative to the northern part of the current City of Glen Eira.

No comparable examples in the southern part of the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme. A number of places further north that are included in the Heritage Overlay and which are comparable to 230 Jasper Road include:

24 Elliott Avenue, Carnegie (HO172), 1913-1914



Figure 6. 24 Elliott Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

122 Grange Road, Carnegie (HO113)



Figure 7. 122 Grange Road, Carnegie (Source: Google Streetview, 2022)

Houses in Carnegie Residential Precinct (HO178)



Figure 8. Houses, Munster Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

Like the house at 230 Jasper Road, McKinnon these houses were constructed in the City of Glen Eira in the early twentieth century. Constructed of timber, these houses exhibit a range of representative characteristics of modest housing of the late Federation period, including single-storey hipped roof forms (commonly gabled-hip forms) clad in corrugated metal, prominent gable ends forming asymmetrical front elevations, decorative front verandahs commonly integrated with the main roof, decorative detailing including half-timbering to front gable ends and notched weatherboarding and red brick chimneys. Like the above examples, 230 Jasper Road, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of a modest house from the late Federation period.

Unlike the above examples, 230 Jasper Road, McKinnon is one of only a small number of substantially intact late Federation houses remaining in the southern part of the City of Glen Eira to demonstrate this early phase of historical development as the area transitioned from agricultural to residential.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 230 Jasper Road, McKinnon has strong associations with the development of McKinnon in the first part of the twentieth century when undeveloped land from late nineteenth century land holdings and subdivisions began to be tentatively developed following the hiatus caused by the 1890s Depression. The house at 230 Jasper Road is one of a small number of highly intact places remaining in the suburb to demonstrate this phase of development. The house clearly illustrates this early phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 230 Jasper Road, McKinnon is a highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, a gabled-hip roof with integrated front verandah, tall red brick chimney, prominent front gabled bay forming an asymmetrical front elevation, rough cast rendering and half-timbering effect to the jettied gable end, verandah supported on turned timber posts and notched weatherboarding.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 9 below.



Figure 9. Recommended Extent of Heritage Overlay (to property boundaries)



References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh]*, 2020.

Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

Google Street View: 2007, 2010, 2013.

Landata Victoria (LV):

Certificates of Title, as cited.

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Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 3209, dated 1930.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Rate Books (RB), Shire of Moorabbin, North Riding: 1917-18, entry 925; 1920-21, entry 1671.

Sands & McDougall (S&Mc) Directory.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

HOUSE – 230 JASPER ROAD, MCKINNON – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: House, 230 Jasper Road, McKinnon

PS ref no.: TBC



Figure 1. 230 Jasper Road, McKinnon (GJM Heritage, February 2023).

What is significant?

The house at 230 Jasper Road, McKinnon, a late Federation residence constructed between 1915 and 1917.

Elements that contribute to the significance of the place include:

- Single-storey timber house, typical of modest houses from the late Federation period
- Corrugated metal-clad gabled-hip roof form and integrated verandah roof
- Exposed rafter ends
- Red brick chimney
- Asymmetrical front elevation with prominent projecting gable end
- Rough cast render and half timbering effect to jettied gable end

- Notched weatherboards
- Front verandah with turned timber posts
- Timber-framed sash windows and front door with toplight and sidelights.

Later alterations and additions, including the rear extension, verandah fretwork and front fence are not contributory.

How is it significant?

The house at 230 Jasper Road, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

The house at 230 Jasper Road, McKinnon has strong associations with the development of McKinnon in the first part of the twentieth century when undeveloped land from late nineteenth century land holdings and subdivisions began to be tentatively developed following the hiatus caused by the 1890s Depression. The house at 230 Jasper Road is one of a small number of highly intact places remaining in the suburb to demonstrate this phase of development. The house clearly illustrates this early phase of development in the southern part of the City of Glen Eira (Criterion A).

The house at 230 Jasper Road, McKinnon is a highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, a gabled-hip roof with integrated front verandah, tall red brick chimney, prominent front gabled bay forming an asymmetrical front elevation, rough cast rendering and half-timbering effect to the jettied gable end, verandah supported on turned timber posts and notched weatherboarding (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

15 LEES STREET, MCKINNON



Figure 1. 15 Lees Street, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1917	Builder: George Edwards
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

Lees family, market gardeners

Brothers James and William Lees arrived in what was then called Brighton East in 1850 after being pardoned following transportation to New South Wales for criminal offences. William purchased four and a half acres (1.8ha) on the corner of Jasper and Centre roads, before purchasing a 38 acre (15.4ha) block on McKinnon Road, between Elizabeth Street (now Wheatley Road) and the railway line, in 1851. The brothers established a market garden on the McKinnon Road property, before James established a second market garden on the Jasper Road property, where he resided with his family. James' son Joseph ('Joe') Lees (1852–1928) subsequently worked the McKinnon Road market garden, where he resided with his family in a wooden slab cottage (demolished 1941). He subsequently inherited the family holdings (Rigby 2018).

Joseph Lees sold off portions of the McKinnon Road property, including land for the railway (Rigby 2018). In the late 1880s, Patrick Callaghan the Younger, Fitzroy estate agent, acquired and subdivided just over 34 acres, bound by McKinnon Road, Nicholson Street, Fitzroy Street and Elizabeth Street (now Wheatley Road), establishing the 'McKinnon Estate' in Brighton East (Figure 2), with Lees Street named after the family. Suburban residential allotments were on-sold from 1890, through to the interwar period (LV: V2298/F569).

The Lees family appear to have retained ownership of various lots of the subdivision, including what is currently 110-112 McKinnon Road and 27-29 Lees Street immediately south, presumably the location of his cottage. In 1915 Joseph Lees was also noted as owner of what is currently 23-25 and 31-33 Lees Street, 61 Nicholson Street, and 37-41 and 36-44 Exhibition Street, while James ('Jim') Henry Lees, Joseph's son, was noted as the owner of three lots on the north side of Lees Street (the current nos. 15-17) (LV: V2298/F569).

15 Lees Street

In 1917 Jim Lees had a house built for his young family at 15 Lees Street, by builder George Edwards (Rigby 2018). That year Lees was rated as the owner and occupant of a four-roomed weatherboard house on the three lots now addressed as 15-17 Lees Street (assessed November 1917) (RB). The Lees reportedly rented the still vacant land to the north, fronting McKinnon Road, where they began a seedling nursery. James was a founding member of the McKinnon Progress Association and the McKinnon Cricket Club, and a member of the Masonic Lodge and Bentleigh Club (Rigby 2018).

A 1926 plan and 1945 aerial photograph show the early footprint of the house (Figure 3 - Figure 4). Prior to 1945, the three lots were consolidated to form the current boundaries of 15 and 17 Lees Street (LV: V3899/F662).

MCKINNON ESTATE.

280 ALLOTMENTS
BRIGHTON E.
BUSINESS, VILLA, COTTAGE SITES,
 Situated precisely 22 yards from the McKinnon Railway Station.
 Popular Frontages and Noble Depths to Right-of-way. Drainage Perfect.
PRICES FROM 35s. PER FOOT.
 Terms the most Liberal and Wonderful ever offered :
DEPOSIT £1 MONTHLY
 INTEREST 6 PER CENT.
 INVEST IN AN IMPROVING LOCALITY.
IMPORTANT.
P. CALLAGHAN, JUN
 -VENDOR-
 67 BRUNSWICK ST. (NEAR GERTRUDE STREET), FITZROY

Figure 2. Auction notice for Callaghan’s ‘McKinnon Estate’, c1880s, then part of Brighton East (Source: SLV, Filename cd000863).

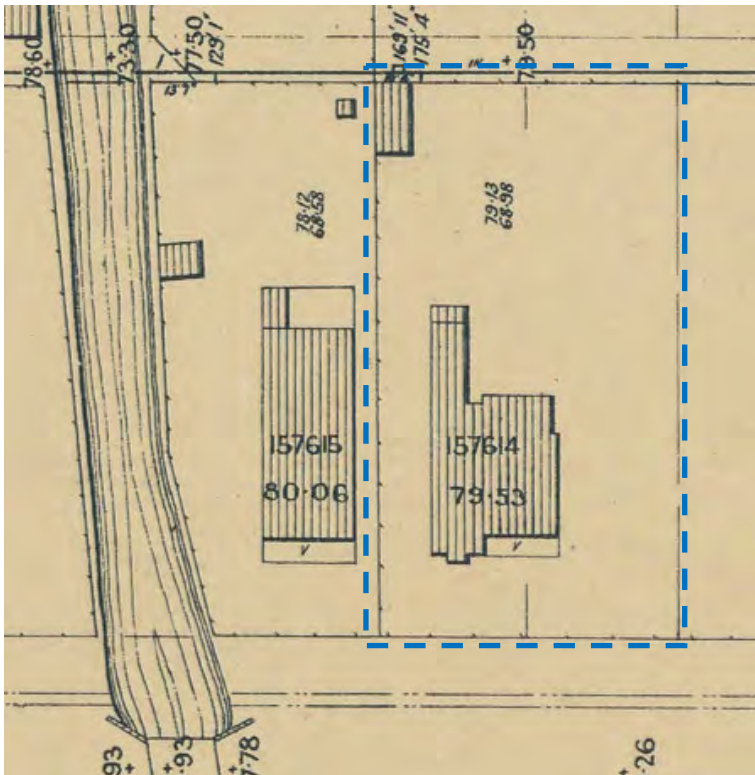


Figure 3. 1926 plan of the subject site, showing a footprint of the house and small outbuilding on the rear boundary (Source: MMBW DP 2837, dated 1926).



Figure 4. 1945 aerial photograph, the subject site indicated by the green arrow (Landata Victoria).

The Lees retained ownership of the property until 1932; however, prior to this in 1926 the Lees moved to a bungalow on three acres on Thomas Street, again built by George Edwards, where they established a successful plant nursery, later becoming J H Lees and Sons, which remained near the intersection with McKinnon Road until c2019 (Rigby 2018).

A large single-storey addition was constructed to the rear of the house at 15 Lees Street, and a carport to the west of the house, in the late 1990s (PP). Decorative detailing to the verandah may also have been added at this time.

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

4.0 Transforming and managing land and natural resources

4.4 Farming

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

15 Lees Street is located on the north side of the Lees Street in close proximity to the McKinnon Road shopping precinct and McKinnon Railway Station. The rectangular site is accessed via a driveway at the west end of the street boundary. The house is setback from the front boundary behind a small front garden.

The single-storey timber house has a gabled-hip roof clad in tiles and is asymmetrical in form with a projecting gabled-bay at the west end of the principal elevation. The gabled bay has a decorative bargeboard and half-timbered effect with rough-cast render to the gable-end, above a box window with a window hood. The main roof line continues to form the verandah roof, which is supported by turned timber posts with a decorative timber frieze and brackets. Rows of notched weatherboards appear at window transom height across the principal elevation. The entrance has

a panelled door with a toplight and sidelights. A set of timber-framed one-over-one sash windows are located beneath the verandah.

A large single-storey addition is located off the north (rear) elevation. A later carport is located off the west elevation. A later timber fence with vehicular gates extends across the front boundary.

Key Features

- Single-storey timber house, typical of modest houses of the late Federation period
- Gabled-hip roof form with integrated verandah roof (the later pressed steel tile roof cladding is not significant)
- Asymmetrical front elevation with prominent projecting gabled bay
- Rectangular box window with window hood to projecting gabled bay
- Decorative bargeboard, rough cast render and half timbering effect to gable end
- Notched weatherboards at window transom height on projecting gabled bay
- Panelled timber front door with sidelights and timber-framed sash windows.



Figure 5. Aerial photo of the subject site, February 2023 (Source: Nearmap).



Figure 6. Detail of decorative bargeboard, half-timbering and rough cast render to gable end. Notched weatherboards are at window transom height. (GJM Heritage, December 2022).

Intactness/Integrity

The house at 15 Lees Street, McKinnon remains substantially intact to its period of construction. Despite a large single-storey addition made to the rear of the original house, the addition of a carport to the side of the house, and fretwork to the verandah, the place retains a high degree of integrity as a modest, late Federation residence.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. Growth of these suburbs was greatly impacted by the 1890s depression and it wasn't until around the 1910s that land sales and residential development resumed in McKinnon and the surrounding area. In the 1910s a number of houses were constructed on undeveloped land in speculative subdivisions of the 1880s, but development remained slow relative to the northern part of the current City of Glen Eira.

No comparable examples in the southern part of the municipality are included in the Heritage Overlay of the City of Glen Eira. A number of places further north that are included in the Heritage Overlay and which are comparable to 15 Lees Street, McKinnon include:

24 Elliott Avenue, Carnegie (HO172), 1913-1914



Figure 7. 24 Elliott Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

122 Grange Road, Carnegie (HO113)



Figure 8. 122 Grange Road, Carnegie (Source: Google Streetview, 2022)

Houses in Carnegie Residential Precinct (HO178)



Figure 9. Houses, Munster Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

Like the house at 15 Lees Street, McKinnon these houses were constructed in the City of Glen Eira in the early twentieth century. Constructed of timber, these houses exhibit a range of representative characteristics of modest housing of the late Federation period, including single-storey hipped roof forms (commonly gabled-hip forms), prominent gable ends forming asymmetrical front elevations, decorative front verandahs which are commonly integrated with the main roof, decorative detailing including half-timbering to front gable ends and notched weatherboarding, box windows, window hoods and red brick chimneys. Like the above examples, 15 Lees Street, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of a modest house from the late Federation period.

Unlike the above examples, 15 Lees Street, McKinnon is one of only a small number of substantially intact late Federation houses remaining in the southern part of the City of Glen Eira to demonstrate this early phase of historical development as the area transitioned from agricultural to residential. Further, unlike the above examples, this house has a direct historical link to a family of prominent market gardeners who went on to operate a plant nursery from this land prior to its later residential development in the postwar years.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 15 Lees Street, McKinnon has strong associations with the development of McKinnon. Built for James Lees, prominent nurseryman, in the early twentieth century on land subdivided from his family's substantial market garden holdings, the house clearly illustrates the transition of the area from a predominantly agricultural area to a

residential suburb. The Lees family first established themselves as market gardeners in the area in the 1850s and the 'McKinnon Estate' subdivided their holdings, creating 'Lees Street' in recognition of their long-term ownership. The house at 15 Lees Street is one of a small number of substantially intact places remaining in the suburb to demonstrate this phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 15 Lees Street, McKinnon is a substantially intact representative example of a modest timber house from the late Federation period. It displays typical characteristics of the period including timber construction with bands of decorative notched weatherboards; gabled-hip roof; prominent front gabled bay forming an asymmetrical front elevation; decorative details to the gable end including decorative bargeboard, rough cast rendering, and half-timbering; hooded box window and integrated verandah.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 10 below.



Figure 10. Recommended Extent of Heritage Overlay (to property boundaries)

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Rate Books (RB), Shire of Moorabbin, North Riding: 1915-16, entry 1024; 1917-18, entry 399.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

State Library of Victoria (SLV), images as cited.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

15 LEES STREET, MCKINNON - STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 15 Lees Street, McKinnon

PS ref no.: TBC



Figure 1. 15 Lees Street, McKinnon (GJM Heritage, December 2022).

What is significant?

The house at 15 Lees Street, McKinnon, a late Federation residence constructed in 1917.

Elements that contribute to the significance of the place include:

- Single-storey timber house, typical of modest houses of the late Federation period
- Gabled-hip roof form with integrated verandah roof
- Asymmetrical front elevation with prominent projecting gabled bay
- Rectangular box window with window hood to projecting gabled bay
- Decorative bargeboard, rough cast render and half timbering effect to gable end
- Notched weatherboards at window transom height on projecting gabled bay

- Panelled timber front door with sidelights and timber-framed sash windows.

Later alterations and additions, including the single-storey rear addition, side carport, front timber fence and later pressed steel tile roof cladding, are not contributory.

How is it significant?

The house at 15 Lees Street, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

The house at 15 Lees Street, McKinnon has strong associations with the development of McKinnon. Built for James Lees, prominent nurseryman, in the early twentieth century on land subdivided from his family's substantial market garden holdings, the house clearly illustrates the transition of the area from a predominantly agricultural area to a residential suburb. The Lees family first established themselves as market gardeners in the area in the 1850s and the 'McKinnon Estate' subdivided their holdings, creating 'Lees Street' in recognition of their long-term ownership. The house at 15 Lees Street is one of a small number of substantially intact places remaining in the suburb to demonstrate this phase of development in the southern part of the City of Glen Eira (Criterion A).

The house at 15 Lees Street, McKinnon is a substantially intact representative example of a modest timber house from the late Federation period. It displays typical characteristics of the period including timber construction with bands of decorative notched weatherboards; gabled-hip roof; prominent front gabled bay forming an asymmetrical front elevation; decorative details to the gable end including decorative bargeboard, rough cast rendering, and half-timbering; hooded box window and integrated verandah (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

MCKINNON HILL RESIDENTIAL PRECINCT

[NOS. 51, 53, 55, 57, 59, 61 & 63 MCKINNON ROAD, MCKINNON]



51 McKinnon Road



53 McKinnon Road



55 McKinnon Road



57 McKinnon Road



59 McKinnon Road



61 McKinnon Road



63 McKinnon Road

Figures 1-7. 51-63 McKinnon Road, McKinnon (GJM Heritage, December 2023).

DATE: May 2023

Place Type: Residential precinct	Architect: Not known
Construction Date: c1929 – c1939	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of shown at Figure 28

Locality History

The following history is drawn from Andrew Ward’s ‘City of Glen Eira Heritage Management Plan’ (1996) and the ‘City of Glen Eira Thematic Environmental History’ (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called ‘Brighton Estate,’ establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn’t until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line’s electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Precinct History

The houses at 51-63 McKinnon Road were constructed on McKinnon Hill during the interwar period.

The north side of McKinnon Road between Amelia and Jean streets was subdivided into suburban residential allotments in 1920, following the subdivision of the Oakbank Estate ('Oakbank House', later known as 'Whitehouse', is evident at Figure 8) (Ward 1996: Vol 1, 46; Poole 2023). A 1927 Melbourne and Metropolitan Board of Works (MMBW) plan (Figure 8) indicates that the lots between Amelia Street and Anne Street remained vacant at that date.

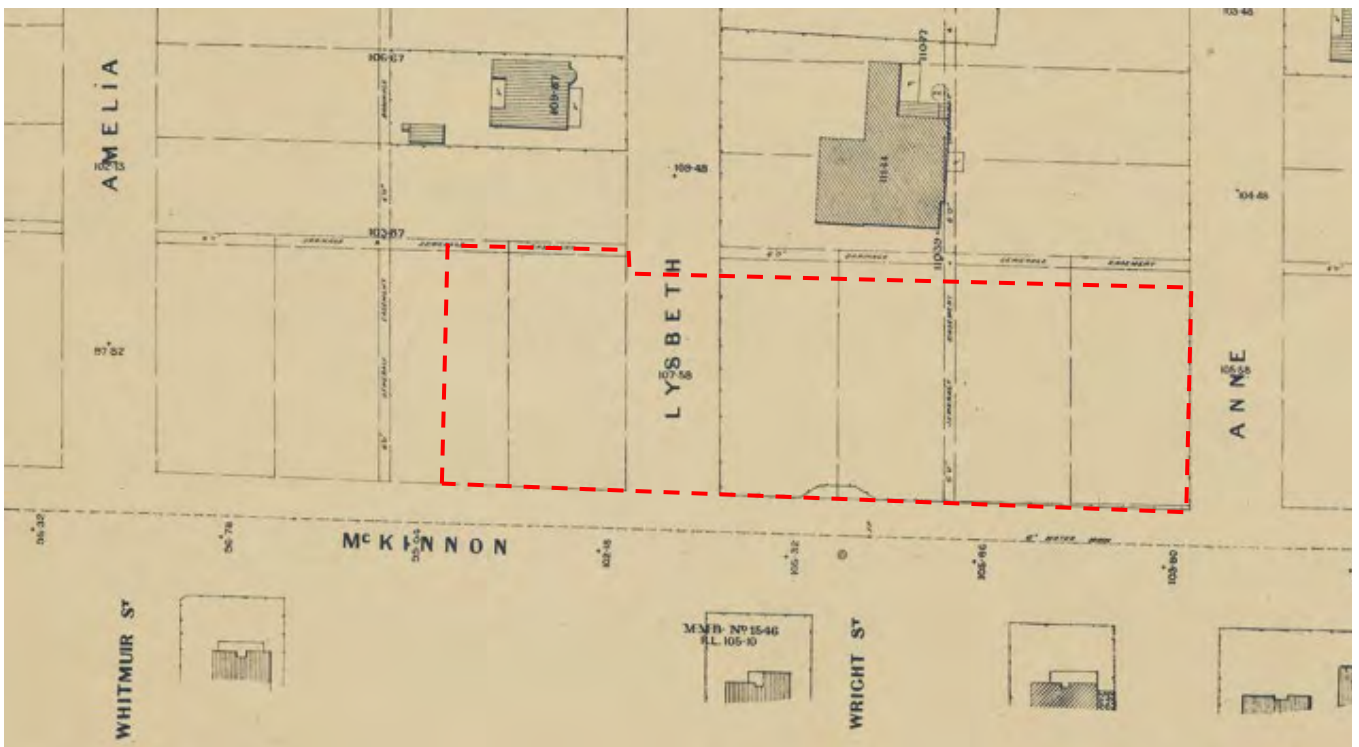


Figure 8. 1927 plan showing vacant lots along the north side of McKinnon Road, between Amelia and Anne streets. The precinct is indicated. The large house to the north is presumed to be 'Oakbank' (later Whitehouse), which occupied the original estate which was subdivided in 1920 (MMBW DP No. 2832, dated 1927).

The 1929 Sands & McDougall Directory lists no occupants on this part of McKinnon Road (then part of Bentleigh), except for one 'house being built' between Lysbeth and Anne streets. The 1930 directory lists one occupant between Amelia and Lysbeth streets, and four occupants between Lysbeth and Anne streets. By 1931, a second occupant was listed between Amelia and Lysbeth streets. No address numbers were identified in the directories at this time. Analysis of the directories indicates that the houses at nos. 53, 55, 57, 61 and 63 were built c1929, and the house at no. 51 was built c1930.

The first occupants of the houses were R H Coxon at no. 51, John Drummond at no. 53, Leslie S Nicholls at no. 55, Selby Capron at no. 57, Arthur Allen at no. 61 and Walter Bostock at no. 63. A 1931 aerial photograph (Figure 9) shows the row of houses, except for the current no. 59 which remained a vacant lot.

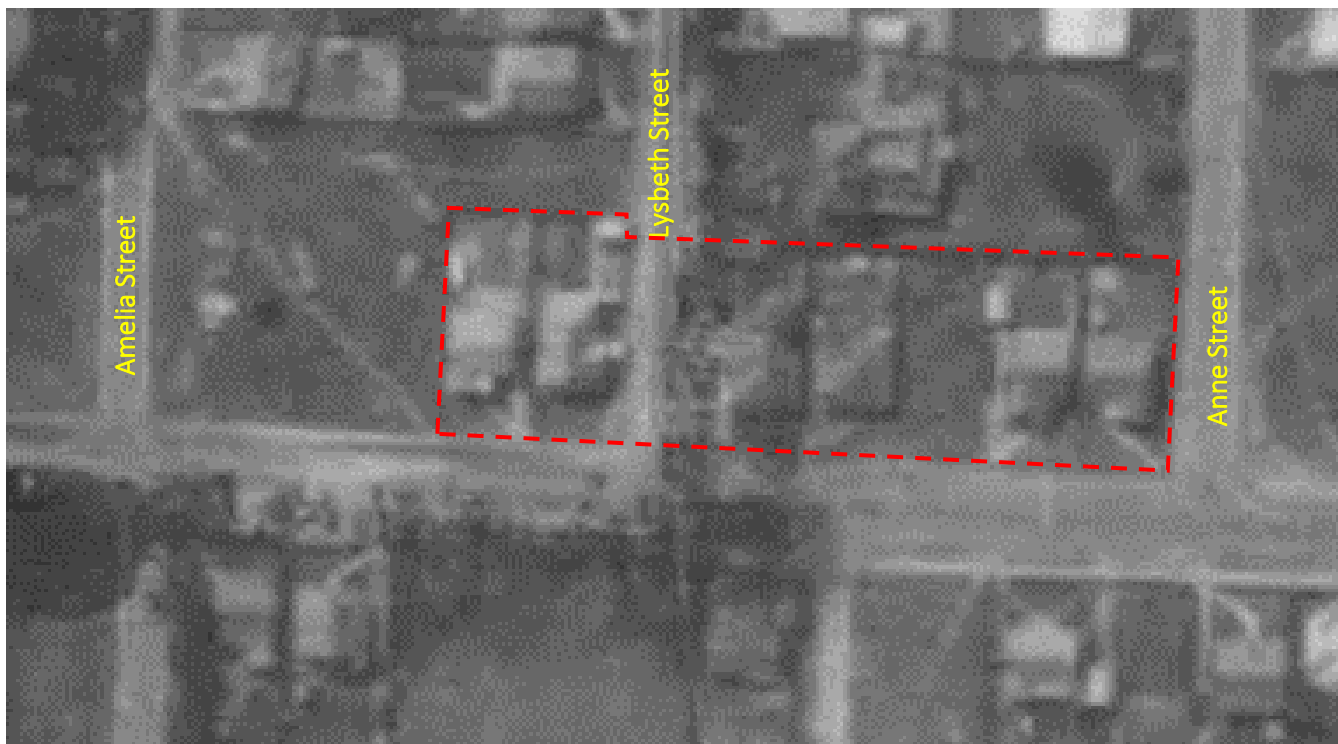


Figure 9. 1931 aerial photograph, showing development on McKinnon Road between Amelia and Anne streets. The precinct is indicated. The current no. 59 remained a vacant lot (Source: Landata Victoria).

The house at the current no. 59 was listed in the 1940 Sands & McDougall Directory (not listed in 1938), indicating that it was built between 1938 and 1939. In 1940 it was occupied by Ernest McAlpine (S&Mc). Each of the seven houses has a brick or masonry fence that likely dates to the same period as the house.

A 1945 aerial photograph (Figure 10) shows the form and footprint of each house within the precinct at that time.

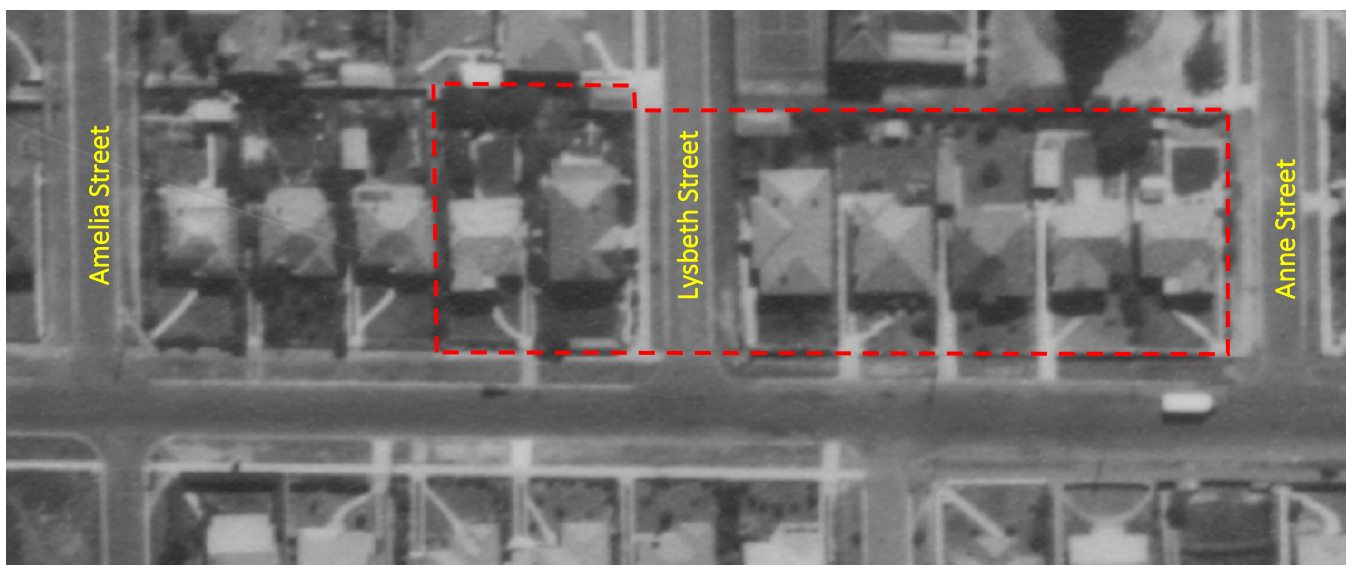


Figure 10. 1945 aerial photograph, showing development on McKinnon Road between Amelia and Anne streets. The precinct is indicated (Source: Landata Victoria).

Current aerial photographs indicate that rear additions have been constructed at all houses except nos. 53 and 61. The second-storey addition at no. 55 was constructed before 1988, at which date the house was called 'Grayden' (Ausn Jewish News, 20 May 1988:36). The two-storey addition at no. 57 was constructed in 2005. The addition to no. 59 was constructed post-2005. The rear-wing addition to no. 63 was constructed in 1969, and the brick garage and tall fence to the Anne Street boundary at no. 63 were constructed in 1984 (PP).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

The McKinnon Hill Residential Precinct is located on the north side of McKinnon Road opposite the intersection with Wright Street, west of the McKinnon Road retail centre and train station. It is a small residential precinct of seven detached houses and extends from no. 51 in the west to no. 63 in the east, on the corner of Anne Street. Located on a natural rise, these houses are generally larger and more elaborately detailed than other examples of this period in McKinnon. The houses were constructed in the late interwar period and each house is set back from the front boundary behind a lawned garden.

The precinct presents as a highly intact streetscape of middle-class housing which demonstrate a high degree of consistency in materiality and detailing and display characteristics of both the Bungalow and the Spanish Mission/Mediterranean styles. Each house is a freestanding, single-storey dwelling (with later two-storey rear additions in some cases), of brick construction finished with face-brick or painted render, with hipped, hipped-gable or gable-ended roofs clad in terracotta tiles, and prominent chimneys. Common features include recessed entry porches, timber framed windows including window bays and tripartite window sets, decorative tracery and stained glass panes, and decorative masonry detailing to openings.

Original or early low front brick or rendered fences extend along the street frontage to all residences. Early garages appear to have been retained at nos. 53, 55 and 61 McKinnon Road.

Key features:

- Strong Interwar character with the properties demonstrating characteristics of the Bungalow and Spanish Mission/Mediterranean styles
- Consistent front setbacks within garden setting
- Brick construction, both face brick and rendered brickwork
- Hipped, hipped-gable and gable-ended roof forms, clad in terracotta tiles
- Asymmetrical front elevations
- Original single-storey scale
- Tall prominent chimneys
- Entry porches

- Timber framed windows, including bay and tripartite window sets, and glazing with decorative tracery and stained glass
- Decorative brick detailing to windows and porch entries
- Original or early low brick front fences to all residences
- Original or early brick garages at no. 53, 55 & 61.



Figure 11. The row of interwar houses at 51 (left) to 63 (right) McKinnon Road (Source: Vicplan).



Figure 12. 51 McKinnon Road, McKinnon (Source: GJM Heritage, Dec 2023).



Figure 13. 53
McKinnon Road,
McKinnon (Source:
GJM Heritage, Dec
2023).



Figure 14. 55
McKinnon Road,
McKinnon (Source:
GJM Heritage, Dec
2023).



Figure 15. 57
McKinnon Road,
McKinnon (Source:
GJM Heritage, Dec
2023).



Figure 16. 59
McKinnon Road,
McKinnon (Source:
GJM Heritage, Dec
2023).



Figure 17. 61
McKinnon Road,
McKinnon (Source:
GJM Heritage, Dec
2023).



Figure 18. 63
McKinnon Road,
McKinnon (Source:
GJM Heritage, Dec
2023).

Intactness/Integrity

The residences within the McKinnon Hill Residential Precinct remain substantially intact to their period of construction and retain a high degree of integrity to the interwar period in fabric, form and detail. While the residences have undergone some minor alterations and more substantial rear additions, these do not diminish the ability to understand and appreciate the place as a finely detailed and picturesque precinct dating from the late 1920s to the late 1930s.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. The suburbs of Caulfield, Elsternwick, Glen Huntly and Carnegie experienced their substantial residential development in pre-war years, although some larger properties were subdivided in the interwar period, providing opportunities for further development. In contrast, it was the interwar through to the early postwar period that saw the greatest residential growth in the southern suburbs. At this time, large numbers of houses were constructed on land previously under agricultural production.

The McKinnon Hill Residential Precinct is of note as a representative and highly intact group of late 1920s to late 1930s middle-class houses, typical of suburban development that occurred in the interwar period. This section of McKinnon Road was developed over a short period of time and the precinct of single-storey houses displays a consistency of scale, materiality and detailing and a distinctive architectural character. The houses within the precinct are generally larger and more elaborately detailed than other examples of this period in McKinnon.

A number of interwar residential precincts are included in the Heritage Overlay of the Glen Eira Planning Scheme; however, unlike the McKinnon Hill Residential Precinct, many of these contain houses built in the earlier Interwar California Bungalow style as well as houses constructed in the earlier Victorian and/or Federation periods. These precincts include 'Lempriere Avenue, Greenmeadows Gardens and Environs Precinct', St Kilda East (HO74), 'Ormond and Environs Precinct' (HO75), 'Rose Hill Estate Precinct' (HO168) and 'Carnegie Residential Precinct' (HO178).

Those interwar residential precincts that are most comparable to the McKinnon Hill Residential Precinct include 'Bentleigh Heights Estate' (HO169), 'Albert Flatman's Estates Precinct' (HO177) and 'Field Street Precinct' (HO188). These precincts contain comparable streets of highly intact single-storey houses dating to the interwar period, with an emphasis on the latter part of the interwar period. Examples of houses within these precincts include:

Bentleigh Heights Estate (HO169)



Figure 19.7 The Highway, Bentleigh (Source: Google Street View)



Figure 20. 22 The Highway, Bentleigh (Source: Google Street View)



Figure 21. 519A Centre Road, Bentleigh (Source: Google Street View)

Albert Flatman's Estates Precinct (HO177)



Figure 22. 63 Shepparson Avenue, Carnegie (Source: Google Street View)

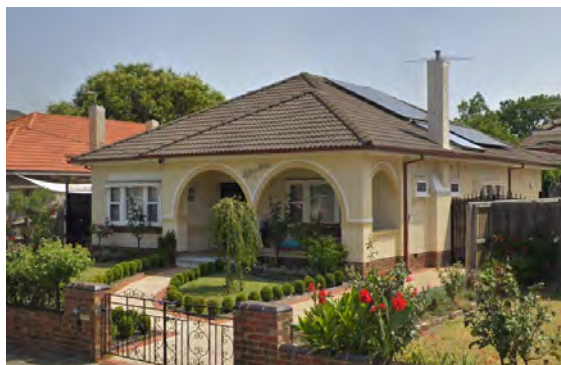


Figure 23. 53 Shepparson Avenue, Carnegie (Source: Google Street View)

Field Street Precinct (HO188)



Figure 24. 54 Shepparson Avenue, Carnegie (Source: Google Street View)



Figure 25. 1 Field Street, McKinnon (Source: Google Street View)



Figure 26. 29 Field Street, McKinnon (Source: Google Street View)



Figure 27. 22 Field Street, McKinnon (Source: Google Street View)

The above examples all contain streets of highly intact houses dating to the late interwar period, which illustrate the significant suburban development, particularly in the southern part of the City of Glen Eira in the interwar period. Houses within these precincts display characteristics typical of the interwar period including features of the Bungalow, English Domestic Revival and Spanish Mission/Mediterranean styles. The resulting interwar streetscapes in these precincts display a high degree of integrity and are highly consistent in both scale, materiality and detailing and have a distinctive architectural character.

The McKinnon Hill Residential Precinct is comparable in architectural quality and consistency to these precincts. The McKinnon Hill Residential Precinct contains middle-class houses which were built from the late 1920s to the late 1930s, and demonstrate a range of well-resolved characteristics of the Bungalow and Spanish Mission/Mediterranean styles.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The McKinnon Hill Residential Precinct has strong associations with the interwar period of development in the southern part of the City of Glen Eira. In this period, extensive tracts of land in McKinnon and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. This period of development transformed the southern part of the municipality from a predominantly agricultural landscape to an almost entirely suburban one. As a highly intact precinct of middle-class houses in a range of Interwar architectural styles, the McKinnon Hill Residential Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The McKinnon Hill Residential Precinct is a fine and highly intact example of a cohesive middle-class interwar residential precinct. The single-storey houses display typical features of the Bungalow and Spanish Mission/Mediterranean styles popular in McKinnon in the interwar period. Features include brick and rendered brick walls with decorative brick detailing, tiled roofs, asymmetrical hipped, hipped-gable and gable-ended roof forms, prominent chimneys, timber framed windows including bay and tripartite window sets, prominent entry porches brick front fences and original or early brick garages.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The McKinnon Hill Residential Precinct forms a highly unified group of single-storey residences dating to the interwar period and demonstrating characteristics of the Bungalow and Spanish Mission/Mediterranean architectural styles. The consistent application of high-quality materials and detailing, such as face and rendered brick construction with finely executed decorative brick detailing, and prominent chimneys and porches – in conjunction with their garden settings on the rise of McKinnon Hill – presents a highly picturesque and cohesive streetscape.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes – all front fences and garages at Nos. 53, 55 & 61
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 28 below.



Figure 28. Recommended Extent of Heritage Overlay

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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MCKINNON HILL RESIDENTIAL PRECINCT – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: McKinnon Hill Residential Precinct [Nos. 51, 53, 55, 57, 59, 61 & 63 McKinnon Road, McKinnon]	PS ref no.: TBC
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51 McKinnon Road



53 McKinnon Road



55 McKinnon Road



57 McKinnon Road



59 McKinnon Road



61 McKinnon Road



63 McKinnon Road

Figures 1-7. 51-63 McKinnon Road, McKinnon (GJM Heritage, December 2023).

What is significant?

The McKinnon Hill Residential Precinct, an interwar residential precinct constructed between c1929 and c1939. The precinct comprises Nos. 51, 53, 55, 57, 59, 61 & 63 McKinnon Road, McKinnon.

Elements that contribute to the significance of the place include:

- Strong Interwar character with the properties demonstrating characteristics of the Bungalow and Spanish Mission/Mediterranean styles
- Consistent front setbacks within garden setting
- Brick construction, both face brick and rendered brickwork

- Hipped, hipped-gable and gable-ended roof forms, clad in terracotta tiles
- Asymmetrical front elevations
- Original single-storey scale
- Tall prominent chimneys
- Entry porches
- Timber framed windows, including bay and tripartite window sets, and glazing with decorative tracery and stained glass
- Decorative brick detailing to windows and porch entries
- Original or early low brick front fences to all residences
- Original or early brick garages at no. 53, 55 & 61.

Later alterations and additions, including rear single and second-storey additions, are not contributory.

How is it significant?

The McKinnon Hill Residential Precinct is of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

The McKinnon Hill Residential Precinct has strong associations with the interwar period of development in the southern part of the City of Glen Eira. In this period, extensive tracts of land in McKinnon and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. This period of development transformed the southern part of the municipality from a predominantly agricultural landscape to an almost entirely suburban one. As a highly intact precinct of middle-class houses in a range of Interwar architectural styles, the McKinnon Hill Residential Precinct clearly illustrates this important phase of development in the City of Glen Eira (Criterion A).

The McKinnon Hill Residential Precinct is a fine and highly intact example of a cohesive middle-class interwar residential precinct. The single-storey houses display typical features of the Bungalow and Spanish Mission/Mediterranean styles popular in McKinnon in the interwar period. Features include brick and rendered brick walls with decorative brick detailing, tiled roofs, asymmetrical hipped, hipped-gable and gable-ended roof forms, prominent chimneys, timber framed windows including bay and tripartite window sets, prominent entry porches brick front fences and original or early brick garages (Criterion D).

The McKinnon Hill Residential Precinct forms a highly unified group of single-storey residences dating to the interwar period and demonstrating characteristics of the Bungalow and Spanish Mission/Mediterranean architectural styles. The consistent application of high-quality materials and detailing, such as face and rendered brick construction with finely executed decorative brick detailing, and prominent chimneys and porches – in conjunction with their garden settings on the rise of McKinnon Hill – presents a highly picturesque and cohesive streetscape (Criterion E).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

74 MCKINNON ROAD, MCKINNON



Figure 1. 74 McKinnon Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect/Designer: Ronald I Hopcraft (owner/builder)
Construction Date: 1948-1949	Builder: Ronald I Hopcraft (owner/builder)
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area south-west of McKinnon and Wheatley roads was first subdivided into suburban residential allotments in the early-1910s by Henry Wood, a Melbourne manufacturer, who purchased just over 14 acres (5.7ha) of land south of McKinnon Road, extending from Whitmuir Road in the west to Elizabeth Street (now part of Wheatley Road) in the east. In 1913 Wood subdivided his holdings into residential allotments and on-sold lots from August 1913 (LV: V1713/F536). The subject site remained vacant in 1945 (Figure 2).



Figure 2. The subject site remained vacant in 1945 (Landata Victoria, aerial dated 1945).

A drainage plan of the subject site dated 1948 (Figure 3) shows a footprint of the new house and identified the owner as R I Hopcraft of 18 Albion St, Caulfield and agent as N T Leahy of 154 Dendy Street, Brighton East (PD; *Argus*, 27 Jan 1950:12). Electoral rolls confirm that Ronald I Hopcraft and his wife Kathleen occupied the house in 1949, indicating that the house was built 1948-49. The hard landscaping and fence to the front garden likely date to the same period.

Ronald I Hopcraft was a local builder active in the area from the postwar period (Electoral Rolls; *Age* notices). Research has not been able to determine details of Hopcraft's career or work. It is likely that Hopcraft designed and constructed the house as his family residence.

The property was advertised for sale in November 1951, described as a three-year old 'ultra-modern English style brick attic villa', with a shingle roof, lounge, dining room, three large bedrooms, a den or fourth bedroom, a master bedroom, 'splendid kitchen', 'magnificent tiled bathroom', and a garden with a terraced rockery and brick garage (*Argus*, 17 Nov 1951:22).

Lothar and Betti Steen occupied the house from the early 1950s until at least the early 1970s (S&Mc; *Ausn Jewish News*, 3 Sep 1971:28). Lothar Steen was a bicycle and radio dealer with a shop on Chapel Street, Windsor in the 1940s and 1950s (*Argus*, 18 Nov 1946:3). In 1971, L & B Steen Pty Ltd, car importers, was addressed to the property (*Ausn Jewish News*, 19 Mar 1971:36).

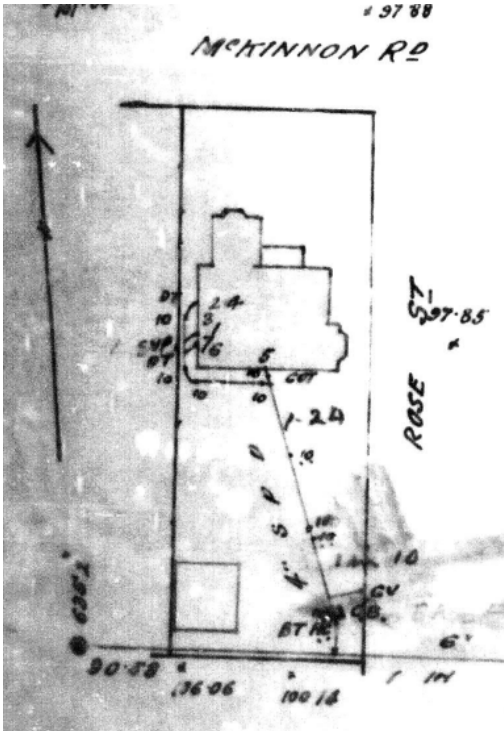


Figure 3. Footprint of the house and garage, dated 1948, annotated with sewerage works (Source: Plan of Drainage No. 243865).

A single-storey addition was constructed on the rear (south) elevation between 1974 and 1983 and a small addition was constructed at the north-west corner of the house in 1983 (Figure 4) (PP; PD). The rear portion of the lot was subdivided off c2010, resulting in the demolition of the garage on the original rear boundary and construction of a new dwelling fronting Rose Street (Figure 5) (PD; Nearmap).

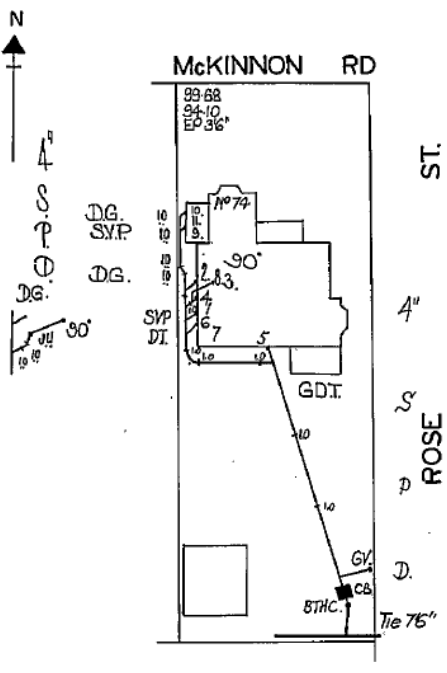


Figure 4. Footprint of the house and garage, dated 1983, showing sewerage works to a small addition at the north-west corner. An addition was constructed off the rear (south) elevation by this date (Source: Plan of Drainage No. 243865).



Figure 5. The subject site in 2009, prior to the demolition of the garage on the original rear boundary and construction of a new dwelling on the subdivided lot (Source: Nearmap, aerial dated 2009).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

74 McKinnon Road is prominently located on a south-west corner site at the junction of McKinnon Road and Rose Street, west of the McKinnon Road shopping precinct and railway station. The house is set back from McKinnon Road behind a lawned front garden and is located at the centre of the rectangular corner lot.

Designed in the English Domestic Revival style, the attic-storey clinker brick house has a steeply pitched, gable roof that runs parallel to McKinnon Road and which is clad in terracotta plain tile. The house is asymmetrical in form with stepped gabled bays projecting from the western end of the north (McKinnon Road) elevation and the southern end of eastern (Rose Street) elevation. A skillion-roofed dormer window is located on the southern roof plane. A prominent corbelled clinker brick chimney with a broad breast and recessed detailing to the stack rises from the eastern end of north (McKinnon Road) elevation.

Slim bricks express the gable roof line and form the corbelling at the gable ends. A multi-paned pair of sash windows punctuate the gable end to Rose Street. A catslide roofline to the first gabled bay of the north elevation extends to create a central recessed entrance porch with an arched opening framed with slim bricks and a lantern above. A balustraded patio to the north-east of the house, with lamp to the stairs at the eastern end, provides access to the entrance porch and to a multi-paned glazed entry door to the east. Polygonal bay windows with curved metal roofs

are located at the gabled bays of the north and east elevations. Windows are generally timber-framed multi-paned sash windows with wrought iron screens fixed to porch openings.

The front patio, low boundary fence and shallow terrace retaining walls are all clad in crazy pattern stonework. Decorative wrought iron balustrades, with curved and geometric diamond motifs, are fitted to the porch and boundary fence and repeated on the corner pedestrian gate. The front garden is formally arranged.

A small addition is located on the rear (south) elevation. A very small addition is also located at the north end of the east elevation.

Key Features

- Attic-storey house in the English Domestic Revival style
- Clinker brick construction with contrasting slim bricks used for gable corbelling and to frame the gable ends and porch entry
- Prominent, steeply pitched, terracotta plain tile-clad, gable-ended roof forms
- Asymmetrical street elevations with stepped gable bays to the north and east and a prominent corbelled chimney with a broad breast and recessed detailing to the stack
- Recessed front entry porch with arched opening and a lamp above, formed by an extension of the projecting gable end with catslide roof
- Balustraded patio with access stairs and lamp at the east end
- Timber-framed multi-paned sash windows and wrought iron screens to porch doors and windows
- Polygonal bay windows with curved metal roof
- Crazy pattern stone cladding to verandah floor, boundary fence base and garden retaining walls
- Decorative wrought iron balustrade, fence, gate and screens to front openings.



Figure 6. Aerial photograph of the subject site, April 2023 (Source: Nearmap).



Figure 7. McKinnon Road elevation (GJM Heritage, February 2023)



Figure 8. Rose Street elevation (GJM Heritage, February 2023)

Intactness/Integrity

The house at 74 McKinnon Road, McKinnon remains highly intact to its original construction. Despite minor additions to the north-west corner and the southern (Rose Street) elevation, the place retains a high degree of integrity as an English Domestic Revival style house from the late 1940s.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. The suburbs of Caulfield, Elsternwick, Glen Huntly and Carnegie experienced their substantial residential development in pre-war years, although some larger properties were subdivided in the interwar period, providing opportunities for further development. In contrast, it was the interwar through to the early postwar period that saw the greatest residential growth in the southern suburbs. At this time, large numbers of houses were constructed on land previously under agricultural production. The Interwar Bungalow was the dominant house type, as represented in the Field Street Precinct, Bentleigh (HO188) and large numbers of these remain throughout the southern suburbs in varying states of intactness. A smaller number of residences adopted other interwar architectural styles, including the English Domestic Revival style displayed at 74 McKinnon Road, McKinnon.

A number of similarly styled houses are located throughout the City of Glen Eira and a small number of these are included, or have been recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme. Those that are comparable to 74 McKinnon Road, McKinnon include:

Duplex, 21-23 Nepean Highway, Elsternwick
(HO191)



Figure 9. 21-23 Nepean Highway, Elsternwick (Source: Google Streetview, 2022)

Moore Residence, 200 Centre Road, Bentleigh
(HO167)



Figure 10. 200 Centre Road, Bentleigh (Source: RBA Architects & Conservation Consultants, 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

8 Rothschild Street, Glen Huntly in 'Glen Huntly
Tudor-Moderne Precinct' (recommended for the
HO)



Figure 11. 8 Rothschild Street, Glen Huntly (Source: Google Streetview, 2018)

15 Rothschild Street, Glen Huntly in 'Glen Huntly Tudor-Moderne Precinct' (recommended for the HO)



Figure 12. 15 Rothschild Street, Glen Huntly (Source: Google Streetview, 2018)

Like the house at 74 McKinnon Road, McKinnon the above houses were constructed in the English Domestic Revival style. Constructed of clinker brick with tiled roofs, these houses exhibit a range of representative characteristics of housing built in this style, including asymmetrical forms and elevations, steeply pitched roof forms, prominent gable ends, tall chimneys, recessed front entry porches, contrasting brickwork detailing, timber-framed windows, low brick fences and decorative wrought iron detailing including gates. Like the above examples, 74 McKinnon Road, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the English Domestic Revival style. Although constructed in c.1948, soon after the cessation of the Second World War, the house at 74 McKinnon Road reflects the fashion for English Domestic Revival architecture of the Interwar years rather than the postwar austerity typical of the late 1940s or the burgeoning modernism and cream-brick suburban bungalows of the 1950s and 60s.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 74 McKinnon Road, McKinnon has strong associations with the extensive interwar and early postwar development phase of the suburb of McKinnon, when the suburb was transformed from a predominantly agricultural one to an almost exclusively residential one by the 1950s. This period of development transformed the built environment and social character of the area. The house at 74 McKinnon Road, McKinnon demonstrates this phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 74 McKinnon Road, McKinnon is a fine and highly intact representative example of a substantial English Domestic Revival style house. It displays typical characteristics of this style, including steeply pitched gable roof forms, clinker brick construction with contrasting slim brick detailing, asymmetrical street elevations with stepped gabled bays, prominent chimney, recessed front entry porch within projecting gable end and multi-paned sash windows including polygonal bays.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The house at 74 McKinnon Road, McKinnon is a well-considered and finely executed example of the English Domestic Revival style. The careful detailing, including the use of contrasting slim clinker brick highlights, corbelled gable-ends, chimney with broad breast and recessed detailing, catslide roof incorporating an arched recessed entry and multi-paned windows including polygonal bays presents a picturesque composition of this architectural style. The extensive use of decorative wrought iron and crazy pattern stone cladding adds to the picturesque character of the design.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes – front fence
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 4 below.



Figure 4. Recommended Extent of Heritage Overlay (to property boundaries)

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

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Nearmap, aerials dated 2009, 2010, 2011.

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Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

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The Australian Jewish News [Melbourne, Vic.].

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Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

HOUSE, 74 MCKINNON ROAD, MCKINNON – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 74 McKinnon Road, McKinnon

PS ref no.: TBC



Figure 1. 74 McKinnon Road, McKinnon (GJM Heritage, December 2022).

What is significant?

The house at 74 McKinnon Road, McKinnon, an English Domestic Revival style house constructed in 1948-49.

Elements that contribute to the significance of the place include:

- Attic-storey house in the English Domestic Revival style
- Clinker brick construction with contrasting slim bricks used for gable corbelling and to frame the gable ends and porch entry
- Prominent, steeply pitched, terracotta plain tile-clad, gable-ended roof forms
- Asymmetrical street elevations with stepped gable bays to the north and east and a prominent corbelled chimney with a broad breast and recessed detailing to the stack

- Recessed front entry porch with arched opening and a lamp above, formed by an extension of the projecting gable end with catslide roof
- Balustraded patio with access stairs and lamp at the east end
- Timber-framed multi-paned sash windows and wrought iron screens to porch doors and windows
- Polygonal bay windows with curved metal roof
- Crazy pattern stone cladding to verandah floor, boundary fence base and garden retaining walls
- Decorative wrought iron balustrade, fence, gate and screens to front openings.

Later alterations and additions, including the small addition to the north-west corner and the extension to the southern (Rose Street) elevation, are not contributory.

How is it significant?

74 McKinnon Road, McKinnon is of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

The house at 74 McKinnon Road, McKinnon has strong associations with the extensive interwar and early postwar development phase of the suburb of McKinnon, when the suburb was transformed from a predominantly agricultural one to an almost exclusively residential one by the 1950s. This period of development transformed the built environment and social character of the area. The house at 74 McKinnon Road, McKinnon demonstrates this phase of development in the southern part of the City of Glen Eira (Criterion A).

The house at 74 McKinnon Road, McKinnon is a fine and highly intact representative example of a substantial English Domestic Revival style house. It displays typical characteristics of this style, including steeply pitched gable roof forms, clinker brick construction with contrasting slim brick detailing, asymmetrical street elevations with stepped gabled bays, prominent chimney, recessed front entry porch within projecting gable end and multi-paned sash windows including polygonal bays (Criterion D).

The house at 74 McKinnon Road, McKinnon is a well-considered and finely executed example of the English Domestic Revival style. The careful detailing, including the use of contrasting slim clinker brick highlights, corbelled gable-ends, chimney with broad breast and recessed detailing, catslide roof incorporating an arched recessed entry and multi-paned windows including polygonal bays presents a picturesque composition of this architectural style. The extensive use of decorative wrought iron and crazy pattern stone cladding adds to the picturesque character of the design (Criterion E).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

'ESSEX', 123 MCKINNON ROAD, MCKINNON



Figure 1. 123 McKinnon Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: c1913	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon’s built environment continues to demonstrate the locality’s historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The immediate area west of McKinnon Railway Station was first subdivided into suburban residential allotments in the mid-1880s (Ward 1996: Vol 1, 46). Alfred Dean Hodgson, Melbourne solicitor, subdivided just under twenty-five acres in c1886, creating ‘Railway Park’ (Figure 2). The subdivision extended from McKinnon Road to the south, Murray Road to the north, the railway line to the east and Wattle Grove (including the western lots) to the west. The subdivision created Elm, Wattle, Hawthorn and Pine groves (the latter now Glen Orme Avenue). Lots were on-sold from 1886 (LV: V1794/F652).

Figure 2. Auction notice for Railway Park estate, c1880s (Source: SLV, Filename va001356).

John Scott the Younger ('brickmaker of Frankston') acquired Lot 9 (current no. 123) on McKinnon Road in October 1889. Henry Robinson of Richmond (a tailor) purchased the property in November 1910 (LV: V2200/F953). Robinson was first listed as the sole occupant on McKinnon Road, between Wattle and Elm groves, in the 1914 Sands & McDougall Directory. Prior to this, in 1913, Charles Watson was listed as the only occupant on this part of McKinnon Road (S&Mc). Watson likely occupied the newly constructed house at the subject site as a tenant, suggesting that the house was constructed c1913. In 1915 Henry Robinson was rated as the owner and occupant of Lot 9 with a five-roomed weatherboard house, named 'Essen' in the rate books (it is believed the name 'Essen' was incorrectly notated, and that it should have been 'Essex' – see further details below).

In August 1917, Arthur and Mary Nowell, 'both of "Essex" McKinnon Road, McKinnon' purchased the property (Lot 9; matching the current extent of title) (LV: V4059/F719). The 1917 rate books confirm that the Nowell's were rated as owners and occupants of 'Essex' on Lot 9, comprising a five-roomed weatherboard house (RB).

Aerial photographs dated 1931 and 1945 (Figure 3 & Figure 4) show the extent of the house and location of earlier outbuildings.

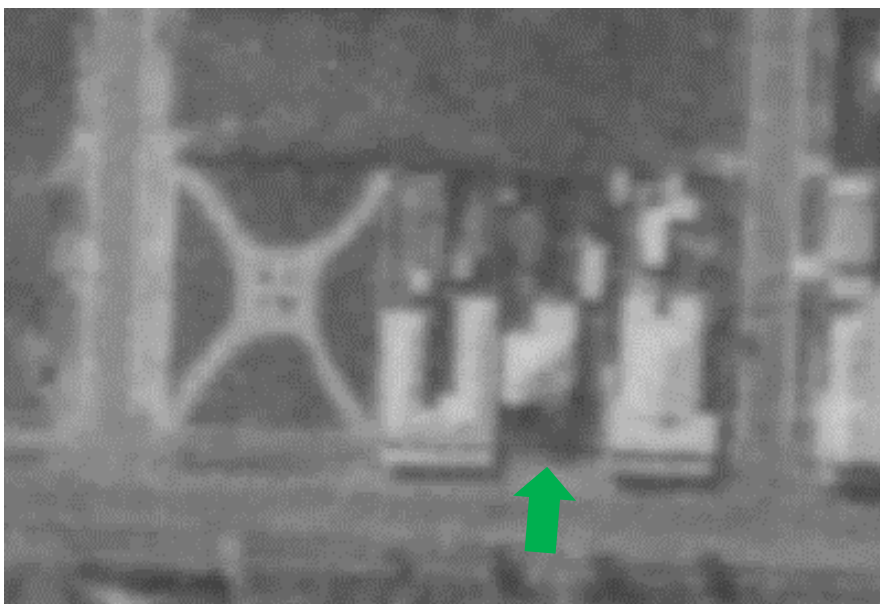


Figure 3. 1931 aerial photo, the subject site indicated by the green arrow (Landata Victoria).

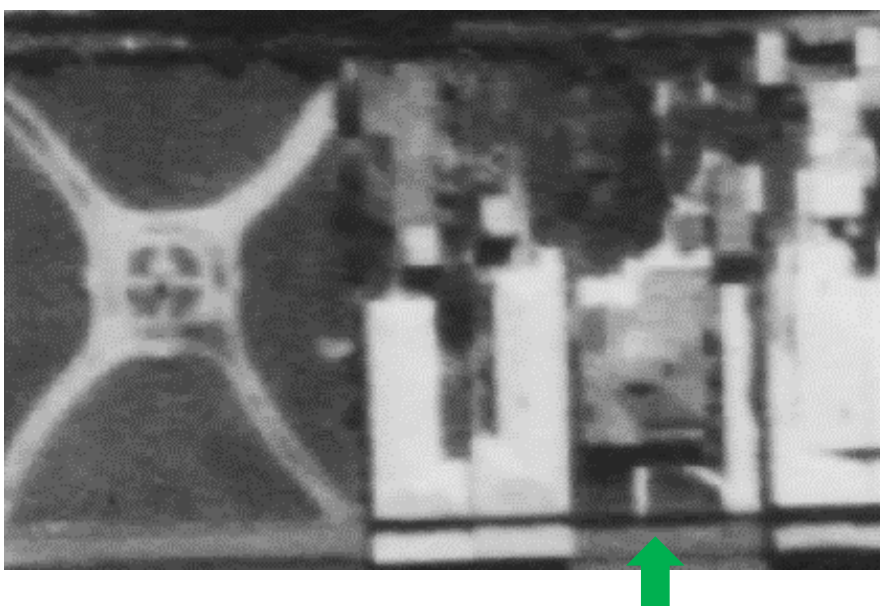


Figure 4. 1945 aerial photo, the subject site indicated by the green arrow (Landata Victoria).

The Nowells retained the property for over 50 years until 1968 (LV: V4059/F719).

An addition has been constructed off the rear (north) elevation, and outbuildings have been constructed along the eastern boundary (dates not known).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

'Essex' at 123 McKinnon Road is located on the north side of McKinnon Road, at the western end of the McKinnon Road shopping precinct. The deep rectangular lot is accessed via a driveway which runs along the eastern side of the house. The house is setback from the front boundary behind a small garden.

The single-storey timber house has a gabled-hip roof, with gablets facing north and south. The roof is clad in corrugated sheet metal. A red brick chimney with rough-cast rendered banding is located on the east side of the roof. The house is asymmetrical in form, with a projecting gabled bay at the west end of the principal elevation. The gable end has a half-timbered effect with rough-cast render between. This detailing is repeated in the gablets. The projecting gabled bay contains a pair of timber-framed, one-over-one sash windows with a window hood supported by decorative timber brackets above. A verandah with a hipped roof clad in corrugated sheet metal and supported by timber posts runs along the balance of the principal facade. A timber frieze with a geometric pattern remains at the east (short) end of the verandah. Under the verandah is the entrance door with a toplight, and a pair of narrow timber-framed, one-over-one sash windows.

A single-storey addition is located off the north (rear) elevation. A carport and outbuilding are located along the east boundary, to the rear of the house. A recent metal fence extends across the front boundary, with a central pedestrian gate and vehicular gates at the east end.

Key Features

- Single-storey timber house, typical of modest houses from the late Federation period
- Corrugated metal-clad gabled-hip roof form
- Red brick chimney with rendered banding
- Asymmetrical front elevation with prominent projecting gable bay
- Rough cast render and half timbering effect to gable end
- Window hood with decorative timber brackets to projecting gable bay
- Front verandah with timber posts
- Front door with top light and timber-framed sash windows.



Figure 5. Aerial photo of the subject site, dated February 2023 (Source: Nearmap).



Figure 5. The south elevation (GJM Heritage, December 2022).

Intactness/Integrity

'Essex' at 123 McKinnon Road, McKinnon remains highly intact to its period of construction. Despite an addition made to the rear of the original house that is concealed from the street frontage, and the loss of the decorative timber frieze to much of the verandah, the place retains a very high degree of integrity.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. Growth of these suburbs was greatly impacted by the 1890s depression and it wasn't until around the 1910s that land sales and residential development resumed in McKinnon and the surrounding area. In the 1910s a number of houses were constructed on undeveloped land in speculative subdivisions of the 1880s, but development remained slow relative to the northern part of the current City of Glen Eira.

No comparable examples in the southern part of the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme. A number of places further north that are included in the Heritage Overlay and which are comparable to 123 McKinnon Road include:

24 Elliott Avenue, Carnegie (HO172), 1913-1914



Figure 6. 24 Elliott Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

122 Grange Road, Carnegie (HO113)



Figure 7. 122 Grange Road, Carnegie (Source: Google Streetview, 2022)

Houses in Carnegie Residential Precinct (HO178)



Figure 8. Houses, Munster Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

Like the house at 123 McKinnon Road, McKinnon these houses were constructed in the City of Glen Eira in the early twentieth century. Constructed of timber, these houses exhibit a range of representative characteristics of modest housing of the late Federation period, including single-storey hipped roof forms (commonly gabled-hip forms) clad in corrugated metal, prominent gable ends forming asymmetrical front elevations, decorative front verandahs, decorative detailing including half-timbering to front gable ends, window hoods and red brick chimneys. Like the above examples, 123 McKinnon Road, McKinnon retains a high degree of integrity to its period of construction and remains highly intact to demonstrate a range of the characteristics of a modest house from the late Federation period.

Unlike the above examples, 123 McKinnon Road, McKinnon is one of only a small number of substantially intact late Federation houses remaining in the southern part of the City of Glen Eira to demonstrate this early phase of historical development as the area transitioned from agricultural to residential.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

‘Essex’ at 123 McKinnon Road, McKinnon has strong associations with the development of McKinnon in the first part of the twentieth century when undeveloped land from late nineteenth century subdivisions began to be tentatively developed following the hiatus caused by the 1890s Depression. Constructed on land that formed part of the 1880s ‘Railway Park’ subdivision, ‘Essex’ at 123 McKinnon Road is one of a small number of places remaining in the suburb to demonstrate this phase of development. ‘Essex’ clearly illustrates this early phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Essex’ at 123 McKinnon Road, McKinnon is a highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, gabled-hip roof, prominent front gabled bay forming an asymmetrical front elevation, rough cast rendering and half-timbering effect to the gable end, front verandah supported on timber posts and red brick chimney with rendered banding.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 10 below.



Figure 10. Recommended Extent of Heritage Overlay (to property boundaries)

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh]*, 2020.

Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

Landata Victoria (LV):

Certificates of Title, as cited.

Historical aerial photographs.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Rate Books (RB), Shire of Moorabbin, North Riding: 1915-16, entry 425; 1917-18, entry 242.

Sands & McDougall (S&Mc) Directories.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

State Library of Victoria (SLV), images as cited.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

'ESSEX' – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 'Essex', 123 McKinnon Road, McKinnon | PS ref no.: TBC



Figure 1. 'Essex' 123 McKinnon Road, McKinnon (GJM Heritage, December 2022).

What is significant?

'Essex' at 123 McKinnon Road, McKinnon, a late Federation residence constructed c.1913.

Elements that contribute to the significance of the place include:

- Single-storey timber house, typical of modest houses from the late Federation period
- Corrugated metal-clad gabled-hip roof form
- Red brick chimney with rendered banding
- Asymmetrical front elevation with prominent projecting gable bay
- Rough cast render and half timbering effect to gable end
- Window hood with decorative timber brackets to projecting gable bay
- Front verandah with timber posts

- Front door with top light and timber-framed sash windows.

Later alterations and additions, including the single-storey rear addition, outbuildings and front fence, are not contributory.

How is it significant?

'Essex' at 123 McKinnon Road, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

'Essex' at 123 McKinnon Road, McKinnon has strong associations with the development of McKinnon in the first part of the twentieth century when undeveloped land from late nineteenth century subdivisions began to be tentatively developed following the hiatus caused by the 1890s Depression. Constructed on land that formed part of the 1880s 'Railway Park' subdivision, 'Essex' at 123 McKinnon Road is one of a small number of places remaining in the suburb to demonstrate this phase of development. 'Essex' clearly illustrates this early phase of development in the southern part of the City of Glen Eira (Criterion A).

'Essex' at 123 McKinnon Road, McKinnon is a highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, gabled-hip roof, prominent front gabled bay forming an asymmetrical front elevation, rough cast rendering and half-timbering effect to the gable end, front verandah supported on timber posts and red brick chimney with rendered banding (Criterion D)

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

MCKINNON VILLAGE PRECINCT

[NOS. 129-167 & 146-154 MCKINNON ROAD, 2A-2C ELM GROVE
AND 2A-2E GLEN ORME AVENUE, MCKINNON]



Figure 1. 129-153 McKinnon Road, McKinnon (GJM Heritage, February 2023).

DATE: May 2023 - DRAFT

Place type: Commercial precinct	Architect: Not known
Construction Date: c1925-c1940	Builder: L S Nicholls (nos. 131-157)
Recommendation: Remove 129-167 McKinnon Road from the non-contiguous HO75 (Ormond and Environs Precinct) and, in combination with 146-154 McKinnon Road, include in the Heritage Overlay as a heritage precinct.	Extent of Overlay: To the extent of shown at Figure 29

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a

vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon’s built environment continues to demonstrate the locality’s historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The land on the north side of McKinnon Road, west of the railway line was subdivided as part of the Railway Park Estate subdivision of the 1880s. The auction plan shows two footprints of earlier buildings on this part of McKinnon Road (Figure 2). The land opposite, on the south side of McKinnon Road, was subdivided in the late 1880s as part of McKinnon Estate (Figure 3).

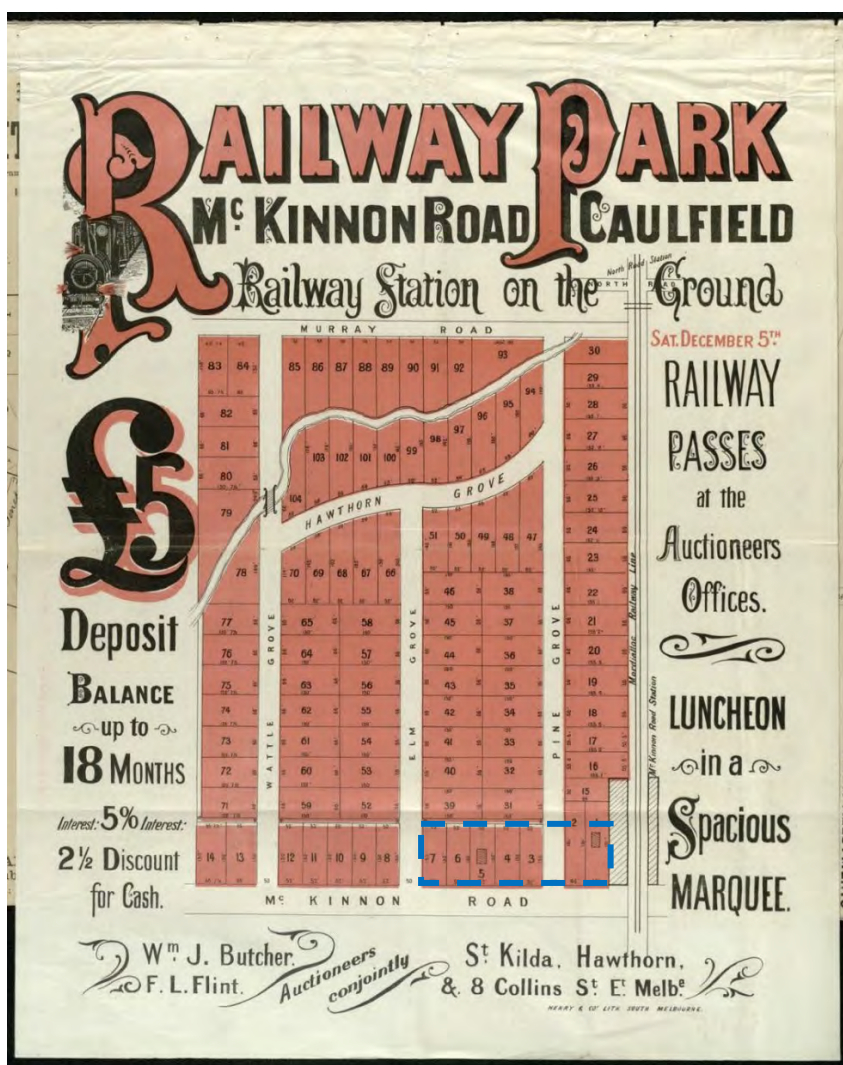


Figure 2. Auction notice for Railway Park Estate, c.1880s. The approximate extent of the precinct on the north side of McKinnon Road is indicated in blue (Source: SLV, Filename va001356).

MCKINNON ESTATE.

280 ALLOTMENTS
BRIGHTON E.
BUSINESS, VILLA, COTTAGE SITES,
 Situated precisely 22 yards from the McKinnon Railway Station.
 Popular Frontages and Noble Depths to Rights-of-way. Drainage Perfect.
PRICES FROM 35s. PER FOOT.
 Terms the most Liberal and Wonderful ever offered :
DEPOSIT £1 MONTHLY
 INTEREST 3 PER CENT.
INVEST IN AN IMPROVING LOCALITY.
IMPORTANT.
P. GALLAGHAN, JUN
- VENDOR -
 67 BRUNSWICK ST. (NEAR GERTRUDE STREET), FITZROY
(TRAFFIC PASS THE DOOR EVERY FEW MINUTES)

MCKINNON ROAD.

LEES STREET.

EXHIBITION STREET.

CARLTON STREET.

FITZROY STREET.

MCKINNON RAILWAY STATION.
RAILWAY LINE TO MELBOURNE.

J. L. REILLY, Surveyor, Victoria Buildings, Collins and Swanston Streets.

Figure 3. Auction notice for McKinnon Estate, c1880s. The approximate extent of the precinct on the south side of McKinnon Road is indicated in blue, at the top right corner of the plan (Source: SLV, Filename cd000863).

In the mid-1920s, particularly after the electrification of the railway line in 1922, commercial development occurred near McKinnon Railway Station establishing the shopping strip along McKinnon Road which served the surrounding rapidly expanding residential development. As development continued through the interwar period, McKinnon Road began to rival the commercial centre along Centre Road, Bentleigh, although the latter would remain the principal shopping centre in the area (Cribbin 1995:99). The McKinnon Progress League, who appear to have been particularly active in the 1920s, were given credit for much of the shop building along McKinnon Road (Ward 1996: Vol 1, p 64).

A series of Melbourne and Metropolitan Board of Works (MMBW) plans and historical aerial photographs illustrate the sequence of commercial development within the precinct. By 1926, the buildings at nos. 129 and 152-154 were constructed (Figure 4). Nos. 159-161 were constructed between 1926 and 1928 (Figure 5). The prominent row at nos. 131-157 McKinnon Road, the 'Nicholls Buildings', was built in 1928 by L S Nicholls, comprising an extensive row of two-storey shops and residences. The central buildings reads 'Nicholls Buildings, erected 1928' on the parapet. Between 1928 and 1931, the buildings at nos. 146-150 were constructed (Figure 7). Finally, the row of three buildings at nos. 163-167 are listed in the Sands & McDougall directories by 1940, indicating that they were built between 1931 and 1940. The full extent of the precinct is evident on a 1945 aerial photo (Figure 8).

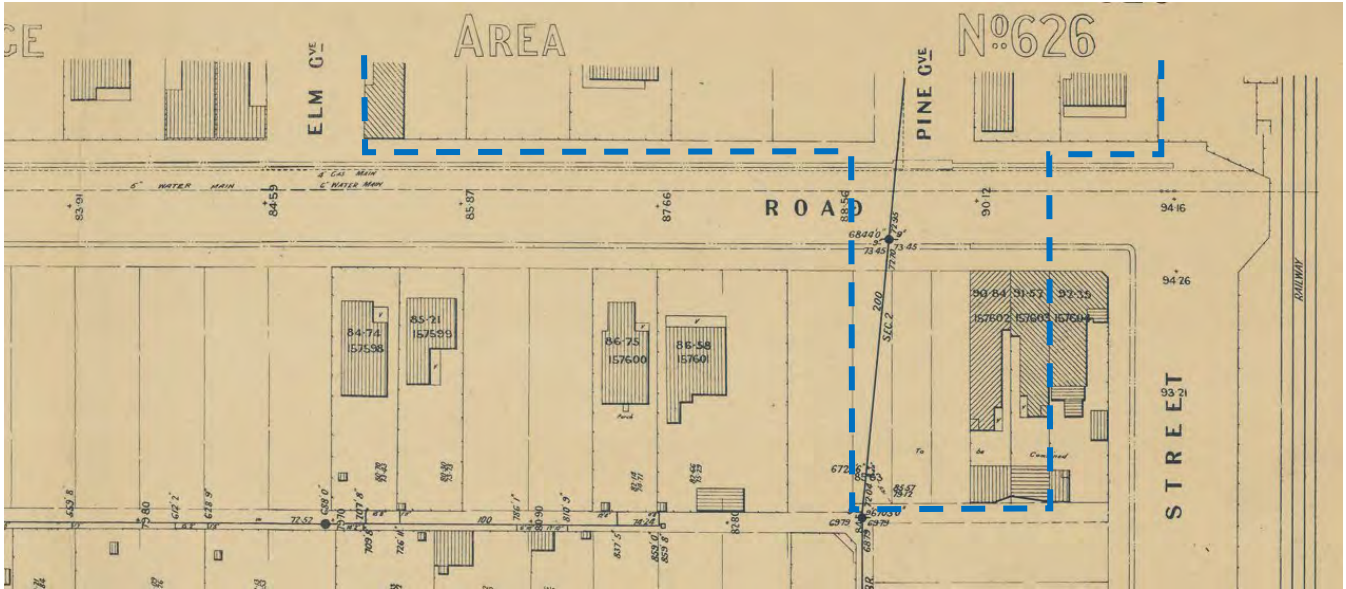


Figure 4. 1926 plan showing development within the approximate extent of the precinct (indicated in blue) (MMBW DP No. 2837, dated 1926).

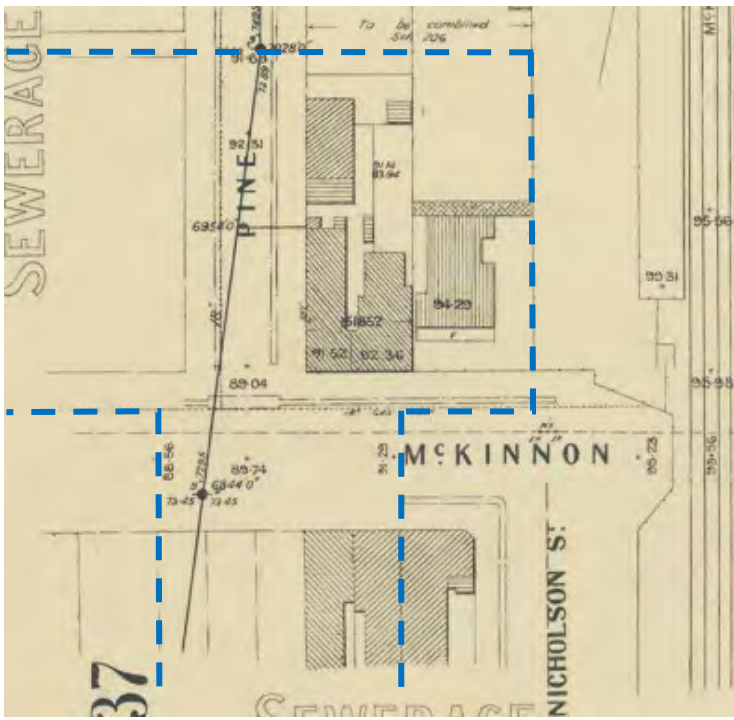


Figure 5. 1928 plan showing development at the east end of the approximate extent of the precinct area (indicated in blue), near Pine Grove (MMBW DP No. 2829, dated 1928).



Figure 6. An early 1930s photo, looking east from near the corner of Elm Grove at the row that includes the Nicholls Buildings (Source: Cribbin 1995:98).



Figure 7. 1931 aerial photograph, showing development on McKinnon Road within the approximate extent of the precinct area (indicated in blue) (Source: Landata Victoria).



Figure 8. 1945 aerial photograph, showing full commercial development within the precinct area (indicated in blue)
(Source: Landata Victoria).

Leslie Sydney Nicholls commenced working as a builder in greater Melbourne in 1920 and one his first major projects was ‘to build 14 two-storey shops at McKinnon’ (*Herald*, 22 May 1931:15). Nicholls was elected a councilor of the Moorabbin Shire Council in 1928 (*Herald*, 22 May 1931:15). In 1930 L S Nicholls was addressed to McKinnon Road and advertised as a master builder, with ‘modern building a specialty’ and ‘houses erected in all suburbs’; (S&Mc 1930:102). In 1931 he partnered with Richard Hoare and traded as L S Nicholls and Co., builders and contractors (*Argus*, 19 Nov 1931:4).

In 1930 – in addition to L S Nicholls – occupants of the shops within the precinct included a florist, fishmonger, leadlight manufacturers, dressmaker, fruiterer, grocer, tea rooms, boot shop, hairdresser, estate agents, ironmonger, dairy outlet, chemist, baker, news agent and confectioner, and butcher. Other Nicholls family members, including one who was a draper, occupied premises on the south side of McKinnon Road, at the west end of the precinct (S&Mc).

Some buildings have later additions to the rear elevations, or outbuildings constructed to the rear of the property. Some shopfronts have been replaced.

While nearby lots fronting McKinnon Road (outside of the precinct) also underwent commercial development during the interwar period, they have since been replaced with recent residential and commercial development.

The precinct continues to serve as a key commercial centre for the suburb of McKinnon.



Figure 9. Looking west down McKinnon Road from the railway line, 1960s (Source: Cribbin 1995:186).



Figure 10. Looking west at the south side of McKinnon Road from the railway line, with no. 154 in the foreground (Source: Cribbin 1995:186).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

5.0 Building Victoria's industries and workforce

5.3 Marketing and retailing.

Description

The McKinnon Village Precinct is located in McKinnon Road, immediately west of McKinnon Railway Station. The precinct includes properties on both the north and south sides of McKinnon Road. On the north side, the row extends from Elm Grove in the west (No. 129), crosses Glen Orme Avenue, and terminates at 167 McKinnon Road in the east.

On the south side, the precinct includes five properties opposite the intersection of Glen Orme Avenue, from 146 to 154 McKinnon Road. The precinct comprises the following properties:

North side of McKinnon Road:

Nos. 129, 131, 135, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161A, 163, 165 & 167.

South side of McKinnon Road:

Nos. 146, 148, 150, 152 & 154.

Predominantly comprised of two-storey shop/residences (a pair of single-storey buildings is located at 146-148 McKinnon Road), the precinct presents as an intact commercial streetscape with a high degree of consistency in architectural style, materiality and detailing. All buildings are of brick construction (face red brick or rendered, with some overpainting), with parapets concealing roof forms and cantilevered canopies (of various dates) extending over the public footpath. The eclectic use of simplified Classical motifs creates a highly consistent streetscape and reflects the relative naivety of the designer builders. Framed by dividing pilasters on the line of the party walls, the upper-storeys of individual buildings are symmetrically composed at first floor level, utilising a variety of decorative window sets, parapet detailing (including blank building nameplates and one building name), and rendered and clinker brick details. A number of shopfronts to the ground floor remain substantially intact at nos. 129, 141, 145, 147, 149, 151, 154, 155, 159, 161A, 163 and 165 McKinnon Road with expansive shopfront glazing, decorative glass treatments including stained glass, recessed entries, decorative tiling and original door sets. An early painted sign remains at the upper section of the west (Glen Orme Avenue) elevation of No. 159 McKinnon Road which reads "A. Foster Baker".

Key features:

- Strong interwar character in an eclectic Stripped Classical style, which utilises a range of simple decorative motifs and geometric forms
- Consistent zero-setbacks to the street frontage
- Brick construction, finished in face brick or render
- Roofs concealed behind decorative parapets
- Symmetrical first floor elevations
- Predominantly two-storey scale
- Rendered and clinker brick detailing to walls, parapets and window sets
- Prominent pilasters articulating individual premises
- Variety of metal casement and timber sliding sash windows some with decorative lead lighting
- Parapet detailing including blank building nameplates and one building name (no. 145)
- Early painted façade sign (no.159)
- Original shopfronts with expansive shopfront glazing, decorative glass treatments including stained glass, recessed entries, decorative tiling and original door sets to nos. 129, 141, 145, 147, 149, 151, 154, 155, 159, 161A, 163 and 165 McKinnon Road.



Figure 11. Aerial photo of the precinct area, 2023 (Source: Nearmap).



Figure 12. Looking north-west at 129-157 McKinnon Road (GJM Heritage, February 2023).



Figure 13. Looking north at 159-167 McKinnon Road. Note: remnant painted sign to the west elevation of no.159 (GJM Heritage, February 2023).



Figure 14. Looking south-east at 146-154 McKinnon Road (GJM Heritage, February 2023).



Figure 15. Shopfront at 141 McKinnon Road (GJM Heritage, February 2023).



Figure 16. Shopfront at 129 McKinnon Road (GJM Heritage, February 2023).

Intactness/Integrity

The commercial premises within the McKinnon Village Precinct remain highly intact to their period of construction and retain a high degree of integrity to the interwar period in fabric, form and detail. While the buildings have undergone some minor alterations, particularly to shopfronts, awnings and rear additions, these do not diminish the ability to understand and appreciate the place as a finely detailed precinct dating from the 1920s to the 1930s. A number of original shopfronts remain largely intact, in particular at 129, 141, 145, 147, 149, 151, 154, 155, 159, 161A, 163 and 165 McKinnon Road.

Comparative Analysis

The McKinnon Village Precinct is of note as a representative and highly intact group of predominantly 1920s shop/residences, typical of commercial development that occurred in suburbs such as McKinnon, Bentleigh, Glenhuntly and Carnegie, in the interwar period. These commercial premises were developed over a short period and the precinct displays a high degree of consistency in form, scale and architectural character.

A number of interwar commercial premises are included in the Heritage Overlay in the City of Glen Eira however, unlike the McKinnon Village Precinct, many of these contain buildings from a range of periods, including from the Victorian period through to the postwar period. These precincts include Derby Road and Environs Precinct (HO71), Carnegie Retail Precinct (HO158), Elsternwick Commercial and Public Precinct (HO180) and Murrumbeena Village Precinct (HO187).

The interwar commercial precincts that are most comparable to the McKinnon Village Precinct include Caulfield South Shopping Centre and Environs (HO66), Glenhuntly Tram Terminus Estate Shops Precinct (HO159), Bentleigh Retail Precinct (HO160), Shops, 369-377 Centre Road, Bentleigh (HO163) and Grand View Estate Shops, 165-189/189A Centre Road, Bentleigh (HO165) as follows:

Caulfield South Shopping Centre and Environs (HO66)



Figure 17. North side of Glen Huntly Road, looking east from Poplar Road (Source: Google Streetview)



Figure 18. Looking west along Glen Huntly Road from Hawthorn Road (Source: Google Streetview)

Glenhuntly Tram Terminus Estate Shops Precinct (HO159)



Figure 19. 239-251 Koornang Road, Glenhuntly (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)



Figure 20. 231-237 Koornang Road, Glenhuntly (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)

Bentleigh Retail Precinct (HO160)



Figure 21. (Source: Glen Eira Planning Scheme Citation)



Figure 22. (Source: Glen Eira Planning Scheme Citation)



Figure 23. (Source: Glen Eira Planning Scheme Citation)

Shops, 369-377 Centre Road, Bentleigh (HO163)



Figure 24. 369-377 Centre Road, Bentleigh (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)



Figure 25. 369-377 Centre Road, Bentleigh (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)

Grand View Estate Shops, 165-189/189A Centre Road, Bentleigh (HO165)



Figure 26. 173-179 Centre Road, Bentleigh (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)



Figure 27. 165-167 Centre Road, Bentleigh (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)



Figure 28. 169-171 Centre Road, Bentleigh (Source: 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)' 2018)

The above examples all contain rows of intact commercial premises dating to the interwar period, which illustrate the significant commercial development in the City of Glen Eira in the interwar period. Buildings within these precincts display characteristics of an eclectic Stripped Classical style, utilising simple geometric forms for architectural interest and detailing. The resulting interwar streetscapes in these precincts display a high degree of integrity and are highly consistent in scale, materiality and detailing, with a distinctive architectural character.

The McKinnon Village Precinct is comparable in architectural expression and consistency to the above precincts. The McKinnon Village Precinct contains commercial premises which date predominantly from the 1920s, with some 1930s development, and these commercial premises contribute to a streetscape of high integrity, uniformity of scale, and distinctive architectural character.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The McKinnon Village Precinct has strong associations with the interwar period of development in the City of Glen Eira. In this period, extension tracts of land in McKinnon and surrounding areas were developed for residential purposes and rapid commercial development occurred to support the growing population. As a highly intact precinct of interwar commercial buildings, the McKinnon Village Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The McKinnon Village Precinct is a fine and highly intact example of an interwar commercial precinct. The rows of commercial shop/residences display typical features of this class of place including brick construction (both red brick and rendered), roofs concealed behind parapets, predominantly two-storey scale, rendered and clinker brick detailing to walls, parapets and window sets, prominent pilasters articulating individual premises, a variety of window sets and parapets and original shopfront forms and detailing.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The McKinnon Village Precinct forms a highly cohesive group of commercial buildings dating to the interwar period. Constructed in a broadly Stripped Classical style, the eclectic application of Classically inspired decorative motifs and detailing to the facades, and the variety of window, parapet and pilaster forms, presents a picturesque streetscape. The high proportion of retained original or early shopfronts, comprising decorative glass treatments, recessed entries, decorative tiling and original door sets, elevates the aesthetic qualities of the streetscape.

Grading and Recommendations

It is recommended that 129-167 McKinnon Road be removed from the non-contiguous HO75 (Ormond and Environs Precinct) and, in combination with 146-154 McKinnon Road, include in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage precinct.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 29 below.



Figure 29. Recommended Extent of Heritage Overlay

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

MCKINNON VILLAGE PRECINCT – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: McKinnon Village Precinct [Nos. 129-167 & 146-154 McKinnon Road, 2A-2C Elm Grove and 2A-2E Glen Orme Avenue, McKinnon]	PS ref no.: TBC
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Figure 1. 129-153 McKinnon Road, McKinnon (GJM Heritage, February 2023).

What is significant?

The McKinnon Village Precinct, an interwar commercial precinct constructed between c.1925 and c.1940. The precinct comprises nos. 129, 131, 135, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161A, 163, 165 & 167 McKinnon Road, 2A-2C Elm Grove and 2A-2E Glen Orme Avenue on the north side of McKinnon Road and nos. 146, 148, 150, 152 & 154 on the south side of McKinnon Road, McKinnon.

Elements that contribute to the significance of the place include:

- Strong interwar character in an eclectic Stripped Classical style, which utilises a range of simple decorative motifs and geometric forms
- Consistent zero-setbacks to the street frontage

- Brick construction, finished in face brick or render
- Roofs concealed behind decorative parapets
- Symmetrical first floor elevations
- Predominantly two-storey scale
- Rendered and clinker brick detailing to walls, parapets and window sets
- Prominent pilasters articulating individual premises
- Variety of metal casement and timber sliding sash windows some with decorative lead lighting
- Parapet detailing including blank building nameplates and one building name (no. 145)
- Early painted façade sign (no. 159)
- Original shopfronts with expansive shopfront glazing, decorative glass treatments including stained glass, recessed entries, decorative tiling and original door sets to nos. 129, 141, 145, 147, 149, 151, 154, 155, 159, 161A, 163 and 165 McKinnon Road.

Later alterations and additions, including the rear additions and outbuildings and later shopfronts, are not contributory. Townhouse developments at 2A-2C Elm Avenue and 2A-2E Glen Orme Avenue are not contributory.

How is it significant?

McKinnon Village Precinct is of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

The McKinnon Village Precinct has strong associations with the interwar period of development in the City of Glen Eira. In this period, extensive tracts of land in McKinnon and surrounding areas were developed for residential purposes and rapid commercial development occurred to support the growing population. As a highly intact precinct of interwar commercial buildings, the McKinnon Village Precinct clearly illustrates this important phase of development in the City of Glen Eira (Criterion A).

The McKinnon Village Precinct is a fine and highly intact example of an interwar commercial precinct. The rows of commercial shop/residences display typical features of this class of place including brick construction (both red brick and rendered), roofs concealed behind parapets, predominantly two-storey scale, rendered and clinker brick detailing to walls, parapets and window sets, prominent pilasters articulating individual premises, a variety of window sets, parapets and original shopfront forms and detailing (Criterion D).

The McKinnon Village Precinct forms a highly cohesive group of commercial buildings dating to the interwar period. Constructed in a broadly Stripped Classical style, the eclectic application of Classically inspired decorative motifs and detailing to the facades, and the variety of window, parapet and pilaster forms, presents a picturesque streetscape. The high proportion of retained original or early shopfronts, comprising decorative glass treatments, recessed entries, decorative tiling and original door sets, elevates the aesthetic qualities of the streetscape (Criterion E).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

MCKINNON BABY HEALTH CENTRE & KINDERGARTEN - 186-200
MCKINNON ROAD, MCKINNON



Figure 1. 186 McKinnon Road, McKinnon (GJM Heritage, May 2023).

DATE: May 2023

Place Type: Community buildings	Architect: Not known
Construction Date: 1951	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: Refer to Figure 15

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Contextual History

Maternal and Child Health Centres

The following history draws from the citation for the Maternal and Child Health Centre, Kew East, VHR H0055, accessed via the Victorian Heritage Database.

Increasing concern for the health of mothers and infants in the first decades of the twentieth century led to the establishment of the maternal and child health care movement in Victoria. Dr Isabella Younger Ross, who studied infant health in England, helped to set up Victoria's first baby health clinic in Richmond in 1917 and by 1918 the voluntary Victorian Baby Health Centres Association was formed to encourage and oversee a growing number of centres. By the end of 1919 centres had been established in the inner Melbourne suburbs of North Melbourne, Carlton, Fitzroy, South Melbourne and Port Melbourne.

Some financial support came from local councils and early facilities were housed in a variety of temporary accommodation in existing buildings, commonly at municipal buildings. In 1926 the Infant Welfare Section of the Public Health Department was established by the State government, with Dr Vera Scantlebury Brown as the first director, and at this time the first purpose-built maternal and child health centres (or baby health centres) were opened in Victoria. Local communities were involved with raising funds and lobbying councils to build these centres. After World War II increased state funding encouraged the construction of a greater number of purpose-built facilities and led to less community input into their construction.

Kindergartens

The following history draws from the citation for the Robert Cochrane Kindergarten, Auburn, VHR H0055, accessed via the Victorian Heritage Database.

The first kindergartens in Australia were typically established in poorer areas by philanthropists and religious groups and were often set up in existing buildings such as church halls. In Victoria the first kindergartens were established at Carlton, North Melbourne, Burnley and Collingwood from 1901 to 1907, followed by facilities at Fitzroy, central Melbourne, South Melbourne and Prahran in 1910.

Kindergartens first received government funding in 1944 and the following year *Pre-School Centres in Australia* was published by the Commonwealth government, providing advice on all aspects of the building of a kindergarten. From the 1950s the need for community facilities in the growing suburbs of Melbourne was recognised and local government and proactive communities financed kindergartens, particularly in the middle and outer suburbs of Melbourne, such as Camberwell, McKinnon, Beaumaris and Ringwood.

Place History

The Baby Health Centre and adjoining Kindergarten were opened at the corner of McKinnon Road and Claire Street, McKinnon in 1951 (*Argus*, 17 July 1951:8) on two allotments acquired for a Baby Health Centre by the City of Moorabbin, ten years earlier (*Age*, 7 May 1941:12).

The first Baby Health Centre in the former City of Moorabbin was opened at the Moorabbin Shire Hall in Point Nepean Road in 1927 (now within the City of Kingston). By the 1940s the majority of those attending the Baby Health Centre lived in the northern portion of the municipality, prompting the proposed establishment of a centre in McKinnon with instruction given to the city engineer to prepare plans for a suitable building (*Age*, 7 May 1941:12).

A temporary centre was established at rental premises in McKinnon while council sought permission to build the Baby Health Centre at McKinnon (*Age*, 5 May 1943:5) and applications were sought for a sister-in-charge at the beginning of the following year (*Age*, 1 January 1944:9). At a similar time, the McKinnon Kindergarten Association was raising funds for a new kindergarten to accommodate growing numbers of children in the local area (*Age*, 25 July 1946:7).

Tenders were finally called for the erection of a Baby Health Centre and a Kindergarten Hall, on the council-owned sites in McKinnon Road, McKinnon in 1948-1949 (*Age*, 11 December 1948:18) and both buildings were completed in 1951 (*Argus*, 13 July 1951:8 & *Herald*, 8 August 1951:3). On opening, the Baby Health Centre was the fourth such facility in the City of Moorabbin (*Argus*, 13 July 1951:8), joining the original centre at Moorabbin and centres at Bentleigh and Cheltenham (*Argus*, 17 July 1951:8).

A large flat-roofed addition has been built at the rear of the kindergarten (date unknown). A smaller freestanding flat roofed building is located at the rear of the Baby Health Centre and Kindergarten (date unknown). A concrete ramp with steel handrailing has been installed at the front of the kindergarten to access the main entrance. A window has been inserted into the eastern end of the principal elevation of the Baby Health Centre and a red brick wall has been constructed between the Baby Health Centre and the Kindergarten (dates unknown).

The Baby Health Centre and the Kindergarten continue to operate as council-run facilities.

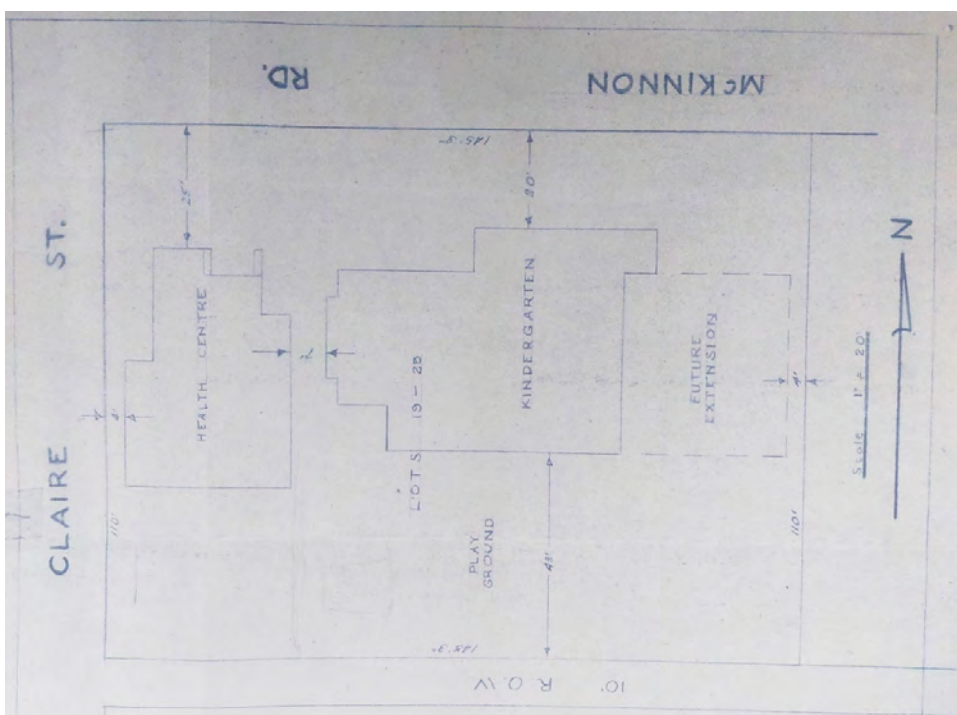


Figure 2. Site Plan for Kindergarten and Baby Health Centre McKinnon, undated (Source: PROV VPRS 7882/P0001, 9489).

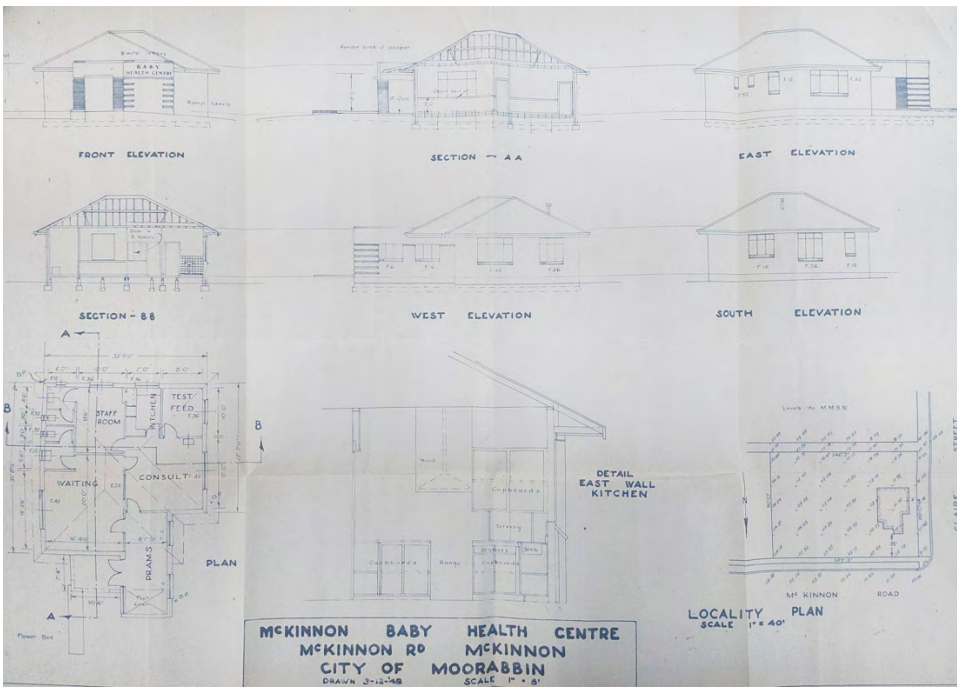


Figure 3. Drawings for Baby Health Centre, McKinnon, 1948. Note: it appears the centre was constructed with a window to the front projecting elevation instead of two windows to the side (Source: PROV VPRS 7882/P0001, 9489).

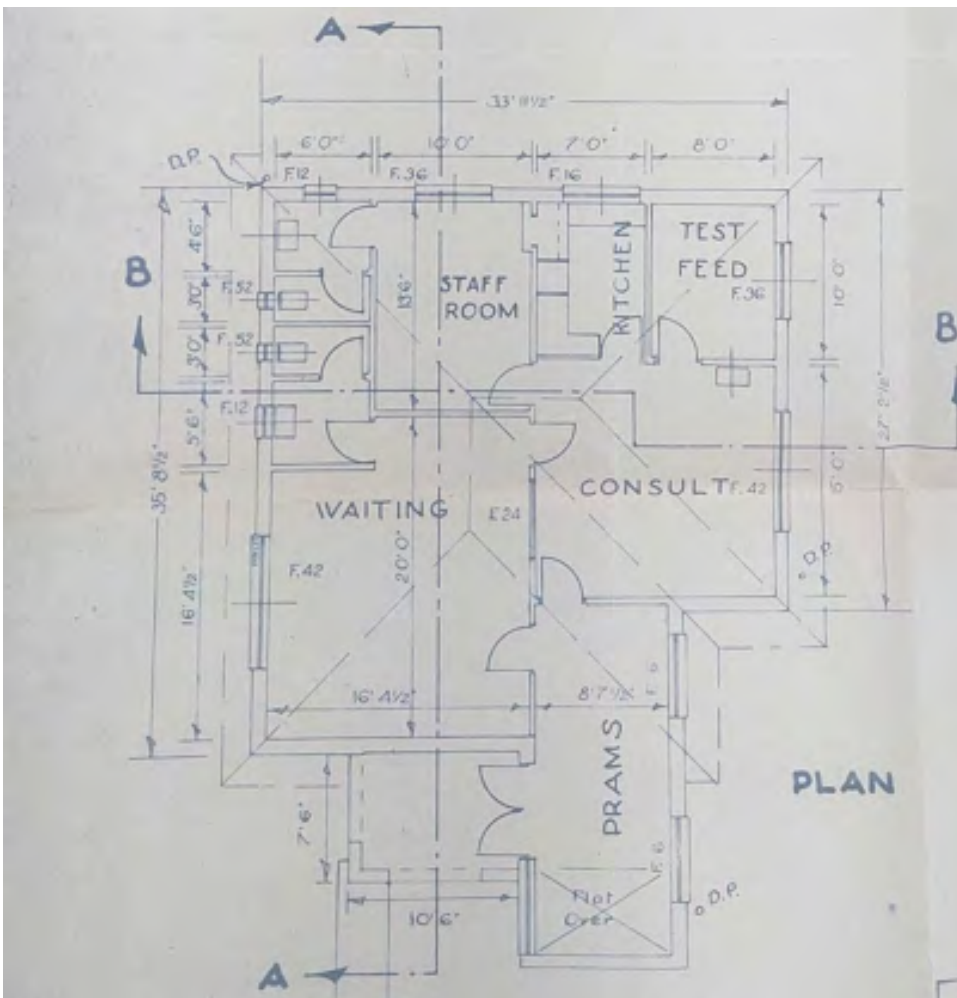


Figure 4. Plan for Baby Health Centre, McKinnon, 1948 (Source: PROV VPRS 7882/P0001, 9489).



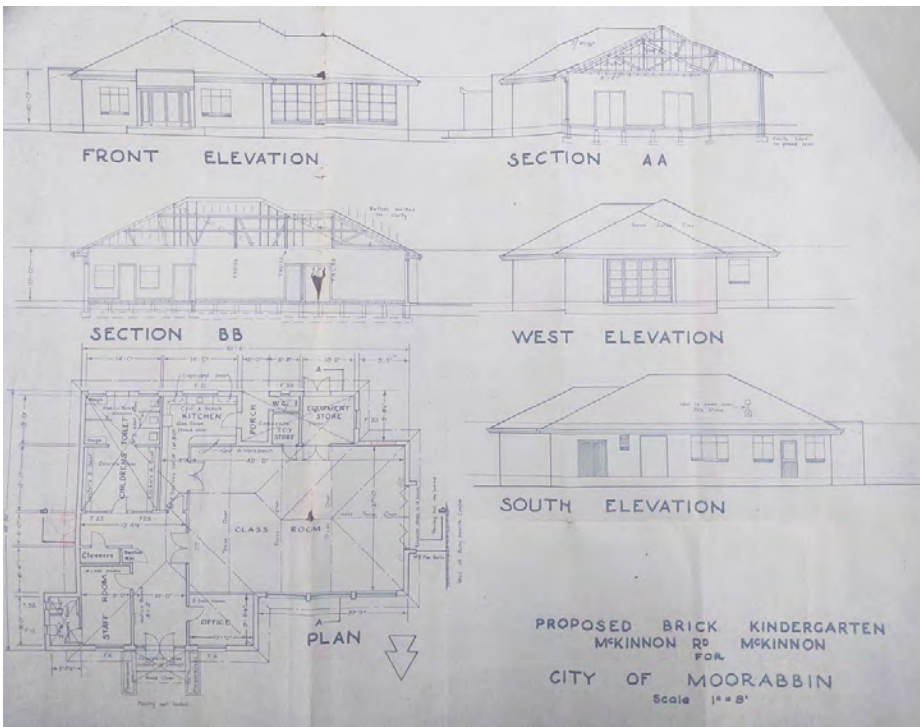


Figure 5. Drawings for Kindergarten, McKinnon, undated. Note: the building appears to have been built with a gable end to the west and east rather than the hipped roof as shown (Source: PROV VPRS 7882/P0001, 9489).

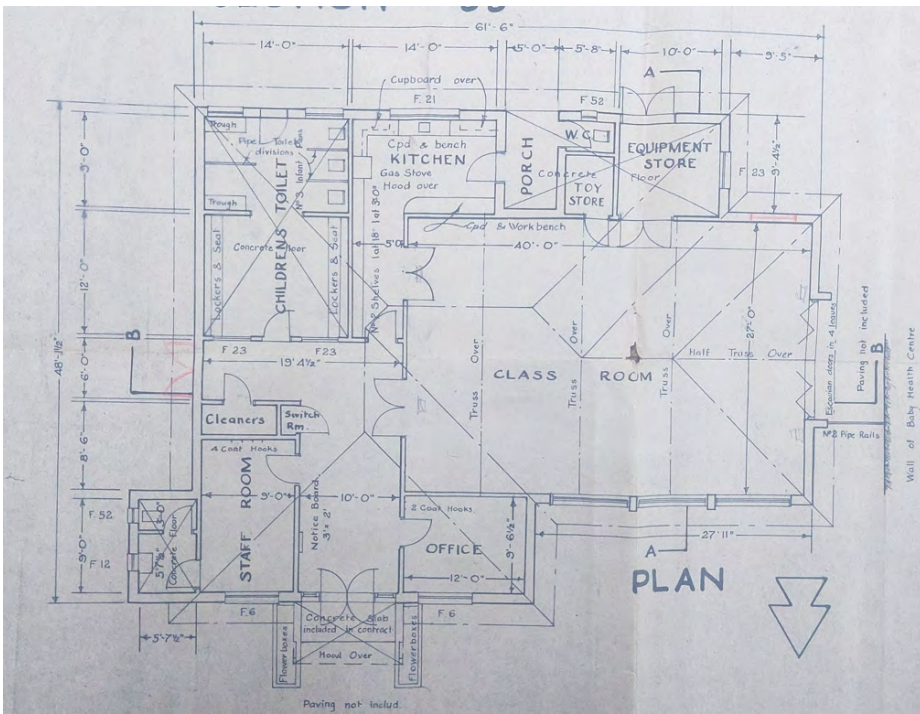


Figure 6. Plan for Kindergarten, McKinnon, undated (Source: PROV VPRS 7882/P0001, 9489).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 8 Building community life
 - 8.2 Educating people
 - 8.3 Providing health and welfare services

Description

186-200 McKinnon Road is located on the south side of McKinnon Road at the corner of Claire Street, in close proximity to the McKinnon Road shopping precinct and McKinnon Railway Station. The Baby Health Centre is located to the west of the site at the corner of Claire Street, and the kindergarten is located immediately to the east.

The Baby Health Centre is a single-storey, domestic-scale, red brick building that is square in plan with a dark tile-clad hipped roof. The main hipped roof building volume is set behind a projecting parapeted flat roofed section to McKinnon Road which provides the main entrance to the building. The flat roofed section is detailed with narrow cream brick highlights, including in recessed contrasting rows across the projecting bay. Wrought iron identification signage above the entrance portico reads 'BABY HEALTH CENTRE'. Steel-framed windows are multi-paned and are generally grouped in three, with opening side casements, fixed central panes and brick sills.

The kindergarten is a larger, but still domestically scaled, single-storey building, also constructed in red brick with dark tile roof cladding. The roof form is more complex than the adjacent Baby Health Centre building with a main L-shaped hip with large gable end to the west and a smaller gable end to the east. Three cast-iron vents with conical caps punctuate the northern pitch of the roof, with a further two on the southern pitch.

The main entrance to the kindergarten is located off-centre to the east of the principal elevation within a projecting porch element. It comprises a later, single glazed door with sidelights flanked by two original full height, steel-framed windows. Steel-framed windows to either side of the entrance porch are multi-paned and grouped in three, with side casements, fixed central panes and brick sills. Three sets of tall triple sash windows dominate the west end of the front elevation and provide northern light to the main kindergarten room. These sets of windows are divided by sloping rendered masonry buttresses. A glazed folding door is recessed into the western gable end below a projecting rendered lintel.

A large playground is located to the east of the kindergarten building.

The boundary fence to the Baby Health Centre is constructed from galvanised metal pipe set in a concrete base, with wire mesh infill. A recessed safety gate has been installed at McKinnon Road. The kindergarten is fenced separately with a metal palisade fence and security gate to McKinnon Road.

Key Features

Baby Health Centre

- Single storey domestic-scale red brick building with parapeted front entrance
- Dark tile-clad hipped roof
- Moderne style asymmetrical front elevation with narrow cream bricks used for contrast and wrought iron identification signage
- Steel-framed multi-paned windows, generally grouped in three.

Kindergarten

- Single-storey domestic-scale red brick building
- Dark tile-clad hipped and gabled roof
- Projecting entrance porch with flanking steel-framed multi-paned windows
- Sets of tall triple sash windows at the west end of the front elevation, divided by sloping rendered masonry buttresses.



Figure 7. Western elevation of Baby Health Centre (Source: GJM Heritage, February 2023).



Figure 8. Northern elevation of Baby Health Centre (Source: GJM Heritage, February 2023).



Figure 9. Kindergarten (Source: GJM Heritage, May 2023).



Figure 10. Kindergarten (Source: GJM Heritage, May 2023).

Intactness/Integrity

The Baby Health Centre and Kindergarten remain substantially intact to their period of construction and retain a high degree of integrity as early postwar community buildings. Changes include an addition and freestanding building to the rear of the kindergarten, construction of a ramp to the front entrance to the kindergarten, insertion of a window into the front elevation of the Baby Health Centre and construction of a brick wall between the two buildings.

Comparative Analysis

A number of Baby Health Centres were constructed in the former Cities of Moorabbin and Caulfield in the twentieth century as the population in the two municipalities grew. Only two of these original free-standing facilities appear to remain in the City of Glen Eira – the Baby Health Centre at McKinnon (1951) and the Baby Health Centre at Glen Huntly (1930, closed 1984).

Baby Health Centre, 1A Oakleigh Road, Glen Huntly, 1930 (Recommended for inclusion in the Heritage Overlay)



Figure 11. 1A Oakleigh Road, Glen Huntly (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Caulfield East and Glen Huntly' 2023)

The Baby Health Centres at McKinnon and Glen Huntly remain highly intact to clearly illustrate this important twentieth century building type and community function. The example at McKinnon is of particular importance for the retention of the adjoining contemporaneous kindergarten, and the continuing operation of this pair of facilities since construction.

A number of public and privately operated kindergartens are located throughout the City of Glen Eira but none are included in the Heritage Overlay of the Glen Eira Planning Scheme. The majority of these kindergartens appear to date from the 1960s through to the 1980s and include:

Bentleigh East Kindergarten, 202 East Boundary Road, Bentleigh East



Figure 12. Bentleigh East Kindergarten (Source: Google Streetview)

Bentleigh Kindergarten, 9 Higgins Road,
Bentleigh



Figure 13. Bentleigh Kindergarten (Source: Google Streetview)

Glover Street Kindergarten, 11 Glover
Street, Bentleigh East



Figure 14. Glover Street Kindergarten (Source: Google Streetview)

Like the above examples, the McKinnon Kindergarten remains in use as community facility offering childcare and early education services.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The McKinnon Baby Health Centre and Kindergarten at 186-220 McKinnon Road, McKinnon has a clear association with the movement to provide health care for parents and babies and early educational opportunities for children throughout Victoria in the twentieth century. In continuous operation since opening in 1951, the two buildings clearly illustrate this important phase in the development of health and early educational services in McKinnon and the City of Glen Eira more broadly.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The McKinnon Baby Health Centre and Kindergarten at 186-220 McKinnon Road, McKinnon are a pair of fine and substantially intact representative examples of mid-twentieth century community buildings designed to provide welfare services to the community. The Baby Health Centre displays typical features of this class of place, including a single-storey, domestically-scaled hipped roof form behind a Moderne style façade with identification signage to the front elevation. The Kindergarten displays typical features of this class of place, including its single-storey, domestic scale and large north-facing windows which enable the penetration of light to the original large kindergarten room.

Criterion G: Strong or special association with a particular community or cultural group for social cultural or spiritual reasons.

The McKinnon Baby Health Centre and Kindergarten at 186-220 McKinnon Road, McKinnon is of social significance for its long and continuing use as a community facility in the City of Glen Eira. Established in 1951, the Baby Health Centre and Kindergarten continue to serve the local McKinnon community as a health and educational facility for the care and education of parents and young children.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 15 below.



Figure 15. Recommended Extent of Heritage Overlay



References

Drawings for Baby Health Centre and Kindergarten, McKinnon, PROV VPRS 7882/P0001, 9489.

The Age.

The Argus.

The Herald.

Victorian Heritage Database.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

MCKINNON BABY HEALTH CENTRE & KINDERGARTEN – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: McKinnon Baby Health Centre & Kindergarten, 186-200 McKinnon Road, McKinnon

PS ref no.: TBC



Figure 1. 186 McKinnon Road, McKinnon (GJM Heritage, May 2023).

What is significant?

The McKinnon Baby Health Centre & Kindergarten at 186-200 McKinnon Road, McKinnon, constructed in 1951.

Elements that contribute to the significance of the place include:

Baby Health Centre

- Single storey domestic-scale red brick building with parapeted front entrance
- Dark tile-clad hipped roof
- Moderne style asymmetrical front elevation with narrow cream bricks used for contrast and wrought iron identification signage
- Steel-framed multi-paned windows, generally grouped in three.

Kindergarten

- Single-storey domestic-scale red brick building

- Dark tile-clad hipped and gabled roof
- Projecting entrance porch with flanking steel-framed multi-paned windows
- Sets of tall triple sash windows at the west end of the front elevation, divided by sloping rendered masonry buttresses.

Later alterations and additions, including the flat-roofed addition to the rear of the Kindergarten, the flat roofed building at the rear of the Baby Health Centre and the Kindergarten, the concrete ramp to the main entrance of the Kindergarten and the red brick wall between Baby Health Centre and the Kindergarten are not significant.

How is it significant?

The McKinnon Baby Health Centre & Kindergarten at 186-200 McKinnon Road, McKinnon is of local historical, representative (architectural) and social significance to the City of Glen Eira.

Why is it significant?

The McKinnon Baby Health Centre and Kindergarten at 186-220 McKinnon Road, McKinnon has a clear association with the movement to provide health care for parents and babies and early educational opportunities for children throughout Victoria in the twentieth century. In continuous operation since opening in 1951, the two buildings clearly illustrate this important phase in the development of health and early educational services in McKinnon and the City of Glen Eira more broadly (Criterion A).

The McKinnon Baby Health Centre and Kindergarten at 186-220 McKinnon Road, McKinnon are a pair of fine and substantially intact representative examples of mid-twentieth century community buildings designed to provide welfare services to the community. The Baby Health Centre displays typical features of this class of place, including a single-storey, domestically-scaled hipped roof form behind a Moderne style façade with identification signage to the front elevation. The Kindergarten displays typical features of this class of place, including its similar single-storey, domestic scale and large north-facing windows which enable the penetration of light to the original large kindergarten room (Criterion D).

The McKinnon Baby Health Centre and Kindergarten at 186-220 McKinnon Road, McKinnon is of social significance for its long and continuing use as a community facility in the City of Glen Eira. Established in 1951, the Baby Health Centre and Kindergarten continue to serve the local McKinnon community as a health and educational facility for the care and education of parents and young children (Criterion G).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

'KARDELLA' - 330 MCKINNON ROAD, MCKINNON



Figure 1. 330 McKinnon Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Now known
Construction Date: 1909-1914	Builder: Larman family
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

The Larman family purchased a number of lots in the Estate in the early 1900s. In August 1908, Annie Maria Jane Larman (nee Callow), 'of Manchester Road East Brighton', purchased Lot 37 (current no. 330 McKinnon Road) on the south-west corner of Manchester Road (now part of McKinnon Road) and Osborne Avenue (LV: V2195/F848). In 1909, 'Mrs A J M Larman' was rated as the owner of Lots 37, 38 and 39 on Manchester Road, which remained land at that time. At this date Larman was also rated for a brick house on Lot 36 (current no. 35) Osborne Avenue, which was tenanted (RB).

Newspaper notices published in March and October 1914 address the Larmans to 'Kardella' on Manchester Road, Benteigh. The 1915 rate books confirm that Larman was rated as the owner and occupant of an eight-roomed weatherboard house on Lot 37 (RB). This indicates that the house at the subject site was built between 1909 and early 1914, probably by the Larman family, many of whom were builders and carpenters.

Following Annie Larman's death in 1925, 330 McKinnon Road was passed to Joseph and Wallace Larman, both builders living on Manchester Road, Benteigh (LV: V2195/F848). Annie Larman's probate files identified her assets, which included the subject site 'Kardella', a '7 roomed Queen Anne Weatherboard villa' with conveniences and sheds, addressed to Manchester Road, Benteigh.

A plan dated 1930 (Figure 3) shows an early footprint of the house, and outbuildings on the west boundary and south boundary (since removed).

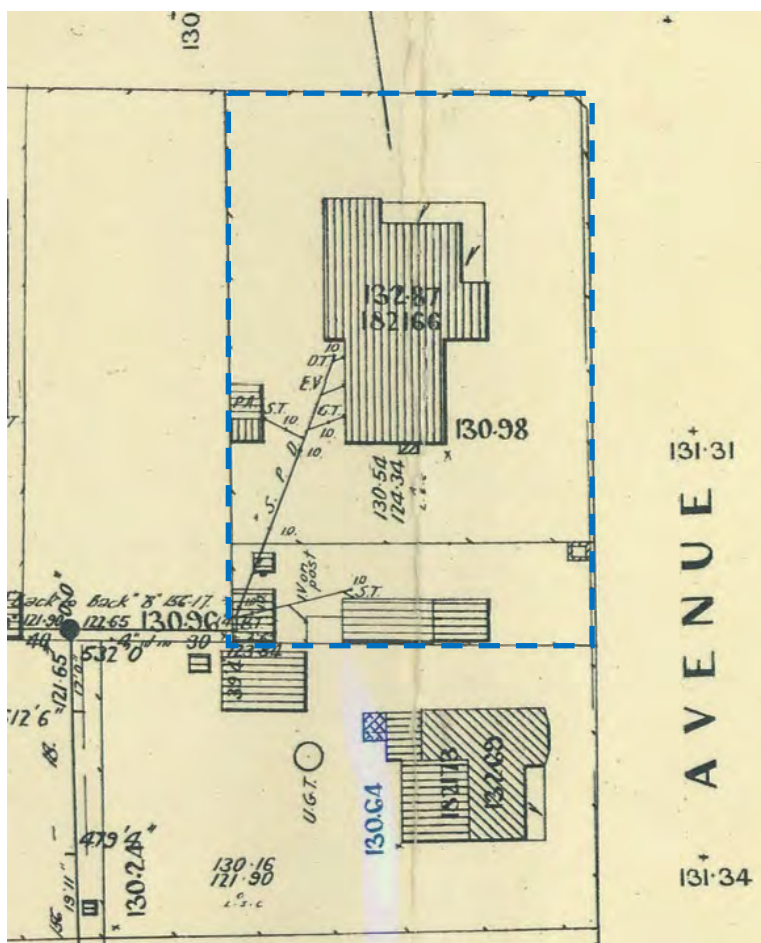


Figure 3. 1930 plan of the subject site, with a footprint of the early house and outbuildings (Source: MMBW DP 3211, dated 1930)

In 1959, the western end of the property measuring 12'3" (3.7m) wide, was subdivided off (LV: V2195/F848, V9361/F674).

A large single-storey addition was constructed off the rear (south elevation) of the house c1985. At this date, a bungalow and garage existed to the south of the house (PP).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

330 McKinnon Road is located on the south side of the McKinnon Road, on the west corner of Osborne Avenue. The property is opposite McKinnon Secondary College. The rectangular site is accessed via a driveway off Osborne Avenue, at the rear of the lot. The house is setback from front boundary behind a small garden.

The single-storey timber house has a gabled-hip roof clad in corrugated sheet metal, with gablets facing east and west. A red brick chimney located on the east side of the roof has a cream-brick band and two terracotta pots. The house is asymmetrical in form with two projecting gabled bays presenting to the two street frontages. The jettied gable ends of the projecting bays are infilled with notched weatherboards and are supported by large timber brackets that alternate with diamond motifs. A string mould repeats below the brackets and at window sill height. A group of three timber framed casement windows are located on the northern gabled bay (with recent roller shutters; the windows on the eastern bay are not visible from the street). Bands of notched weatherboards repeat at mid-window height and at the bottom third of the walls. A verandah extends along the north elevation and returns on the east elevation, running between the two gabled bays. The verandah roof has a skillion profile and is clad in corrugated sheet metal. It is supported on turned timber posts with a large arched timber valance. The main entrance to the house is located on the north elevation, adjacent to a window (fitted with later roller shutters).

A single-storey flat-roofed addition is located off the rear (south) elevation. Two outbuildings are located south of the house. A metal fence extends across the north and east boundaries, with a corner pedestrian gate. Mature vegetation allows for limited views of the house from the street.

Key Features

- Single-storey timber house, typical of modest houses of the late Federation period
- Corrugated metal-clad gabled-hip roof form
- Red brick chimney with vertical corbelling and cream brick banding
- Asymmetrical elevations to both street frontages with prominent projecting gable bays
- Return verandah with turned timber posts and arched valance
- Decorative timberwork including notched weatherboarding, moulded diamond motifs and large brackets to main projecting gable end.



Figure 4. Aerial photograph of the subject site, February 2023 (Source: Nearmap).



Figure 5. View from Osborne Avenue to the east (Source: GJM Heritage, December 2023).

Intactness/Integrity

The house at 330 McKinnon Road, McKinnon remains highly intact to its period of construction. Despite a large single-storey flat-roofed addition made to the rear of the original house, the place retains a high degree of integrity.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. Growth of these suburbs was greatly impacted by the 1890s depression and it wasn't until around the 1910s that land sales and residential development resumed in McKinnon and the surrounding area. In the 1910s a number of houses were constructed on undeveloped land in speculative subdivisions of the 1880s, but development remained slow relative to the northern part of the current City of Glen Eira.



No comparable examples in the southern part of the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme. A number of places further north that are included in the Heritage Overlay and which are comparable to 330 McKinnon Road include:

24 Elliott Avenue, Carnegie (HO172), 1913-1914



Figure 6. 24 Elliott Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

122 Grange Road, Carnegie (HO113)



Figure 7. 122 Grange Road, Carnegie (Source: Google Streetview, 2022)

Houses in Carnegie Residential Precinct (HO178)



Figure 8. Houses, Munster Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

Like the house at 330 McKinnon Road, McKinnon these houses were constructed in the City of Glen Eira in the early twentieth century. Constructed of timber, these houses exhibit a range of representative characteristics of modest housing of the late Federation period, including single-storey hipped roof forms (commonly gabled-hip forms) clad in corrugated metal, prominent red brick chimneys, prominent gable ends forming asymmetrical front elevations, decorative detailing to front gable ends, decorative front verandahs, and notched weatherboarding. Like the above

examples, 330 McKinnon Road, McKinnon retains a high degree of integrity to its period of construction and remains highly intact to demonstrate a range of the characteristics of a modest house from the late Federation period.

Unlike the above examples, 330 McKinnon Road, McKinnon is one of only a small number of substantially intact late Federation houses remaining in the southern part of the City of Glen Eira to demonstrate this early phase of historical development as the area transitioned from agricultural to residential.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Kardella' at 330 McKinnon Road, McKinnon has strong associations with the development of McKinnon in the first part of the twentieth century when undeveloped land from late nineteenth century subdivisions began to be tentatively developed following the hiatus caused by the 1890s Depression. Constructed on land that formed part of the 1880s 'East Brighton Park' subdivision, 'Kardella' at 330 McKinnon Road is one of a small number of highly intact places remaining in the suburb to demonstrate this phase of development. 'Kardella' clearly illustrates this early phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

'Kardella' at 330 McKinnon Road, McKinnon is an elaborately detailed and highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, gabled-hip roof with prominent gabled bays forming asymmetrical elevations to both street frontages, red brick chimney with vertical corbelling and cream brick banding, return corner verandah with turned timber posts and arched valence, and decorative timberwork including notched weatherboarding, moulded diamond motifs and large brackets supporting the projecting gable ends.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 9 below.



Figure 9. Recommended Extent of Heritage Overlay (to property boundaries)

References

Australian Birth Index, Reg No. 15610.

Australian Electoral Rolls.

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Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 3211, dated 1930.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Permit plans (PP) provided by Glen Eira City Council.

Probate files, 'Annie M J Larman', Public Records Office Victoria (PROV), VPRS 28/P0003, 202/938.

Rate Books (RB), Shire of Moorabbin, North Riding: 1909-10, entries 650-651; 1915-16, entry 767.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

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Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

'KARDELLA'– STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 'Kardella', 330 McKinnon Road, McKinnon	PS ref no.: TBC
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Figure 1. 330 McKinnon Road, McKinnon (GJM Heritage, December 2022).

What is significant?

'Kardella' at 330 McKinnon Road, McKinnon, a late Federation residence constructed between 1909 and 1914.

Elements that contribute to the significance of the place include:

- Single-storey timber house, typical of modest houses of the late Federation period
- Corrugated metal-clad gabled-hip roof form
- Red brick chimney with vertical corbelling and cream brick banding
- Asymmetrical elevations to both street frontages with prominent projecting gable bays
- Return verandah with turned timber posts and arched valance

- Decorative timberwork including notched weatherboarding, moulded diamond motifs and large brackets to main projecting gable end.

Later alterations and additions, including the single-storey addition to the south, outbuildings and fencing to both street frontages are not contributory.

How is it significant?

'Kardella' at 330 McKinnon Road, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

'Kardella' at 330 McKinnon Road, McKinnon has strong associations with the development of McKinnon in the first part of the twentieth century when undeveloped land from late nineteenth century subdivisions began to be tentatively developed following the hiatus caused by the 1890s Depression. Constructed on land that formed part of the 1880s 'East Brighton Park' subdivision, 'Kardella' at 330 McKinnon Road is one of a small number of highly intact places remaining in the suburb to demonstrate this phase of development. 'Kardella' clearly illustrates this early phase of development in the southern part of the City of Glen Eira (Criterion A).

'Kardella' at 330 McKinnon Road, McKinnon is an elaborately detailed and highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, gabled-hip roof with prominent gabled bays forming asymmetrical elevations to both street frontages, red brick chimney with vertical corbelling and cream brick banding, return corner verandah with turned timber posts and arched valence, and decorative timberwork including notched weatherboarding, moulded diamond motifs and large brackets supporting the projecting gable ends (Criterion D).

Primary sources:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

'SAMOHT' - 36 MURRAY ROAD, MCKINNON



Figure 1. 36 Murray Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: c1911	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

In 1892, Thomas Brentnall, a Melbourne accountant, Lloyd Tayler, a Melbourne architect, and John Gray, were the owners of approximately 17 acres (6.9 hectares) bound by McKinnon Road to the south, Thomas Street to the west and Murray Road to the north. This land was purchased by William Henry Thomas from Malvern in March 1896 (LV: V2444/F648). In 1904, William H Thomas was rated for the land, addressed to Thomas and McKinnon roads, which remained vacant at that time (RB).

Joshua William Thomas, a market gardener in Moorabbin, acquired the holdings in June 1908. Thomas was first listed in the Sands & McDougall Directories as an occupant on the south side of Murray Road (then called Brighton) in 1911. The 1915 municipal rate books confirm that Thomas 'of Murray Road, Brighton East' was rated as the owner and occupant of approximately 17 acres with a seven-roomed weatherboard house, addressed to Murray Road, Thomas Street and McKinnon Road (RB). This suggests that the house at 36 Murray Road was built c1911 for Thomas on his large property, which served as market gardens.

The rendered brick fence to the front boundary was likely constructed in the Interwar-period.

Following Joshua W Thomas's death in November 1918, the property passed to his widow Mary Ann Thomas of 'Samoht' on Murray Road (then called Brighton North) (LV: V2444/F648; *Brighton Southern Cross*, 7 Dec 1918, p 3). Thomas's probate files addressed him to 'Samoht' at the time of his death. Amongst his holdings was the 17 acres on Murray Road, Brighton, described with a '5 roomed weatherboard cottage with stables and outhouses'. It is noted that the name 'Samoht' is 'Thomas' backwards.

The property and surrounding area was subdivided into suburban residential allotments in the early-1920s (Ward 1996: Vol 1, 46). In 1923, the Murray Road property was sold to Maurice E Coppel, land salesman, who subdivided the land into residential allotments and on-sold them from December 1923. Lot 35 (current 36 Murray Road) was purchased by Cyril Thomas Brown, Brighton carrier, in June 1926 (LV: V2444/F648; V5132/F398).

A 1928 plan shows the property with a footprint of the early house and an outbuilding (Figure 2). An aerial photo dated 1931 (Figure 3) shows the area undergoing development, surrounding the house at the subject site. A 1945 aerial photo (Figure 4) shows the house at the subject site in more detail.

Following Brown's death in May 1938, the property transferred to his widow Margaret H Brown. The property had a number of subsequent owners (LV: V5132/F398).

A two-storey addition was constructed to the rear (south) of the house in the early 1990s. As part of the works, a new bay window was added on the west elevation (PP).

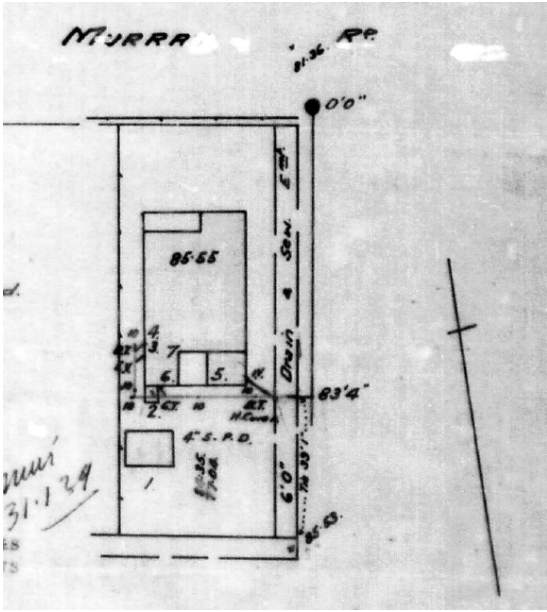


Figure 2. Plan of the property with footprint of the house and outbuilding, 1928 (Source: MMBW Plan of Drainage No. 165960.



Figure 3. A 1931 aerial photo showing the area bound by McKinnon Road, Thomas Street and Murray Road, subdivided in the 1920s. The subject site is indicated by the green arrow (Landata Victoria).



Figure 4. The subject site in 1945 (indicated by the green arrow) (Landata Victoria).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

4.0 Transforming and managing land and natural resources

4.4 Farming

6.0 Building towns, cities and the garden state

6.7 Making homes for Victorians.

Description

'Samoh't' at 36 Murray Street is located on the south side of Murray Street in McKinnon's west. The rectangular site is accessed via a driveway at the east end of the street boundary. The house is setback from the front boundary behind a small garden and lawn.

The single-storey timber house has a gabled-hip roof clad in corrugated sheet metal. Two tall, red brick corbelled chimneys are prominent from the street. It is asymmetrical in form, with a projecting gabled bay at the east end of the principal elevation. The projecting gabled bay has a box window with casement windows and a hipped hood clad in slate. The main roofline continues to form the verandah roof, which is supported on turned timber posts with a decorative timber frieze. Masonry steps provide access to the verandah. It is understood the verandah floor is finished with tessellated tiles. The timber front door has a toplight and sidelights. A pair of timber framed casement windows are located under the verandah.

A two-storey addition is located off the rear (south) elevation. A low, rendered masonry garden fence with a top rail (overpainted) extends along the front boundary. A mature jacarandah tree is located in the front yard.

Key Features

- Single-storey timber house, typical of modest houses from the late Federation period
- Corrugated metal-clad gabled-hip roof form with integrated verandah roof
- Pair of prominent, corbelled red brick chimneys
- Asymmetrical front elevation with prominent projecting gabled bay
- Hooded box window
- Front verandah with turned timber posts and decorative fretwork
- Main entrance with toplights and sidelights.



Figure 5. Aerial photo of the subject site, February 2023 (Source: Nearmap).



Figure 6. The north and east elevations (GJM Heritage, December 2022).

Intactness/Integrity

The house at 36 Murray Road, McKinnon remains highly intact to its period of construction. The large addition made to the rear of the original house is substantially concealed from the street and the place retains a high degree of integrity as a modest, late Federation residence.

Comparative Analysis

Market gardening

Large areas of the southern part of what is now the City of Glen Eira were occupied by market gardens from the mid-nineteenth century and into the twentieth century. A small number of former market gardener's residences are included in the Heritage Overlay of the Glen Eira Planning Scheme to illustrate this important phase of development in the municipality. They include:

Cumbernauld, 504 Hawthorn Road, Caulfield South (HO31), 1886 – Market gardener's residence from 1870s to late 1910s



Figure 7. 504 Hawthorn Road, Caulfield South (Source: VHD)

House, 22 Brady Road, Bentleigh East (HO97), 1889 – Market gardener’s residence from 1889 into the twentieth century



Figure 8. 22 Brady Road, Bentleigh East (Source: VHD)

St Elmo, 133 Tucker Road, Bentleigh (HO215), 1889 – Market gardener’s residence from 1889 to the 1950s



Figure 9. 133 Tucker Road, Bentleigh (Source: Built Heritage , ‘City of Glen Eira Heritage Review’, 2020)

Glen Eira, 118 Jasper Road, Bentleigh (HO119), c1926 – Associated with the Marriott family, long-established market gardeners in the district from 1878 and into the twentieth century.



Figure 10. 118 Jasper Road, Bentleigh (Source: VHD)

The above houses were constructed at different times and subsequently adopt a range of architectural styles; however, like the house at 36 Murray Road, McKinnon, these houses have strong associations with the once-dominant market gardening land use in the southern suburbs of the City of Glen Eira and remain highly intact to demonstrate this important phase in the historical development of the municipality.

Architectural style

The southern part of what is now the City of Glen Eira developed later than the northern extent of the municipality. Development in this area was greatly impacted by the 1890s depression and it wasn’t until around the 1910s that land sales and residential development resumed in McKinnon and the surrounding area; however, development remained slow relative to the northern part of the current municipality.

No examples in the southern part of the municipality that are comparable to 36 Murray Road, McKinnon are included in the Heritage Overlay of the Glen Eira Planning Scheme. A number of places further north that are included in the Heritage Overlay and which are comparable to 36 Murray Road include:

24 Elliott Avenue, Carnegie (HO172), 1913-1914



Figure 11. 24 Elliott Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

122 Grange Road, Carnegie (HO113)



Figure 12. 122 Grange Road, Carnegie (Source: Google Streetview, 2022)

Houses in Carnegie Residential Precinct (HO178)



Figure 13. Houses, Munster Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

Like the house at 36 Murray Road, McKinnon these houses were constructed in the City of Glen Eira in the early twentieth century. Constructed of timber, these houses exhibit a range of representative characteristics of modest housing of the late Federation period, including single-storey hipped roof forms (commonly gabled-hip forms) clad in corrugated metal, prominent red brick chimneys, prominent gable ends forming asymmetrical front elevations, decorative front verandahs, and bay windows with window hoods. Like the above examples, 36 Murray Road, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of a modest house from the late Federation period.

Unlike the above examples, 36 Murray Road, McKinnon is one of only a small number of substantially intact late Federation houses remaining in the southern part of the City of Glen Eira to demonstrate this early phase of historical development as the area transitioned from agricultural to residential.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

‘Samoht’ at 36 Murray Road, McKinnon has strong associations with the early use of the land in the southern part of the municipality for market gardening and the continuation of market gardening as a dominant land use into the early twentieth century. Built on what originally was a 17 acre market garden allotment for Joshua Thomas in 1911, ‘Samoht’ is one of a small number of market garden residences that remain highly intact to illustrate this once-dominant land use and its importance to the development of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Samoht’ at 36 Murray Road, McKinnon is a highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, gabled-hip roof with a pair of prominent red brick corbelled chimneys, prominent front gabled bay forming an asymmetrical front elevation, hooded box window, and verandah integrated into the main roof form with turned timber posts and decorative fretwork.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 14 below.



Figure 14. Recommended Extent of Heritage Overlay (to property boundaries)

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

Brighton Southern Cross [Vic].

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh]*, 2020.

Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

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Certificates of Title, as cited.

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Rate Books (RB), Moorabbin Shire, North Riding: 1904-05, entry 774; 1915-16, entry 355.

Sands & McDougall (S&Mc) Directories.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

'SAMOHT' -STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 'Samoh't', 36 Murray Road, McKinnon

PS ref no.: TBC



Figure 1. 36 Murray Road, McKinnon (GJM Heritage, December 2022).

What is significant?

'Samoh't' at 36 Murray Road, McKinnon, a late Federation residence constructed c1911.

Elements that contribute to the significance of the place include:

- Single-storey timber house, typical of modest houses from the late Federation period
- Corrugated metal-clad gabled-hip roof form with integrated verandah roof
- Pair of prominent, corbelled red brick chimneys
- Asymmetrical front elevation with prominent projecting gabled bay
- Hooded box window
- Front verandah with turned timber posts and decorative fretwork
- Main entrance with toplights and sidelights.

Later alterations and additions, including the double-storey addition to the rear and front fence are not contributory.

How is it significant?

'Samoht' at 36 Murray Road, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

'Samoht' at 36 Murray Road, McKinnon has strong associations with the early use of the land in the southern part of the municipality for market gardening and the continuation of market gardening as a dominant land use into the early twentieth century. Built on what originally was a 17 acre market garden allotment for Joshua Thomas in 1911, 'Samoht' is one of a small number of market garden residences that remain highly intact to illustrate this once-dominant land use and its importance to the development of the City of Glen Eira (Criterion A).

'Samoht' at 36 Murray Road, McKinnon is a highly intact representative example of a modest house from the late Federation period. It displays typical characteristics of the period including timber construction, gabled-hip roof with a pair of prominent red brick corbelled chimneys, prominent front gabled bay forming an asymmetrical front elevation, hooded box window, and verandah integrated into the main roof form with turned timber posts and decorative fretwork (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

3 NORMAN STREET, MCKINNON



Figure 1. 3 Norman Street, McKinnon (GJM Heritage, February 2023).

DATE: May 2023

Place Type: Residential	Architect/Designer: Alan E Crow (owner)
Construction Date: 1945-46	Builder: Edward J Watts
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area east of Thomas Street was first subdivided into suburban residential allotments in the early 1920s (Ward 1996: Vol 1, 46).

A 1945 aerial photograph (Figure 2) appears to show the house at the subject site under construction. A plan of the subject site dated September 1946 (Figure 3) shows a footprint of the house and identifies the owner as A E Crow and the agent as E J Watts of Burwood. This indicates that the house at the subject site was constructed in 1945-46. Alan E Crow was recorded as a draftsman in 1949 (Electoral Rolls) and it is therefore likely that he designed his own house. Edward John Watts of Burwood was a builder, active from at least the late 1930s to the 1950s (*Argus*, 15 Jul 1944: 2; 2 Oct 1939:12; *Age*, 23 Sep 1955:20). Research has not been able to confirm the details of his career or work.

The brick fence to the front boundary appears to date to the same period as the house.



Figure 2. 1945 aerial photograph which appears to show the house at the subject site under construction (Source: Landata Victoria).

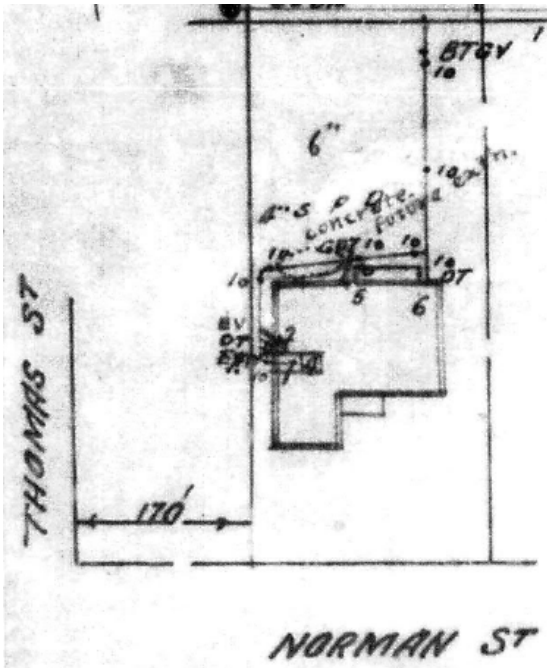


Figure 3. Footprint of the house, dated 1946, annotated with sewerage works (Source: Plan of Drainage No. 231800).



Figure 4. 1960 oblique aerial photograph of the subject site, indicated by the green arrow (SLV, Image H2010.91/253).

Alan Crow occupied 3 Norman Street (then within Bentleigh) until at least the mid-1970s (S&Mc).

A gable-roofed addition was constructed off the rear (north) elevation of the house, and outbuildings were constructed along the east boundary (dates not known).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

3 Norman Street is located on the north side of Norman Street, off Thomas Street in McKinnon's west. The site is rectangular and the house is setback from the front boundary behind a garden and lawn.

Designed in the English Domestic Revival style, the single-storey clinker brick house has a steeply pitched, cement tile-clad, gable roof that runs parallel with the street frontage. The house is asymmetrical in form with stepped gabled bays projecting from the western end of the principal elevation. The gable ends to the east and west have a decorative half-timbered effect with rendered infill. A prominent clinker brick chimney, with a pair of tall, offset square stacks adorned with terracotta pots, rises from the eastern end of the principal (south) elevation. The prominent gable ends also have a decorative half-timbered effect with rendered infill. The catslide roofline of the first projecting bay extends to create a central entrance porch with arched opening. A lamp is attached to the adjacent wall, and a second is fixed to a lamppost in the front garden. Windows are timber-framed, one-over-one sash windows with diamond-pattern leadlight to the upper sashes. The windows to the front gabled bay are flanked with timber shutters.

A later gabled-roof wing extends from the rear (north) elevation. A concrete driveway extends down the east boundary to a carport and outbuilding to the rear of the house. A low clinker brick fence extends across the front boundary and provides an entrance with wrought iron gates to the driveway.

Key Features

- Single-storey house in the English Domestic Revival style
- Clinker brick construction
- Prominent, steeply pitched, cement tile-clad gable-ended roof forms
- Asymmetrical front elevation with stepped gabled bays to the west end of the front elevation and a tall prominent chimney to the west end
- Decorative half-timbering effect to gable ends with rendered infill
- Recessed front entry porch with arched opening, formed by the extension of the projecting gable end with catslide roof
- Wall and garden lamp
- Timber-framed sash windows with diamond-patterned leadlight to the upper sashes and timber shutters
- Low clinker brick front fence with wrought iron gates.



Figure 5. Aerial photograph of the subject site, April 2023 (Source: Nearmap).



Figure 6. Chimney detail (GJM Heritage, February 2023)

Intactness/Integrity

The house at 3 Norman Street, McKinnon remains highly intact to its period of construction. Despite a modest addition and the construction of outbuildings to the rear (all substantially concealed from the street frontage), the place retains a high degree of integrity as an English Domestic Revival style house.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. The suburbs of Caulfield, Elsternwick, Glen Huntly and Carnegie experienced their substantial residential development in pre-war years, although some larger properties were subdivided in the interwar period, providing opportunities for further development. In contrast, it was the interwar through to the early postwar period that saw the greatest residential growth in the southern suburbs. At this time, large numbers of houses were constructed on land previously under agricultural production. The Interwar Bungalow was the

dominant house type, as represented in the Field Street Precinct, Bentleigh (HO188) and large numbers of these remain throughout the southern suburbs in varying states of intactness. A smaller number of residences adopted other interwar architectural styles, including the English Domestic Revival style displayed at 3 Norman Street, McKinnon.

A number of similarly styled houses are located throughout the City of Glen Eira and a small number of these are included, or have been recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme. Those that are comparable to 3 Norman Street, McKinnon include:

Duplex, 21-23 Nepean Highway, Elsternwick
(HO191)



Figure 7. 21-23 Nepean Highway, Elsternwick (Source: Google Streetview, 2022)

Moore Residence, 200 Centre Road, Bentleigh
(HO167)



Figure 8. 200 Centre Road, Bentleigh (Source: RBA Architects & Conservation Consultants, 'Glen Eira Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

8 Rothschild Street, Glen Huntly in 'Glen Huntly
Tudor-Moderne Precinct' (recommended for the
HO)



Figure 9. 8 Rothschild Street, Glen Huntly (Source: Google Streetview, 2018)

15 Rothschild Street, Glen Huntly in 'Glen Huntly Tudor-Moderne Precinct' (recommended for the HO)



Figure 10. 15 Rothschild Street, Glen Huntly (Source: Google Streetview, 2018)

Like the house at 3 Norman Street, McKinnon the above houses were constructed in the English Domestic Revival style. Constructed of clinker brick with tiled roofs, these houses exhibit a range of representative characteristics of housing built in this style, including asymmetrical forms and front elevations, steeply pitched roof forms, prominent gable ends, and tall chimneys, recessed front entry porches, timber-framed windows, low brick fences and decorative wrought iron detailing including gates. Like the above examples, 3 Norman Street, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the English Domestic Revival style.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 3 Norman Street, McKinnon has strong associations with the extensive interwar and early postwar development phase of the suburb of McKinnon, when the suburb was transformed from a predominantly agricultural one to an almost exclusively residential one by the 1950s. This period of development transformed the built environment and social character of the area. The house at 3 Norman Street, McKinnon demonstrates this phase of development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 3 Norman Street, McKinnon is a fine and highly intact representative example of an English Domestic Revival style house. It displays typical characteristics of this style, including steeply pitched roof forms, clinker brick construction, asymmetrical form with stepped gabled bays to the principal elevation, tall prominent chimney, decorative half-timbering effect to gable ends, recessed front entry porch within projecting gable end, diamond-patterned leadlight to timber-framed windows, and low clinker brick front fence with wrought iron gates.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The house at 3 Norman Street, McKinnon is a well-considered and finely executed example of an English Domestic Revival style house designed by Alan E Crow as his own residence. The careful detailing, including the catslide roof incorporating an arched recessed entry, the prominent chimney with two tall offset square stacks, the diamond-patterned leadlight to windows, and the matching front clinker brick fence presents a picturesque composition of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	Yes – front brick fence
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 11 below.



Figure 11. Recommended Extent of Heritage Overlay (to property boundaries)

References

Australian Electoral Rolls, 1949.

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

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Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

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The Argus.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

HOUSE, 3 NORMAN STREET, MCKINNON – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 3 Norman Street, McKinnon

PS ref no.: TBC



Figure 1. 3 Norman Street, McKinnon (GJM Heritage, February 2023).

What is significant?

The house at 3 Norman Street, McKinnon, an English Domestic Revival style house constructed in 1945-46.

Elements that contribute to the significance of the place include (but are not limited to):

- Single-storey house in the English Domestic Revival style
- Clinker brick construction
- Prominent, steeply pitched, cement tile-clad gable-ended roof forms
- Asymmetrical front elevation with stepped gabled bays to the west end of the front elevation and a tall prominent chimney to the west end
- Decorative half-timbering effect to gable ends with rendered infill
- Recessed front entry porch with arched opening, formed by the extension of the projecting gable end with catslide roof
- Wall and garden lamp
- Timber-framed sash windows with diamond-patterned leadlight to the upper sashes and timber shutters
- Low clinker brick front fence with wrought iron gates.

Later alterations and additions, including the rear extension and outbuildings, are not contributory.

How is it significant?

The house at 3 Norman Street, McKinnon is of local historical, representative (architectural) and aesthetic significance to the City of Glen Eira.

Why is it significant?

The house at 3 Norman Street, McKinnon has strong associations with the extensive interwar and early postwar development phase of the suburb of McKinnon, when the suburb was transformed from a predominantly agricultural one to an almost exclusively residential one by the 1950s. This period of development transformed the built environment and social character of the area. The house at 3 Norman Street, McKinnon demonstrates this phase of development in the southern part of the City of Glen Eira (Criterion A).

The house at 3 Norman Street, McKinnon is a fine and highly intact representative example of an English Domestic Revival style house. It displays typical characteristics of this style, including steeply pitched roof forms, clinker brick construction, asymmetrical form with stepped gabled bays to the principal elevation, tall prominent chimney, decorative half-timbering effect to gable ends, recessed front entry porch within projecting gable end, diamond-patterned leadlight to timber-framed windows, and low clinker brick front fence with wrought iron gates (Criterion D).

The house at 3 Norman Street, McKinnon is a well-considered and finely executed example of an English Domestic Revival style house designed by Alan E Crow as his own residence. The careful detailing, including the catslide roof incorporating an arched recessed entry, the prominent chimney with two tall offset square stacks, the diamond-patterned leadlight to windows, and the matching front clinker brick fence presents a picturesque composition of this architectural style (Criterion E)

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

HERITAGE CITATION

40 WHEATLEY ROAD, MCKINNON



Figure 1. 40 Wheatley Road, McKinnon (GJM Heritage, March 2023).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1892	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area south-west of McKinnon Road and Nicholson Street was subdivided into suburban residential allotments in the late-1880s (Ward 1996: Vol 1, 46). Patrick Callaghan Junior, Fitzroy estate agent, subdivided just over 34 acres, bound by McKinnon Road, Nicholson Street, Fitzroy Street and Elizabeth Street (now Wheatley Road), establishing 'McKinnon Estate' in Brighton East (Figure 2). Residential lots were on-sold from 1890, through to the interwar period (LV: V2298/F569).

Figure 2. Auction notice for Callaghan's 'McKinnon Estate', c1880s, then located within Brighton East (Source: SLV, Filename cd000863).

William Henry Roberts, carpenter of Wheatley Road, McKinnon, officially purchased Lot 65 on Wheatley Road from Callaghan in July 1899 (LV: V2733/F560). However, it was prior to this in 1893 that William H Roberts, laborer, was first rated for Lot 65 of McKinnon Estate, which comprised a house (assessed January 1893) (RB). This indicates that

the house at the subject site was constructed in 1892, likely by Roberts as his own residence. In 1894, Roberts was rated as the owner and occupant of Lot 65 which was further described with a weatherboard house (RB).

In December 1909 Elizabeth Roberts purchased Lots 64 and 66 immediately to the north and south of the subject site, and Lots 62 and 63, immediately east fronting Fitzroy Street, from the Standard Bank of Australia Ltd (in Liquidation) (LV: V2298/F569). A plan of the property dated 1926 (Figure 3) shows a footprint of the house at that time and outbuildings occupying a larger area. The plan shows the front verandah extending along the north elevation of the house (since removed), six outbuildings of various sizes, and an underground well to the south of the house. An aerial photo dated 1931 (Figure 4) shows the house occupying the large site.

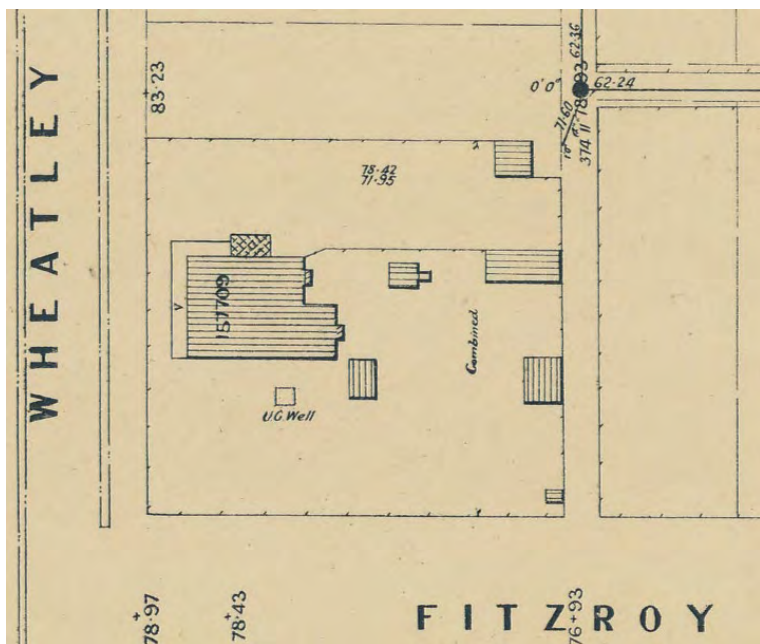


Figure 3. Footprint of the house and its outbuildings, 1926 (Source: MMBW DP 2838, dated 1926).

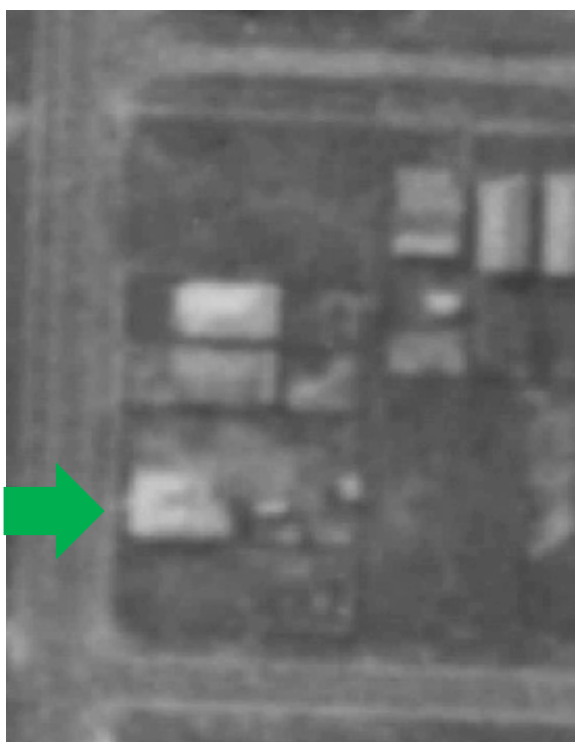


Figure 4. 1931 aerial photo showing the house at the subject site (Source: Landata Victoria).

By 1945 the land around the house was developed with single-storey dwellings constructed to the north, south and east as evident in an aerial photo (Figure 5). The verandah along part of the north elevation was likely removed by this date due to the close development to the north.

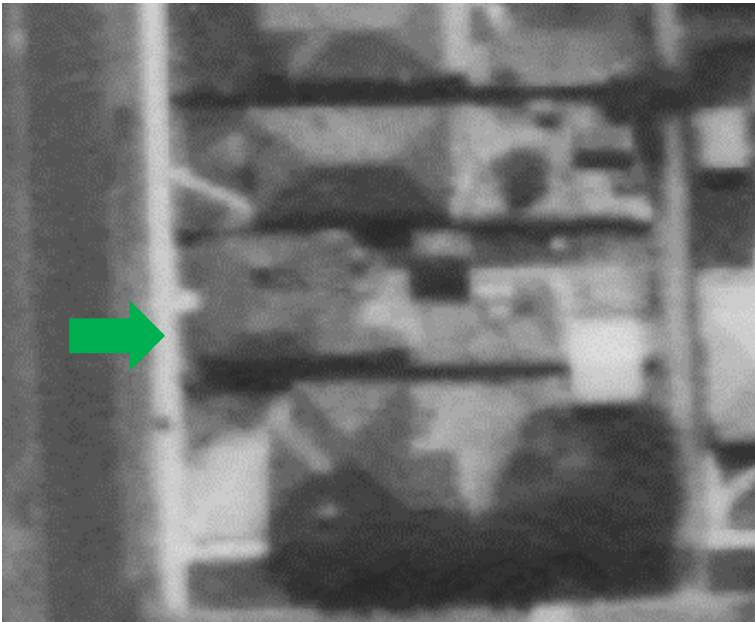


Figure 5. 1945 aerial photo, the subject site is indicated (Source: Landata Victoria).

The Roberts family owned the property until 1929, after which it had a number of subsequent owners of the property (LV: V2733/F560, V6938/F515).

Alterations and additions include a two-storey addition to the rear (east) of the 1890s house, and carport on the rear boundary, both constructed c1999 (PP).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

40 Wheatley Road is located on the east side of Wheatley Road opposite Allnutt Park, midway between the McKinnon Road and Centre Road shopping precincts. The rectangular site has vehicular access via a laneway to the rear (east). The house has a small setback from the front boundary.

The house is constructed of timber and is symmetrical in form with a M-section hipped roof clad in corrugated sheet metal. A corbelled rendered or overpainted brick chimney is located on the north side of the roof. Below the eaves of the principal elevation are paired timber brackets. A convex hipped verandah roof clad in corrugated sheet metal extends across the principal elevation, and is supported by thin, fluted cast iron columns with a decorative iron frieze and brackets. The principal elevation has timber ashlar boarding and a central entrance door with a toplight of stained glass. Flanking either side of the entrance are single timber-framed one-over-one sash windows. The side walls are clad in weatherboard.

A two-storey addition is located to the rear (east) of the house and is partially concealed behind the original building volume. A later outbuilding is located on the east boundary. A reproduction timber fence extends across the front boundary, providing access through a central pedestrian gate.

Key features

- Single-storey timber house with block-fronted (or ashlar boarded) principal elevation, typical of modest Italianate houses of the late Victorian period
- Corrugated metal-clad hipped roof forms
- Symmetrical front elevation with central door flanked by single sash windows
- Front verandah with cast iron columns and decorative ironwork
- Detailing including paired eaves brackets, and
- Rendered or overpainted chimney with corbelled detailing.



Figure 6. Aerial photo of the subject site, February 2023 (Source: Nearmap).



Figure 7. The west and south elevations (GJM Heritage, December 2022).

Intactness/Integrity

The house at 40 Wheatley Road, McKinnon remains substantially intact to its period of construction. Despite a large two-storey addition made to the rear of the original house and the removal of the original northern return verandah prior to 1945, the place retains a high degree of integrity as a modest late Victorian residence.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct historical development history. Nineteenth century housing was limited to a small number of speculative subdivisions, commonly located in the vicinity of railway stations after the railway line opened through Bentleigh and McKinnon in 1881, or to accommodate local market gardeners.

A small number of examples in the southern part of the municipality are comparable to 40 Wheatley Road, McKinnon and are included in the Heritage Overlay of the City of Glen Eira. They include:

22 Brady Road, Bentleigh East (HO97), 1889



Figure 8. 22 Brady Road, Bentleigh East (Source: VHD)

9 Vickery Street, Bentleigh (HO142), 1895



Figure 9. 9 Vickery Street, Bentleigh (Source: GJM Heritage, May 2022)

St Elmo, 133 Tucker Road, Bentleigh (HO215), 1885



Figure 10. 133 Tucker Road, Bentleigh (Source: Built Heritage , City of Glen Eira Heritage Review, 2020)

Athole, 18 Poplar Grove, Carnegie (HO80), 1889

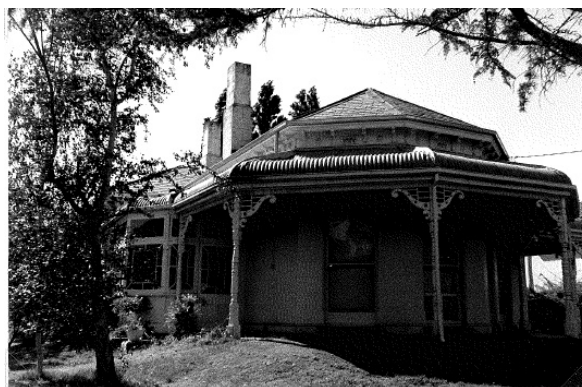


Figure 11. 18 Poplar Grove, Carnegie (Source: VHD)

Ida Villa, 234 Neerim Road, Carnegie (HO175), c1891-99



Figure 12. 234 Neerim Road, Carnegie (Source: RBA Architects & Conservation Consultants, Glen Eira Heritage Review of Bentleigh & Carnegie Structure Plan Areas, 2019)

Like the house at 40 Wheatley Road, McKinnon, the above houses were constructed in the southern suburbs of what is now the City of Glen Eira in the late nineteenth century, either on subdivided land or as accommodation for local market gardeners. Constructed in either timber (Figures 8 & 9) or brick (Figures 10-12), these houses exhibit a range of characteristics of modest Italianate housing of the late Victorian period, including single-storey hipped roof forms clad in slate or corrugated metal, symmetrical or asymmetrical forms and front elevations, decorative front verandahs, bracketed eaves with associated decorative elements, and brick chimneys. Like the above examples, 40 Wheatley Road, McKinnon retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of the Victorian Italianate style.

Similar to the small number of Victorian Italianate houses in McKinnon, Bentleigh and Bentleigh East included in the Heritage Overlay of the Glen Eira Planning Scheme, 40 Wheatley Road, McKinnon clearly demonstrates an important phase in the historical development of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The house at 40 Wheatley Road, McKinnon has strong associations with the early development of McKinnon in the late nineteenth century, when land was first subdivided and sold in the southern part of the municipality. Constructed on land that formed part of the 'McKinnon Estate' subdivision, it is one of a small number of places remaining in the suburb to demonstrate this early phase of development. The house at 40 Wheatley Road clearly illustrates this early phase of residential development in the southern part of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The house at 40 Wheatley Road, McKinnon is a fine and highly intact representative example of a modest late Victorian house. It displays typical characteristics of the Italianate style of the late Victorian period, including hipped roof, paired eaves brackets, symmetrical block-fronted timber principal elevation with sash windows flanking either side of a central door, front verandah with decorative ironwork, and rendered or overpainted brick chimney.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 13 below.



Figure 13. Recommended Extent of Heritage Overlay (to property boundaries)

References

- Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.
- Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh]*, 2020.
- Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.
- Landata Victoria (LV):
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 - Historical aerial photographs.
- Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 2838, dated 1926.
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- Rate Books (RB), Moorabbin Shire, North Riding: 1893, entry 641; 1894, entry 745; 1896, entry 713; 1897, entry 694.
- Sands & McDougall (S&Mc) Directories.
- Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.
- State Library of Victoria (SLV), images as cited.
- Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

40 WHEATLEY ROAD, MCKINNON – STATEMENT OF SIGNIFICANCE, MAY 2023

Heritage place: 40 Wheatley Road, McKinnon

PS ref no.: TBC



Figure 1. 40 Wheatley Road, McKinnon (GJM Heritage, March 2023).

What is significant?

The house at 40 Wheatley Road, McKinnon, a late Victorian Italianate style residence constructed in 1892.

Elements that contribute to the significance of the place include:

- Single-storey timber house with block-fronted (or ashlar boarded) principal elevation, typical of modest Italianate houses of the late Victorian period
- Corrugated metal-clad hipped roof forms
- Symmetrical front elevation with central door flanked by single sash windows
- Front verandah with cast iron columns and decorative ironwork
- Detailing including paired eaves brackets, and
- Rendered or overpainted chimney with corbelled detailing.

Later alterations and additions, including the two-storey rear addition, rear outbuilding and front fence, are not contributory.

How is it significant?

40 Wheatley Road, McKinnon is of local historical and representative (architectural) significance to the City of Glen Eira.

Why is it significant?

The house at 40 Wheatley Road, McKinnon has strong associations with the early development of McKinnon in the late nineteenth century, when land was first subdivided and sold in the southern part of the municipality. Constructed on land that formed part of the 'McKinnon Estate' subdivision, it is one of a small number of places remaining in the suburb to demonstrate this early phase of development. The house at 40 Wheatley Road clearly illustrates this early phase of residential development in the southern part of the City of Glen Eira (Criterion A).

The house at 40 Wheatley Road, McKinnon is a fine and highly intact representative example of a modest late Victorian house. It displays typical characteristics of the Italianate style of the late Victorian period, including hipped roof, paired eaves brackets, symmetrical block-fronted timber principal elevation with sash windows flanking either side of a central door, front verandah with decorative ironwork, and rendered or overpainted brick chimney (Criterion D).

Primary source:

McKinnon Heritage Review (GJM Heritage, 2023)

APPENDIX III: ASSESSMENTS OF PLACES NOT RECOMMENDED FOR INCLUSION IN THE HERITAGE OVERLAY

NAME	ADDRESS	PAGE NO.
BENTLEIGH		
House	4 Evelyn Street, Bentleigh	1
MCKINNON		
'Dilwarhi'	22 Carlton Street, McKinnon	7
House	259 McKinnon Road, McKinnon	14
Allnutt Park	41-59 Wheatley Road, McKinnon	22
House	65 Wheatley Road, McKinnon	35

HERITAGE ASSESSMENT

4 EVELYN STREET, BENTLEIGH



Figure 1. 4 Evelyn Street, Bentleigh (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: Likely relocated to site c.1909-1914	Builder: Not known
Recommendation: Do <u>not</u> include in the Heritage Overlay	Extent of Overlay: N/A

Reason for Recommendation

The house at 4 Evelyn Street, Bentleigh is a modest Victorian style dwelling constructed of timber with a M-section gabled roof and timber verandah running across the principal elevation. Despite its obviously Victorian architectural form and detailing, research has concluded that the house did not exist at the current site prior to 1909. This either makes the dwelling a very late example of a Victorian dwelling or – more likely – that it was relocated from elsewhere and installed on the current site between 1909 and 1914.

The relocation hypothesis is supported by the fact that there are no chimneys within the principal gable roof forms, with one instead located at the rear between the gable and skillion roof forms, indicating that the skillion was likely constructed at the time of relocation. In addition, the discrepancy between the building footprint in a 1920 Melbourne and Metropolitan Board of Works Plan (see Figure 2) and the existing extent of what appears to be historic fabric may also indicate relocation with subsequent changes.

Given the dwelling was not present on its existing site in the Victorian period (generally understood as being between c1840 to pre-1900) and no evidence can be sourced to confirm if it was relocated (or where from), then the place is not considered to have sufficient historical integrity to warrant inclusion in the Heritage Overlay.

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the

land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area containing the subject site was first subdivided into suburban residential allotments in the mid-1880s (Ward 1996: Vol 1, 46). William Bailey 'of the Barque "Parsee" now lying at the Railway Pier Port Melbourne', purchased Lots 10 and 11 (current nos. 2 and 4) on Evelyn Street in 1886. In January 1909 the two vacant lots within East Brighton Village were sold to Frederick Quinn, farmer of Liddiard Street, Bentleigh (LV: V1860/F829; RB).

In 1914 Quinn was rated for a 6-roomed weatherboard house on Lot 11 (current no. 4), occupied by R Clarkson. At this date Quinn was also the owner of a 4-roomed weatherboard house on Lot 10 (current no. 2 Evelyn Street) (RB). This indicates that the house at the subject site was either constructed or relocated to the subject site from elsewhere between 1909 and 1914.

A plan dated 1920 shows a footprint of the house and outbuildings on the subject site at that date (Figure 2). It is noted that the footprint shown does not closely accord with that of the existing building, which has a square footprint covering the front two gable roof forms and a narrower skillion roofed section to the rear. This indicates that either the plan was incorrectly drawn at the time or that the building was modified at a later date.

A driveway extends along the western boundary to a later garage to the rear of the house. Two other later outbuildings are located south (rear) of the house. A reproduction timber fence with a central pedestrian gate extends along the front boundary.



Figure 3. Aerial photo of the subject site, February 2023 (Source: GJM Heritage, date).



Figure 4. The north and west elevations (GJM Heritage, December 2022).

Intactness/Integrity

The house at 4 Evelyn Street, Bentleigh appears to have been altered since its construction on – or its relocation to – the current site. Historic plans indicate that the principal volume of the residence has been altered, with the southern-most gabled roof form extended to the west. In addition, the front verandah appears to have been replaced. A Victorian style fence has recently been constructed across the front boundary and new garage and outbuildings constructed to the rear of the property.

Recommendation

It is recommended that the place not be included in the Heritage Overlay of the Glen Eira Planning Scheme.

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh]*, 2020.

Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

Google Streetview: 2009, 2013, 2019.

Landata Victoria (LV), Certificates of Title, as cited.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 3217, dated 1920.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Nearmap aerial photographs.

Rate Books (RB), Shire of Moorabbin, North Riding: 1909-10, entry 496; 1914-15, entries 521, 522.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

HERITAGE ASSESSMENT

'DILWARHI' (ALSO 'ANNIE VILLA'), 22 CARLTON STREET, MCKINNON



Figure 1. 22 Carlton Street, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: Likely relocated c1920-22	Builder: William Gadsden
Recommendation: Do <u>not</u> include in the Heritage Overlay	Extent of Overlay: N/A

Reason for Recommendation

The house at 22 Carlton Street is a Victorian style dwelling constructed of timber with a hipped roof and timber verandah running across the principal elevation. Despite its obviously Victorian architectural form and detailing, research has concluded that the house did not exist at the current site prior to 1920. This either makes the dwelling a very late example of a Victorian dwelling or, more likely, indicates that it was relocated from elsewhere and installed on the current site between 1920 and 1922.

Given the dwelling was not present on its existing site in the Victorian period (generally understood as being between c1840 to pre-1900) and no evidence can be sourced to confirm if it was relocated (or where from), then the place is not considered to have sufficient historical integrity to warrant inclusion in the Heritage Overlay.

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area south-west of McKinnon Road and Nicholson Street was subdivided into suburban residential allotments in the late-1880s as McKinnon Estate (Figure 2) (Ward 1996: Vol 1, 46). Patrick Callaghan Junior, Fitzroy estate agent, subdivided just over 34 acres, bound by McKinnon Road, Nicholson Street, Fitzroy Street and Elizabeth Street (now Wheatley Road). Residential lots were on-sold from 1890, through to the interwar period (LV: V2298/F569).



Figure 2. Auction notice for lots within Callaghan's 'McKinnon Estate', then part of Brighton East. Dated c1880s (Source: SLV, Filename cd000863).

The current 22 Carlton Street is formed by part of Lot 12 and part of Lot 13 (see Figure 3) of the McKinnon Estate (Section D). John Frederick Allen, a St Kilda carpenter, purchased Lots 13 and 14 in February 1908, before selling to William Gadsden, a Bentleigh contractor, in May 1917 (LV: V3252/F342). Gadsden had also purchased Lots 11 and 12, in March 1917 (LV: V4029/F658). From 1917 Gadsden's holdings included Lots 11-14 on Carlton Street, which he consolidated to form three properties. In total Gadsden acquired approximately ten vacant lots in the McKinnon Estate between 1908 and 1920 (LV: V2298/F569).

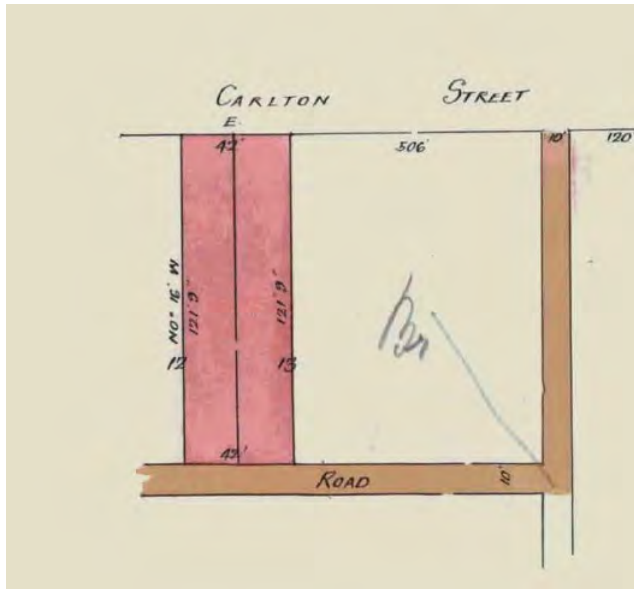


Figure 3. The extent of 22 Carlton Street, comprising parts of lot 12 and 13, in 1927 when acquired by Harvey (Source: Landata Victoria, Certificate of Title V5288/F480).

The rate books confirm the sequence of development on Lots 11-14. In 1916, the lots remained land. The 1919-20 rate books identify that Lots 11, 12 and part of 13 remained land, while part of Lot 13 and Lot 14 (current no. 24 Carlton Street) had a four-roomed weatherboard house 'in prod' (production), all under Gadsden's ownership (assessed February 1920) (RB).

The 1922 rate books (assessed December 1922) list three houses on Lots 11 to 14, all described as four-roomed weatherboard houses, each listed with new owners. Parts of Lot 12 and 13 (current no. 22 Carlton Street) was described as containing a four-roomed weatherboard house, now owned and occupied by Reginald R Hughes (RB). This indicates that the house at 22 Carlton Street was either constructed or relocated to the subject site from elsewhere between 1920 and 1922, likely by local contractor William Gadsden.

The 1924 rate books record that the current 22 Carlton Street was owned and occupied by Charles W S Harvey, carpenter. The 1926 rate books note the name of the house, 'Dilwarhi'.

A 1926 plan shows a footprint of the house, and two small outbuildings (Figure 4). A 1945 aerial photograph (Figure 5) shows the form of the house, and outbuildings along the eastern boundary.

Alterations and additions include the demolition of the rear (south) portion of the house and construction of a large single-storey addition in c.2000 (PP). The timber detailing applied to the front verandah possibly also dates to this time.

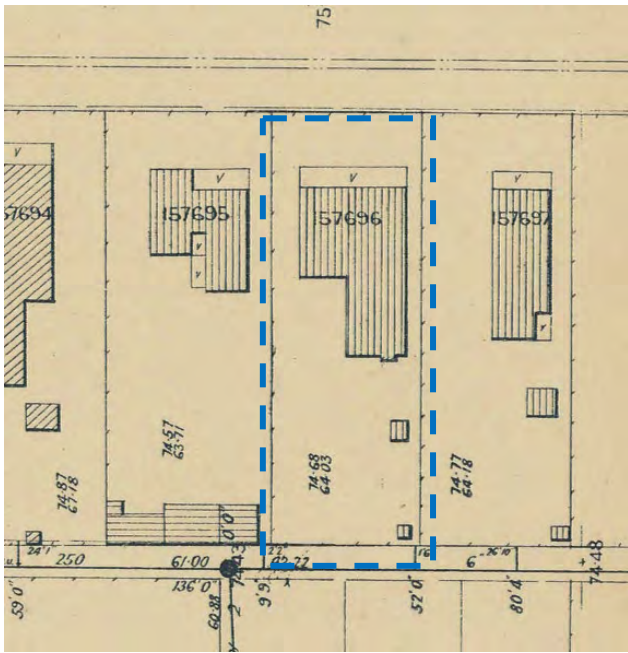


Figure 4. Footprint of the house and small outbuildings, 1926 (Source: MMBW DP 2838, dated 1926).

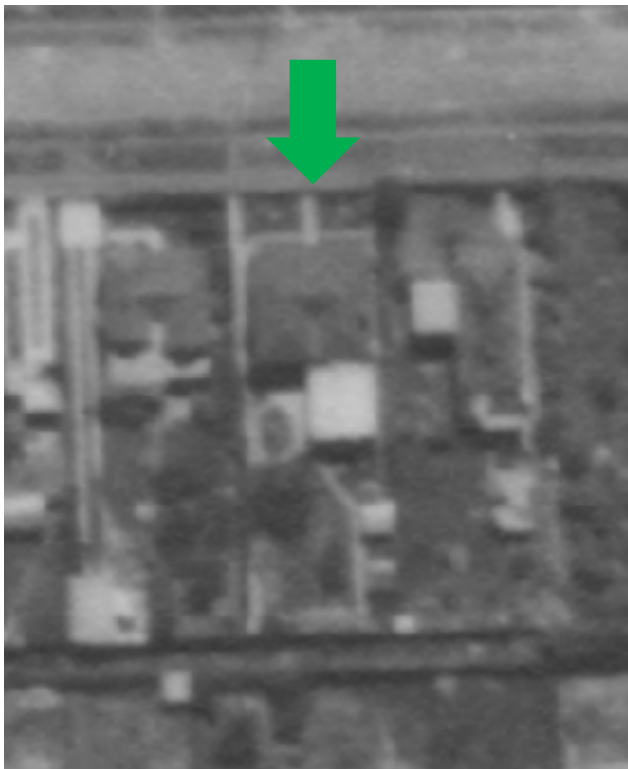


Figure 5. 1945 aerial photograph, the subject site indicated (Landata Victoria).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

22 Carlton Street is located on the south side of Carlton Street, east of Allnutt Park, midway between the McKinnon Road and Centre Road shopping precincts. The rectangular site backs onto a laneway to the south. The house is setback from the front boundary behind a small garden.

The single-storey timber house is symmetrical in form, with a hipped roof clad in corrugated sheet metal. A red brick chimney with a roughcast rendered band and two terracotta pots is located at the east side of the roof. The principal elevation includes paired timber brackets below the eaves, which sit above a string mould. A hipped verandah with a concave profile is clad in corrugated sheet metal and extends across the principal elevation. The verandah is supported by timber posts, with decorative timber brackets. The central entrance door has sidelights and a toplight. Single sash windows with narrow sidelights flank each side of the entrance.

A large single-storey rear addition is located off the south (rear) elevation, concealed behind the primary building volume. Outbuildings are located along the rear boundary. A later metal fence with two pedestrian gates extends across the front boundary.



Figure 6. Aerial photo of the subject site, February 2023 (Source: Nearmap).

Intactness/Integrity

Despite the construction of a large single-storey addition to the rear, the house at 22 Carlton Street remains largely intact to its period of construction or its likely relocation to the current site.

Recommendation

It is recommended that the place not be included in the Heritage Overlay of the Glen Eira Planning Scheme.

References

Bate, Weston, 'Dendy, Henry (1800–1881)' in *Australian Dictionary of Biography*, via <<https://adb.anu.edu.au/>>, published first in hardcopy 2005, accessed online 20 April 2023.

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh]*, 2020.

Cribbin, John, *Moorabbin, A Pictorial History 1862-1994*, Moorabbin, 1995.

Landata Victoria (LV):

Certificates of Title, as cited.

Historical aerial photographs.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan 2838, dated 1926.

Moorabbin City Council (MCC), *Moorabbin, a centenary history, 1862-1962*, Melbourne, 1962.

Nearmap.

Permit plans (PP) provided by Glen Eira City Council.

Rate Books (RB), Shire of Moorabbin, North Riding: 1909-10, entries 877-879; 1915-16, entries 1102-1103; 1920-21, entries 881-882; 1916-17, entries 430-431; 1919-20, entries 476-477; 1922-23, entries 1164-1166; 1924-25, entry 1939; 1926-27, entry 2207.

Sands & McDougall (S&Mc) Directories.

Sheehy, Tom, *A Shire Preceded Three Cities, Moorabbin, Sandringham, Mordialloc*, Cheltenham, 1965.

State Library of Victoria (SLV), images as cited.

Ward, Andrew, *Glen Eira Heritage Management Plan*, 1996.

HERITAGE ASSESSMENT

259 MCKINNON ROAD, MCKINNON



Figure 1. 259 McKinnon Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: c.1909 - 1916	Builder: Not known
Recommendation: Do <u>not</u> include in the Heritage Overlay	Extent of Overlay: N/A

Reason for Recommendation

The house at 259 McKinnon Road, McKinnon is a modest late Federation dwelling constructed of timber with a gabled-hip roof with projecting gabled bay.

The principal elevation of the dwelling has been altered through the insertion of a large dormer window into the southern roof pitch. This change has undermined the integrity of the place and has reduced its legibility as an intact example of a late Federation house. While only a small number of late Federation houses remain in the southern part of the City of Glen Eira to demonstrate the early phase of historical development as the area transitioned from agricultural to residential, 259 McKinnon Road is considered too altered to clearly demonstrate this historical period when compared against other, more highly intact examples.

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

In 1884, John Knight (a Carlton grocer) and Albert Burgess (a market gardener of East Brighton) were owners of approximately one acre (0.4ha) on the north-east corner of Jasper Road and Manchester Road (now part of McKinnon Road). They subdivided the property into four lots, on-selling the lots individually in May 1909 (LV: V1538/F413).

The current 259 McKinnon Road was sold to Isabella Butterfield and Isabel Ellin, both married women of Bentleigh, in May 1909. The other three lots were also purchased by Isabella Butterfield in equal half shares with different second parties (LV: V1538/F413). Butterfield and Ellin were relations by marriage (*The Age*, 26 Oct 1937: 1).

In 1909, Isabel Ellin was rated for a vacant lot on Manchester Road, which is likely the subject site. In 1916, Ellin was rated as the owner of a lot on Manchester Road with a four-roomed weatherboard house, occupied by Percy Ellin, butcher (RB). This indicates that the house at the current 259 McKinnon Road was built at some point between 1909 and 1916.

Butterfield and Ellin sold the property to Angus Albert Butterfield, a signalman at Mentone Railway Station, in September 1916 (LV: V3992/F391).

A 1930 plan of the property (Figure 2) shows an early footprint of the house, fronting what was then called Manchester Road (now McKinnon Road).

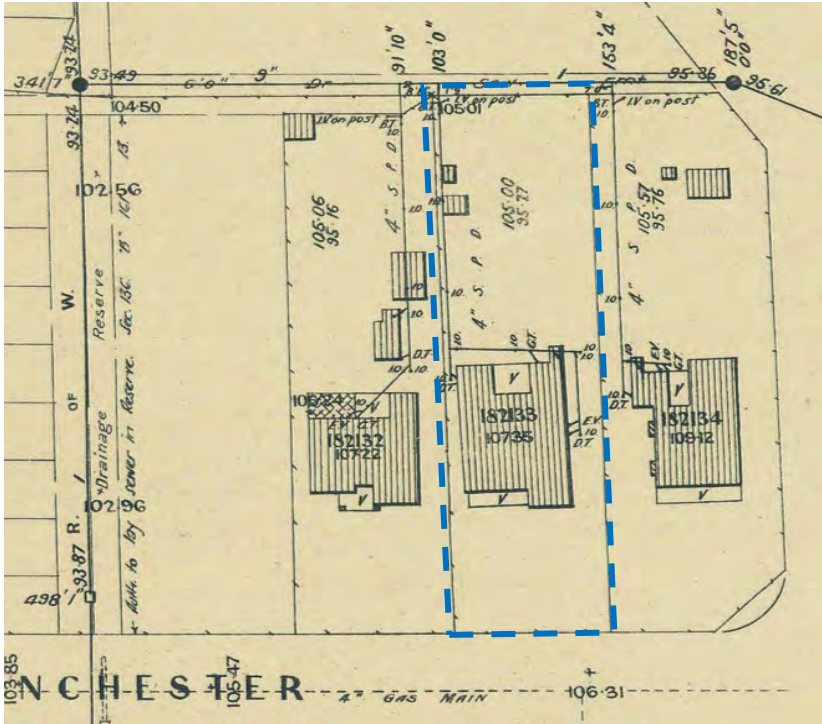


Figure 2. Footprint of the house and small outbuildings, 1930 (Source: MMBW DP 3209, dated 1930)

A 1945 aerial photograph (Figure 3) shows the house and roof form. The two dormer windows within the roof form are not extant at this date.

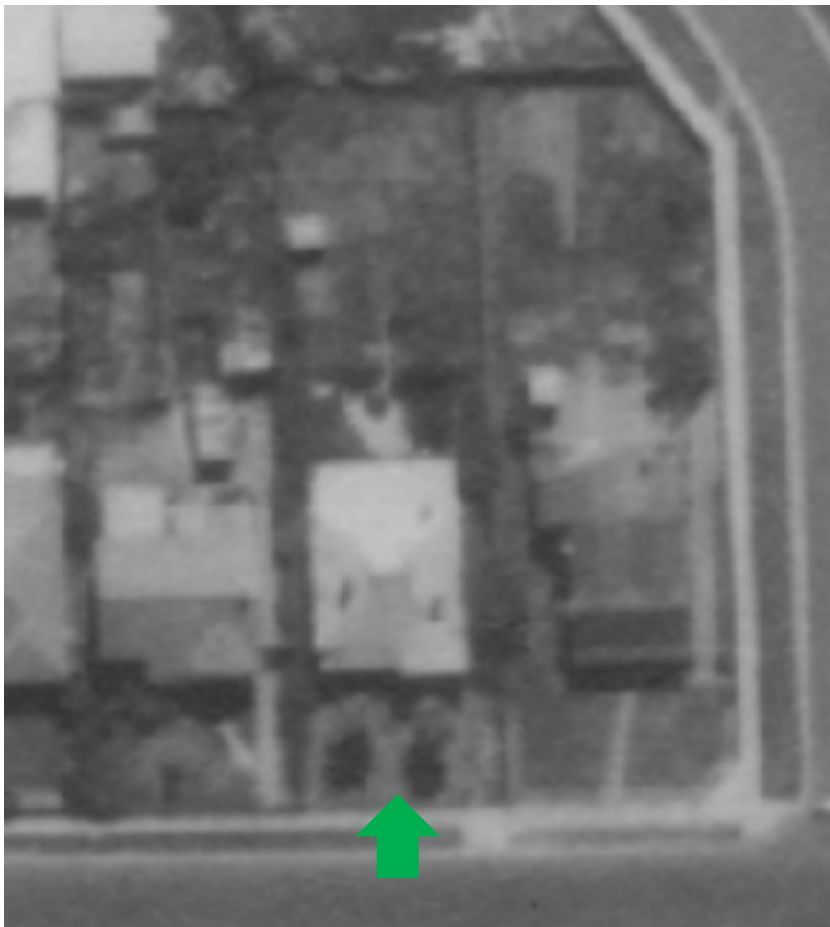


Figure 3. A 1945 aerial photo of the subject site. The early extent of the house is evident (Landata Victoria).

The small addition off the west (side) elevation was constructed c2012 (PP).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

259 McKinnon Road is located on the north side of McKinnon Road, just east of the main intersection of McKinnon and Jasper roads. The deep rectangular site is accessed via a driveway along the east boundary. The house is setback from the front boundary behind a garden and paved car parking area.

The single-storey timber house is asymmetrical in form, with a gabled-hip roof clad in red corrugated sheet metal and exposed rafters to the eaves. A red brick chimney has a roughcast rendered band and terracotta pot. Two later dormer windows, with similar detailing to the principal elevation, project to the north and south. A projecting gabled bay is located at the east end of the principal elevation, with a half-timbered effect and rough-cast render to the jettied gable end. Below, timber brackets alternate with raised panels. A bank of three timber-framed windows with toplights on the projecting gable end are covered by a window hood supported by timber brackets. Rows of notched weatherboards extend across the principal elevation above windowsill height. The skillion verandah is clad with red corrugated sheet metal and is supported by turned timber posts with a timber freize and brackets. The panelled entrance door has glazing to the top third, with sidelights and toplights, all with leadlight. Adjacent are a pair of timber framed windows with toplights.

Later additions are located off the north (rear) elevation, and a small addition extends from the west elevation. Later outbuildings are located along the north boundary. A later timber fence with vehicular gates and a central pedestrian gate, with a gable-roofed entrance, extend across the front boundary.



Figure 4. Aerial photo of the subject site, February 2023 (Source: Nearmap).

Intactness/Integrity

The house at 259 McKinnon Road, McKinnon remains largely intact to its period of construction, however the integrity of the place has been diminished by the addition of a highly visible dormer window to the front roof pitch. Additions to the rear and west elevation are largely concealed from the street and have minimal impact on the integrity of the place.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. Growth of these suburbs was greatly impacted by the 1890s depression and it wasn't until around the 1910s that land sales and residential development resumed in McKinnon and the surrounding area. In the 1910s a number of houses were constructed on undeveloped land in speculative subdivisions of the 1880s, but development remained slow relative to the northern part of the current City of Glen Eira.

No comparable examples in the southern part of the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme. A number of places further north that are included in the Heritage Overlay and which are comparable to 259 McKinnon Road include:

24 Elliott Avenue, Carnegie (HO172), 1913-1914



Figure 5. 24 Elliott Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

122 Grange Road, Carnegie (HO113)



Figure 6. 122 Grange Road, Carnegie (Source: Google Streetview, 2022)

Houses in Carnegie Residential Precinct (HO178)



Figure 7. Houses, Munster Avenue, Carnegie (Source: RBA Architects & Conservation Consultants, 'Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)' 2019)

Like the house at 259 McKinnon Road, McKinnon these houses were constructed in the City of Glen Eira in the early twentieth century. Constructed of timber, these houses exhibit a range of representative characteristics of modest housing of the late Federation period, including single-storey hipped roof forms (commonly gabled-hip forms) clad in corrugated metal, prominent gable ends forming asymmetrical front elevations, decorative front verandahs, decorative detailing including half-timbering to front gable ends and notched weatherboarding and red brick chimneys.

However; unlike the above examples, the principal elevation of 259 McKinnon Road, McKinnon has been altered through the insertion of a large dormer window. This change has undermined the integrity of the place and has reduced its legibility as an intact example of a late Federation house. While only a small number of late Federation houses remain in the southern part of the City of Glen Eira to demonstrate the early phase of historical development as the area transitioned from agricultural to residential, 259 McKinnon Road is considered too altered to clearly demonstrate this historical period when compared against other, more highly intact examples.

Recommendation

It is recommended that the place not be included in the Heritage Overlay of the Glen Eira Planning Scheme.

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HERITAGE ASSESSMENT

ALLNUTT PARK, 41-59 WHEATLEY ROAD, MCKINNON



Figure 1. Allnutt Park, Wheatley Road, McKinnon (GJM Heritage, December 2022).

DATE: May 2023

Place Type: Park	Architect: Not known
Construction Date: 1938 onwards	Builder: Not known
Recommendation: Do <u>not</u> include in the Heritage Overlay	Extent of Overlay: N/A

Reason for Recommendation

While Allnut Park is a much-loved local park, it has evolved in a largely informal and ad hoc way since its reservation to meet the changing needs of the community. It does not exhibit any specific historic design intent, nor does it retain any historic features (including mature plantings, pathways, fencing, statuary/memorials, gazebos and the like) that would warrant protection and management under the Heritage Overlay. The Park is considered to be appropriately managed under the Public Park and Recreation Zone of the Glen Eira Planning Scheme.

Locality History

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History' (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called 'Brighton Estate,' establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing

the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

Allnutt Park was originally called Wheatley Road Reserve, and was later renamed after prominent local figure and councillor John W Allnutt (Built Heritage 2020:70).

In the earliest days of post-contact settlement, the most prominent watercourse in the area was Elster Creek, which passed through the southern end of what would become Allnutt Park and continued north-west through Gardenvale, Brighton North and Elwood and into Port Phillip Bay. In the late nineteenth and early twentieth century, the creek was reconfigured to mitigate against flooding in swampier parts of Elwood. In the early 1930s, the portion of the creek east of the Nepean Highway in what is now the City of Glen Eira, was deepened and straightened. In the late 1930s a pitched concrete channel was constructed for the watercourse. In the mid-1970s, this was replaced with a fully enclosed underground drain (Built Heritage 2020:48).

The land surrounding Allnutt Park was subdivided into suburban residential lots from the late nineteenth century onwards. The earliest subdivision was to the east, in the late 1880s. The land to the north was subdivided in the 1910s, while the land to the west, south and south-east, was subdivided in the 1920s (Ward 1996:Vol 1, 46). Despite this surrounding development, the land which would become Allnutt Park remained vacant. A 1926 plan (Figure 2) shows the residential allotments surrounding what would become Allnutt Park, with Elster Creek and the adjacent Beech Street crossing the southern portion of the park.

A 1931 aerial photograph (Figure 3) shows the vacant land that would become Allnutt Park. At the southern extent, a circular track is located east of Rose Street, south of the former alignment of Beech Street; its use has not been determined.

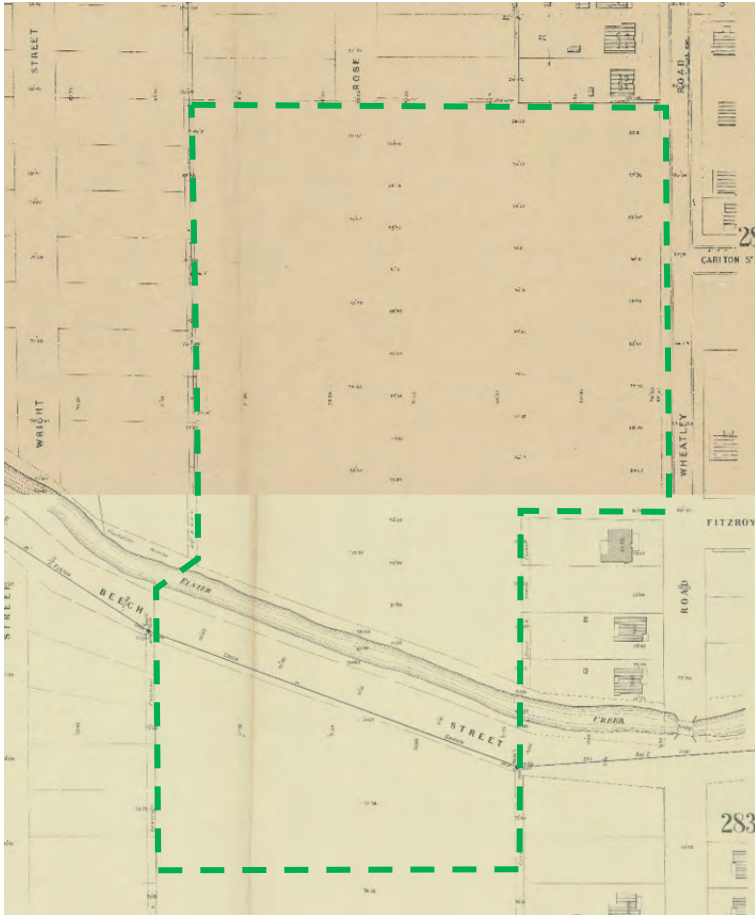


Figure 2. 1926 MMBW plans; the approximate current boundary of the reserve is indicated in green (Source: MMBW DP Nos. 2846 & 3245, dated 1926).



Figure 3. 1931 aerial photograph, the approximate current boundary of the reserve indicated in green (Source: Landata Victoria).

In the midst of rapid suburban development, public open space became a priority for the former City of Moorabbin and a number of recreational reserves were established. In January 1938, a notice was published in *The Age* headed 'New Recreation Reserve', which reported that the Moorabbin City Council had decided to borrow money for the acquisition of an area of land in Wheatley Road, McKinnon, which council proposed to convert into a recreation area (*Age*, 26 Jan 1938:16). Council valuation records indicate that the park was subsequently established in 1938.

A 1945 aerial photograph (Figure 4) shows the established boundaries of the reserve (matching the current extent), surrounded by residential development. Boundary plantings are evident along the north and part of the western boundaries, while informal paths cross the reserve. Elster Creek, by this time a concrete channel, cuts across the southern end of the reserve. The circular oval remained south of the creek. The form of the circular track at the south-eastern corner of the reserve remains evident in the 1945 aerial photograph (Figure 4) and to a lesser degree in the 1954 (Figure 5) and 1963 (Figure 6) aerial photographs.



Figure 4. 1945 aerial photograph, the boundary of the reserve is defined, with some border plantings evident (Source: Landata Victoria).

A 1954 aerial photograph (Figure 5) shows that the earlier plantings to the north and west boundaries had matured. Also evident by this date are garden beds along some of the inner boundaries, specimen plantings throughout the northern part of the reserve, and a row along the north side of the creek and near the Wheatley Road boundary, and at the south-east corner south of the creek.

In 1963 (Figure 6), the plantings in the northern portion of the park had matured and more scattered specimen plantings are evident throughout the north and south-east parts of the reserve. The south-west corner remained unvegetated.



Figure 5. 1954 aerial photograph showing garden beds established along some boundaries and trees evident in the north part of the park. The park boundary is clearly defined (Source: Landata Victoria).



Figure 6. 1963 aerial photograph. Existing plantings have matured and further trees are evident throughout the north part of the park (Source: Landata Victoria).

In 1984, the portions of Beech Street and Rose Street that ran through the southern portion of the park were closed to vehicular traffic (*Age*, 11 Jan 1984:34). A rotunda was constructed in 1989, and a BBQ shelter with a timber shingle roof (roof appears to have been later clad with corrugated metal) was constructed in 1990 (PP). A masterplan for the site from the same date (Figure 7) annotates an 'exotic garden' and 'rose garden' at the north-west corner of the park, 'open woodland' at the north-east corner, and facilities to the centre and southern portions, amongst play and active areas. In recent years, a playground, basketball court and golf cage have been erected.

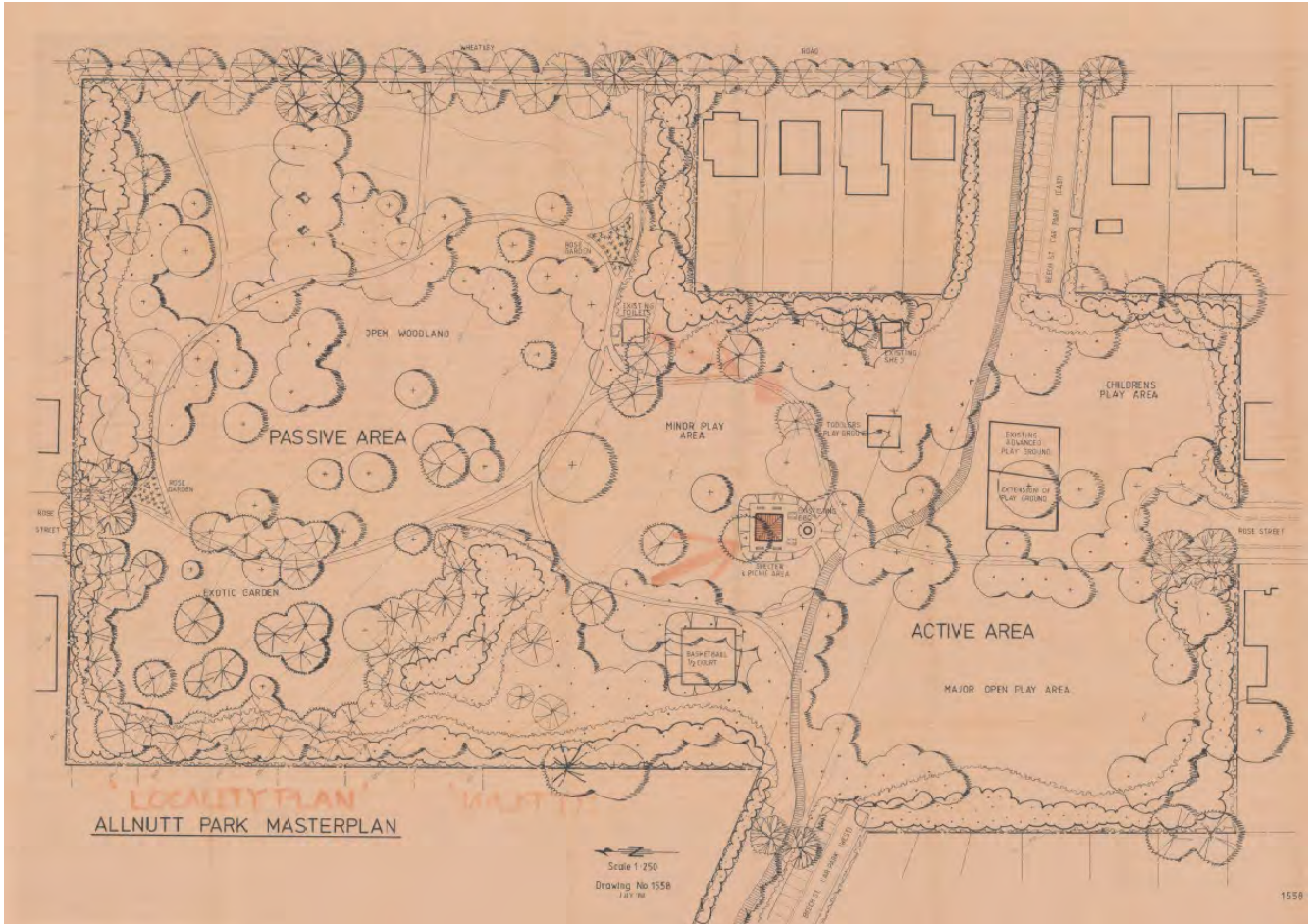


Figure 7. Allnutt Park Masterplan, c1990. North is left (Source: Permit plans provided by Glen Eira City Council).

John W Allnutt

John William Allnutt was a local councillor who served as both Moorabbin Shire President (1930-31) and Mayor of the City Moorabbin (1936-37 & 1948-49). Allnutt was raised at his parent’s market garden in Cheltenham, working as a market gardener, then as a contractor and cartage contractor. He served in World War I and later married Annie Vera McNabb. Allnutt was an active community member and leader, and the Allnutts were a prominent family in the area for many generations (Allnutt 2018; Sheehy 1985:8, 188).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs.

Description

Allnutt Park is an approximately 4.3 hectare site in McKinnon’s west, generally bounded by Wheatley Road to the east and residential properties to the north, west and south. It is accessed via Wheatley Road, Beech Street or Rose Street, and forms the eastern terminus of the Elster Creek Trail. The topography of the park generally rises to the north with the former Elster Creek in the south.

Allnutt Park includes many mature trees and stands of trees of both native and exotic species, and garden beds, including along the north and northwest boundaries. The Wheatley Road frontage of the park is retained by a low stone wall and stone is used to edge some garden beds. Informal paths cross the park, variously paved in asphalt, concrete or gravel, and lamps are provided at regular intervals. A playground is located at the southern end of the park, and the central area includes a basketball half-court and two hexagonal, timber-framed, roofed picnic shelters – the ‘Wright Street Rotunda’ and the ‘Wheatley Road Rotunda’. Other built form includes public restrooms and a flat-roofed utilitarian structure as well as ancillary structures including barbecues, benches, drinking fountains, bins, signage and a golf cage.

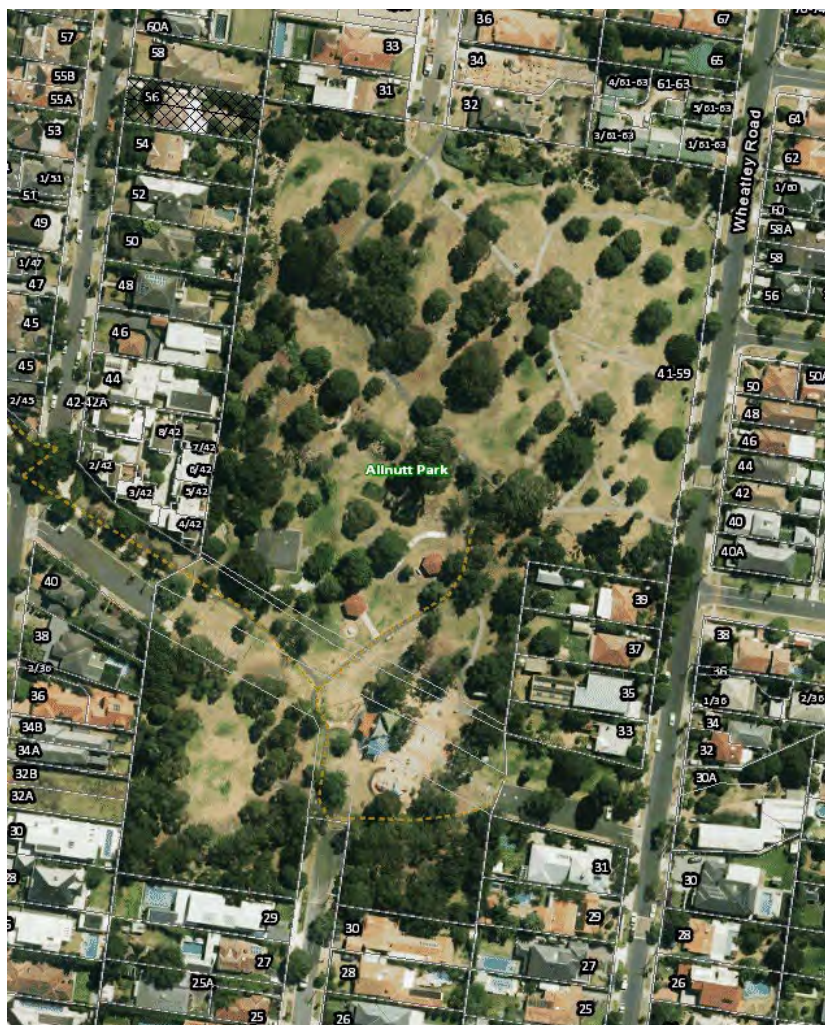


Figure 8. Aerial photograph of Allnutt Park (Source: Vicplan).



Figure 9. Plantings and garden beds within Allnutt Park (Source: GJM Heritage, May 2023).



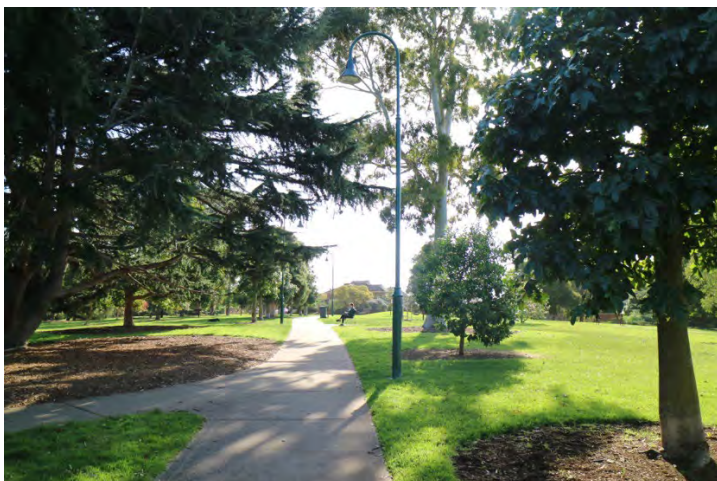


Figure 10. Specimen tree plantings within Allnutt Park (Source: GJM Heritage, May 2023).

Intactness/Integrity

The extent of Allnutt Park has remained unaltered since its establishment in 1938. Various changes have occurred within the park since its establishment including the containment of Elster Creek within an underground drain to replace the former open channel, the closure of roads which formerly crossed the southern portion of the park, the installation of community facilities and pathways, and the establishment of new plantings. These changes have occurred to meet changing community needs within the reserve. Allnut Park retains a low degree of intactness to its early phases of development (late 1930s/to the mid twentieth century) but retains a high degree of integrity as a public recreation reserve.

Comparative Analysis

Established in 1938, Allnutt Park, Wheatley Park, McKinnon is a large, informal recreational space which was established by the former City of Moorabbin in the interwar period to provide public open space for the growing local community. The establishment of recreational reserves historically occurred throughout the municipality in order to provide public open space amongst expanding suburban development. A small number of these are included in the Heritage Overlay of the Glen Eira Planning Scheme and include:

Caulfield Park, Caulfield North (HO4)

The largest recreational reserve and garden in the City of Glen Eira, Caulfield Park was established on existing wetlands and was reserved as public space in 1866. 11 acres (4.45ha) at the eastern end were established as sports grounds (not included within HO4) and beautification of the remainder of the reserve occurred from the 1890s through the twentieth century. Within the Heritage Overlay, Caulfield Park includes a war memorial, lake, various historic structures, a network of pathways, mature trees and established garden beds.

Lempriere Avenue, Greenmeadows Gardens & Environs Precinct, St Kilda East (HO74)

Greenmeadows Gardens were established in the 1920s as part of an interwar residential development in the adjoining Lempriere Avenue, St Kilda East. The gardens were formally designed with gated entrances, pathways, manicured lawns and gardens.

Hopetoun Gardens, 520 Glenhuntly Road, Elsternwick (HO196)

Hopetoun Gardens, Elsternwick were established in 1907 after purchase of approximately 2 hectares of land by Caulfield Council in 1907, largely due to agitation by the Elsternwick Progress Association. The gardens include early pathways, a pair of prominently located cannons, mature trees and garden beds.



Caulfield Park, Caulfield North (HO4)



Figure 13. Plan of Caulfield Park (Source: Google Maps)



Figure 14. View of Caulfield Park from the north-west (Source; Google Street View)

Lempriere Avenue, Greenmeadows Gardens & Environs Precinct, St Kilda East (HO74)



Figure 15. Plan of Greenmeadows Gardens (Source: Google Maps)



Figure 16. Greenmeadows Gardens, view to the east from Greenmeadows Lane (Source: Google Streetview)

Hopetoun Gardens, 520 Glenhuntly Road,
Elsternwick (HO196)



Figure 17. Plan of Hopetoun Gardens (Source: Google Maps)



Figure 18. Hopetoun Gardens, view from the north (Source: Google Streetview)

The above recreational reserves and gardens are representative examples of nineteenth and early twentieth century public reserves in the City of Glen Eira and illustrate the provision of public open space for growing suburban communities. Varying in date of establishment and size, and containing a variety of landscaping treatments, structures and vegetation, they retain a high degree of integrity to illustrate the important establishment of public spaces in the nineteenth and twentieth centuries across the municipality.

Unlike the above recreational reserves and gardens, Allnutt Park does not exhibit any specific historic design intent, nor does it retain any historic features (including mature plantings, pathways, fencing, statuary/memorials, gazebos and the like) that would warrant protection and management under the Heritage Overlay. The Park is considered to be appropriately managed under the Public Park and Recreation Zone of the Glen Eira Planning Scheme.

Recommendation

It is recommended that the place not be included in the Heritage Overlay of the Glen Eira Planning Scheme.

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HERITAGE ASSESSMENT

65 WHEATLEY ROAD, MCKINNON



Figure 1. 65 Wheatley Road, McKinnon (GJM Heritage, February 2023).

DATE: May 2023

Place Type: Residential	Architect: Not known
Construction Date: 1924	Builder: Not known
Recommendation: Do <u>not</u> include in the Heritage Overlay	Extent of Overlay: N/A

Reason for Recommendation

The suburbs McKinnon, Bentleigh and Bentleigh East developed later than those located in the north of the municipality and share a distinct developmental history. While there was some interwar estate development in the northern suburbs, it was the southern suburbs that saw the greatest residential growth in the interwar through to the early postwar period. At this time, large numbers of houses were constructed on land previously under agricultural production. The Interwar Bungalow, constructed in both brick and timber, was the dominant house type and substantial numbers of these remain throughout the southern suburbs of the municipality – and in some northern suburb estate developments – in varying states of intactness.

A number of Interwar Bungalows are included in the Heritage Overlay of the Glen Eira Planning Scheme and most of these form highly consistent precincts or are of historical value for their demonstration of particular historical themes. Many other Interwar Bungalows are not included in the Heritage Overlay.

While the house at 65 Wheatley Road, McKinnon remains highly intact to its original interwar form and detailing, it is not of sufficient architectural or historical interest in its own right to warrant inclusion in the Heritage Overlay of the Glen Eira Planning Scheme as an individual Heritage Place.

Locality History

The following history is drawn from Andrew Ward’s ‘City of Glen Eira Heritage Management Plan’ (1996) and the ‘City of Glen Eira Thematic Environmental History’ (2020), with additional information as cited.

The suburb of McKinnon, in the City of Glen Eira, is located on the Traditional Lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation.

The area to the south of North Road initially formed part of the municipality of Brighton established in 1859, and then became part of the Moorabbin Road Board District in 1862. The proclamation of Moorabbin Shire followed in 1871 and in 1934 Moorabbin attained the status of City. In 1994, the North Riding of the City of Moorabbin (Bentleigh, Bentleigh East, Ormond and McKinnon) was amalgamated with the City of Caulfield to form the current City of Glen Eira.

Early European settlement occurred in the what is now the City of Glen Eira in the 1840s. Development manifested itself in different ways in different locations: mansion estates (on the north-western fringe in current Elsternwick, St Kilda East and Caulfield North), pastoral runs (Caulfield South, Carnegie and Murrumbeena) and agricultural activity (in the south in McKinnon, Bentleigh and Bentleigh East).

A large parcel of land, which extended from North Road to South Road, and East Boundary Road to the bay, including what is now known as the suburb of McKinnon, was first secured by Henry Dendy through a Crown Special Survey in 1841. The area was surveyed by Henry Foot and was called ‘Brighton Estate,’ establishing foreshore sites, the current Brighton township and an inland village amongst large agricultural lots (Bate 2005).

In the late 1840s Brighton was sparsely populated, but the soil was ideal for growing fruit and vegetables, particularly in what was then called Brighton East (now McKinnon, Bentleigh and Bentleigh East) (MCC 1962:14). By the 1850s, Brighton East was a scattered collection of farms, vineyards and orchards (Cribbin 1995:4, 34). This area, and the land extending to the south-east (current Moorabbin and Cheltenham), became the first concentrated development

of market gardens outside Melbourne. By the early 1860s Brighton East was occupied predominantly by Irish settlers engaged in viticulture and market gardening (Cribbin 1995:35). In the early 1870s, almost 80% of occupants of Brighton East were market gardeners, along with some supporting industries, such as a dairying, wheelwrights, carters, bootmakers and the usual purveyors of general goods.

The railway line from Caulfield to Mordialloc opened in 1881, and McKinnon Road Station opened in 1884 (renamed McKinnon Station in 1885). This encouraged a small number of residential subdivisions in proximity of the railway line, and along key thoroughfares, in the 1880s. While some residential development occurred, growth was severely impacted by the 1890s depression and McKinnon largely retained its agricultural character. It wasn't until nearing the 1910s that McKinnon, and the wider North Riding of the City of Moorabbin (between North and South roads), resumed land sales and residential development (Cribbin 1995:81).

It was during the interwar period that McKinnon was transformed from farmland to a residential suburb, primarily through small-scale investors creating residential estates. Land sales and development was stimulated by the proximity of the railway station and the line's electrification in 1922. The interwar period saw the construction of a vast number of predominantly freestanding villas and bungalows across McKinnon. Commercial development expanded on McKinnon Road near the railway station in the 1920s, supporting the surrounding residential development.

Following World War II, the City of Moorabbin was one of the fastest growing municipalities in Australia, and the remaining market gardens were replaced with residential and industrial development. By the 1950s McKinnon was largely developed. In response to this major growth, a number of educational and community facilities were constructed throughout the 1950s and 1960s (Cribbin 1995:6, 162).

The late twentieth century saw the replacement of earlier residences with new dwellings, a pattern which continues in the twenty-first century. Despite this more recent development, McKinnon's built environment continues to demonstrate the locality's historical development; from the first slow-growing subdivisions of the Victorian period, tentative growth in the early twentieth century, major interwar development, and renewal of existing housing stock in the postwar period. McKinnon remains a middle-class residential locality, centred around the McKinnon Road commercial hub and railway station.

Place History

The area south-west of McKinnon and Wheatley roads was first subdivided into suburban residential allotments in the early-1910s (Ward 1996: Vol 1, 46). In November 1907, Henry S Wood, a Melbourne manufacturer, purchased just over 14 acres south of McKinnon Road, extending from Whitmuir Road in the west to Elizabeth Street (now part of Wheatley Road) in the east. In 1913 Wood subdivided his holdings into residential allotments, forming Rose Street and the north part of Wright Street. Lots were on-sold from August 1913 (LV: V1713/F536).

Lots 54 and 55 (the latter being the current 65 Wheatley Road) were purchased by Alice Emma Smith, a married woman 'of Railway Station McKinnon' in December 1914. In 1914 Smith was rated for Lots 54 and 55 on Wheatley Road, which remained vacant land at the time. Smith on-sold Lot 54 (current no. 63) in 1920. In 1922, Lot 55 (the subject site) remained vacant land in Smith's ownership (LV: V3856/F145; RB). In 1924, Smith was rated as the owner of a five-roomed weatherboard house 'In pro' (production) on Lot 55 (assessed Dec 1924) (RB). This indicates that the house at the subject site was built in 1924.

A 1926 plan (Figure 2) shows the property and a footprint of the new house, with a small outbuilding to the rear (west). Aerial photographs dated 1931 and 1945 (Figure 3 - Figure 4) show the house and outbuildings immediately to the west.

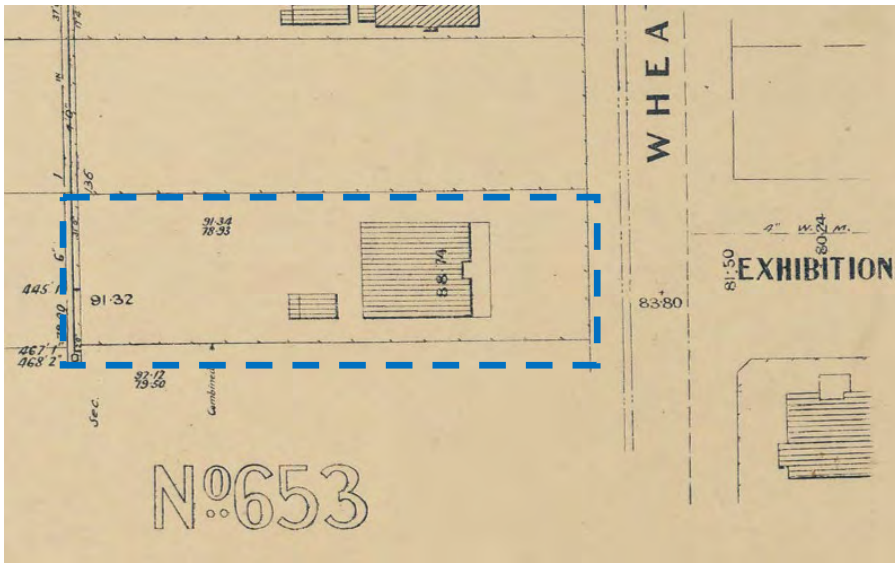


Figure 2. Footprint of the house and its outbuildings, 1926 (Source: MMBW DP 2845, dated 1926).



Figure 3. 1931 aerial photograph, the subject site indicated (Landata Victoria).



Figure 4. 1945 aerial photograph, the subject site indicated (Landata Victoria).

Following Smith's death in 1941, the subject site was granted to Walter M Morgan with various subsequent owners (LV: V3856/F145; V6481/F007).

An addition has been constructed to the rear (west) of the house, and a carport constructed to the north (side) of the house (dates not known).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6.0 Building towns, cities and the garden state

6.3 Shaping the suburbs

6.7 Making homes for Victorians.

Description

65 Wheatley Road is located on the west side of Wheatley Road, between Allnutt Park to the south and the McKinnon Road shopping precinct to the north. The rectangular site is accessed via a driveway along the north boundary. The house is setback from the front boundary behind a small garden.

The single-storey timber house has a gabled roof clad in corrugated sheet metal (green, likely painted). One red brick chimney is located at the south end of the ridgeline, and a second at the west end of the roof. The large gable ends facing north and south have a half-timbered effect. The principal elevation is symmetrical in form with a central gablet at eaves level. A hipped verandah, which partly continues the main roofline, is clad in corrugated sheet metal (green, likely painted) and extends across the principal elevation. The verandah is supported by paired timber posts, with timber balustrade and balusters, and solid timber arched valance. The raised verandah floor is reached by central masonry steps. The central entrance has a timber door with leadlight to the top third, with a similarly arranged side panel. Pairs of timber-framed one-over-one sash windows with leadlight detail flank either side of the central entrance.

An addition, comprising three gables, is located off the west (rear) elevation. A later carport is located on the north boundary, adjacent to the house. A later timber picket fence, with vehicular gates and a lychgate, is located along the front boundary. Views of the house from the public realm are obscured by mature vegetation.



Figure 5. Aerial photograph of the subject site, February 2023 (Source: Nearmap).



Figure 6. East elevation through the later lychgate (GJM Heritage, December 2022).



Figure 6. North-east corner of the house showing half-timbering to gable end (GJM Heritage, December 2022).

Intactness/Integrity

The house at 65 Wheatley Road, McKinnon remains highly intact to its period of construction. Despite an addition made to the rear of the original house, the construction of a later open carport to the side, and a new fence across the street frontage, the place retains a high degree of integrity.

Comparative Analysis

Situated south of North Road, the suburbs of McKinnon, Bentleigh and Bentleigh East form the southern-most part of the City of Glen Eira. These suburbs developed later than those located in the north of the municipality and share a distinct developmental history. The suburbs of Caulfield, Elsternwick, Glen Huntly and Carnegie experienced their substantial residential development in pre-war years, although some larger properties were subdivided in the interwar period, providing opportunities for further development. In contrast, it was the interwar through to the early postwar period that saw the greatest residential growth in the southern suburbs. At this time, large numbers of houses were constructed on land previously under agricultural production. The Interwar Bungalow, constructed in both brick and timber, was the dominant house type and substantial numbers of these remain throughout the southern suburbs of the municipality in varying states of intactness.

A large number of Interwar Bungalows are included in the Heritage Overlay of the Glen Eira Planning Scheme, including:

118 Jasper Road, Bentleigh (HO119) (former market garden residence)



Figure 7. 118 Jasper Road (Source: Google Streetview, 2018)

Field Street Precinct, McKinnon (HO188)



Figure 8. 13 Field Street, McKinnon (Source: Citation by Built Heritage, 2019)



Figure 8. 3 Field Street, McKinnon (Source: Google Streetview, Dec 2018)



Figure 9. 37 Field Street, McKinnon (Source: GJM Heritage, December 2022)

Albert Flatmans Estates Precinct (HO177)



Figure 10. 52 Belsize Avenue, Carnegie (Source: Google Streetview, 2019)



Figure 11. 50 Belsize Avenue, Carnegie (Source: Google Streetview, 2019)

In addition to the above – most of which are included in highly consistent precincts or are of historical value for their demonstration of particular historical themes – many other Interwar Bungalows in the southern part of the municipality are not included in the Heritage Overlay.

While the house at 65 Wheatley Road, McKinnon remains highly intact to its period of construction and exhibits a range of representative characteristics of bungalow housing of the interwar period, it is not of sufficient architectural or historical interest in its own right to warrant inclusion in the Heritage Overlay of the Glen Eira Planning Scheme as an individual Heritage Place.

Recommendation

It is recommended that the place not be included in the Heritage Overlay of the Glen Eira Planning Scheme.

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