

99 Brewer Road  
BENTLEIGH

SCALE 1:250 (A1)

Endorsed on: 2 May 2024

- ELEC. PIT

N

ALL EXISTING FEATURES  
TO BE DEMOLISHED

easement has now been removed

- HW - DENOTES HABITABLE W/IN  
- P.O.S - PRIVATE OPEN SPACE

- TITLE & BUILDING POSITIONS OFF SUBJECT SITE  
ARE DISPLAYED FOR INDICATION PURPOSES,  
USE QUOTED SETBACKS ONLY

P.O. BOX 461 x  
PAKENHAM 3810  
Ph 03 5941 4112  
Fax 03 5941 7359  
rob@nobelius.com.au

- LEVELS SHOWN ON THIS PLAN  
ARE TO A.H.D. BASED ON  
MOORABBIN PM 523 (R.L. 28.715)

TBM RIVET  
RL: 29.31m

SURV. REF. NO. 17587

Suite 8, 400 Pakington Street  
Newtown Victoria 3220

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|                |                               |
|----------------|-------------------------------|
| <b>Address</b> | 99 Brewer Road, Bentleigh VIC |
|----------------|-------------------------------|

|      |           |       |
|------|-----------|-------|
| Date | 28/2/2024 | Drawn |
|------|-----------|-------|

|             |      |          |
|-------------|------|----------|
| Project No. | 2150 | Revision |
|-------------|------|----------|

# JVC



PLANNING AND ENVIRONMENT ACT 1987  
GLEN EIRA PLANNING SCHEME

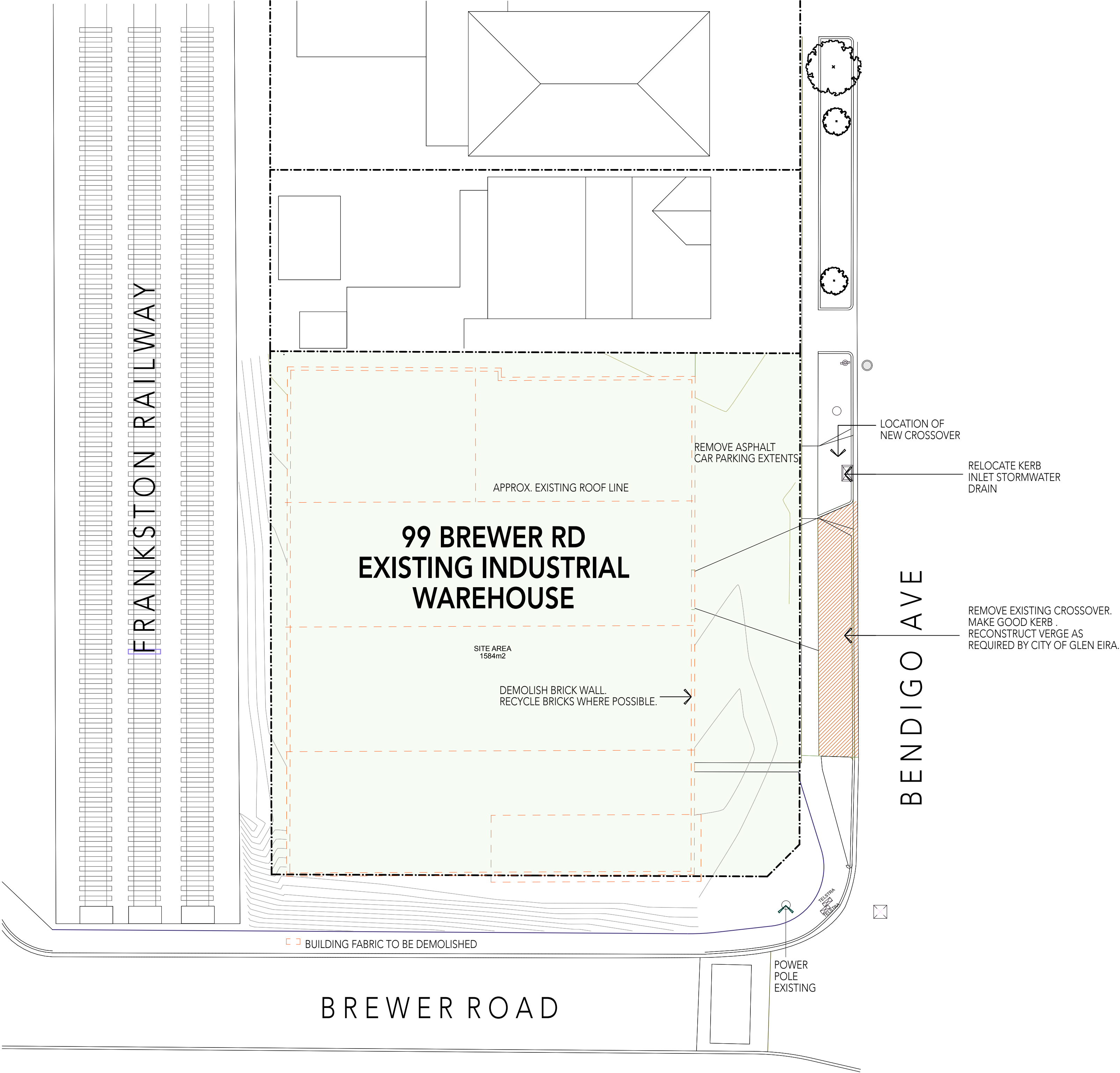
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GE/DP-33820/2020/A

Sheet: 2 of 26

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Endorsed on: 2 May 2024



SITE PLAN

SCALE 1:200

Town Planning

Dwg No. TP02

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

**Notes**

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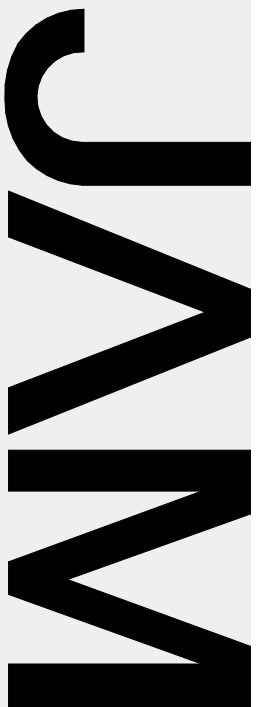
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ABN 55 005 703 195

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Richmond 3121  
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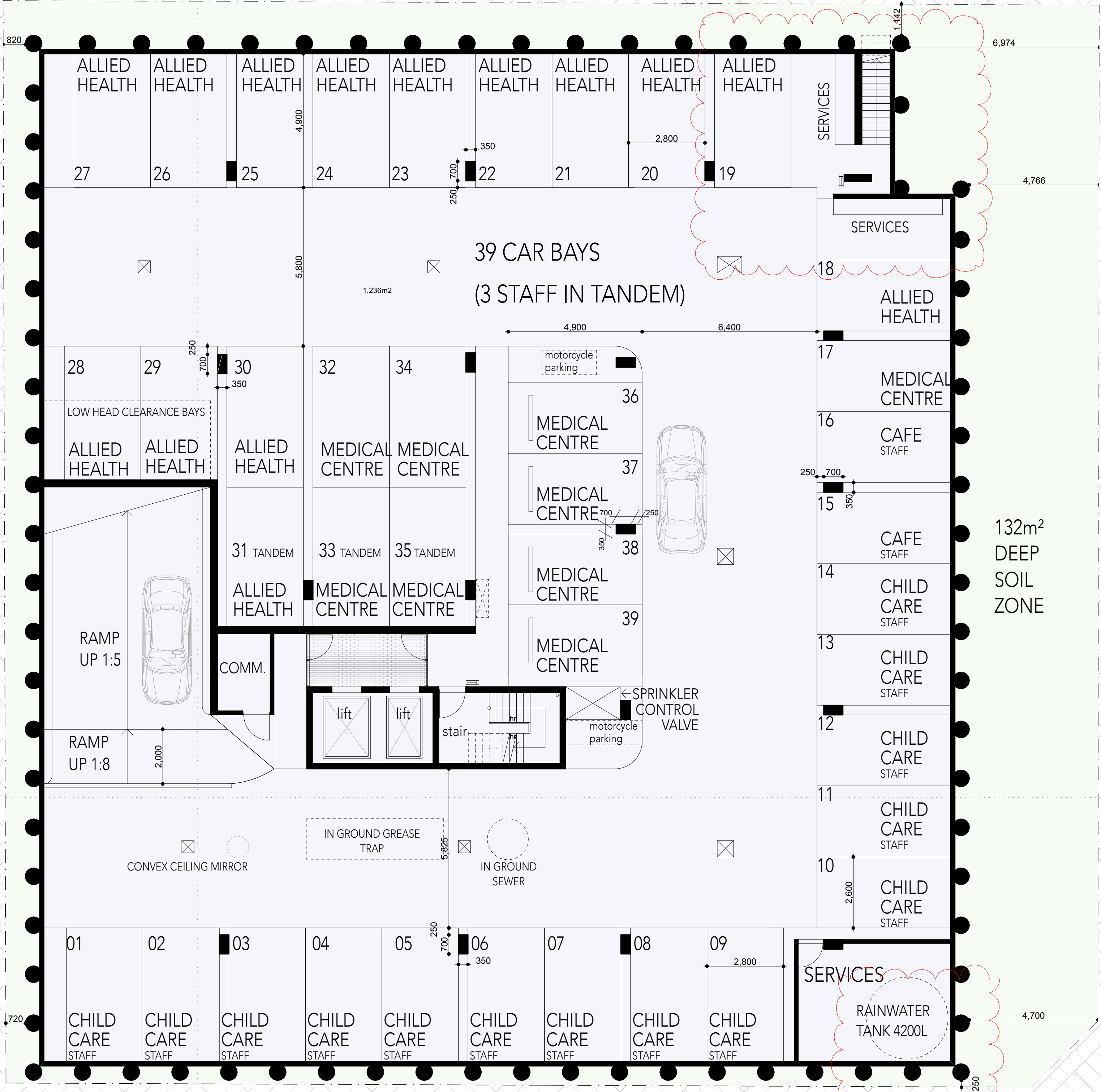
Sheet: 3 of 26

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Endorsed on: 2 May 2024

BASEMENT

SCALE 1:100



**Note Acoustic report**

rail noise intrusion, building facade and glazing, mechanical plant noise generation, tenant noise generation, car park usage to align with acoustic report undertaken by Octave Acoustics - 4th September 2020

**Note - Car Bays 40-51**

\* Childcare parent pick-up / drop-off spaces are to be made available for use by patrons of the allied health during the times of 5am-8am, 11am-3pm and after 6:30pm.

\*\* Space 51 is to be dedicated as a Loading & Waste Collection bay between the times of 11am-3pm.

**General Note:**

All glazing, glazed balustrade/screening to be in accordance with Octave Acoustics acoustic report dated 4 September 2020

Town Planning

Dwg No. TP03

Project No. 2150

Revision  
Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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Town Planning

Dwg No. TP04

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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BENDIGO AVE

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GLEN EIRA PLANNING SCHEME  
  
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Note Acoustic report  
  
rail noise intrusion, building facade and glazing, mechanical plant noise generation, tenant noise generation, car park usage to align with acoustic report undertaken by Octave Acoustics - 4th September 2020  
  
Note - Car Bays 40-51  
  
\* Childcare parent pick-up / drop-off spaces are to be made available for use by patrons of the allied health during the times of 5am-8am, 11am-3pm and after 6:30pm.  
  
\*\* Space 51 is to be dedicated as a Loading & Waste Collection bay between the times of 11am-3pm.

POWER POLE  
EXISTING

RELOCATE KERB INLET  
STORMWATER DRAIN

MODIFIED  
CROSSOVER

POWER POLE  
EXISTING

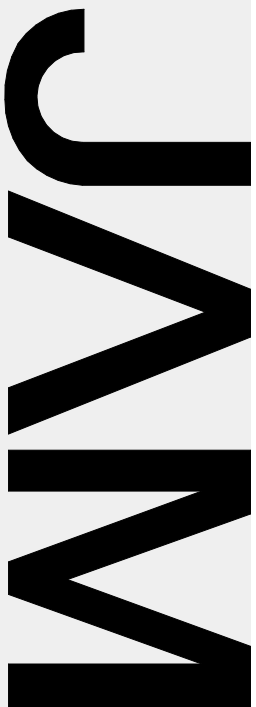
**General Note:**  
  
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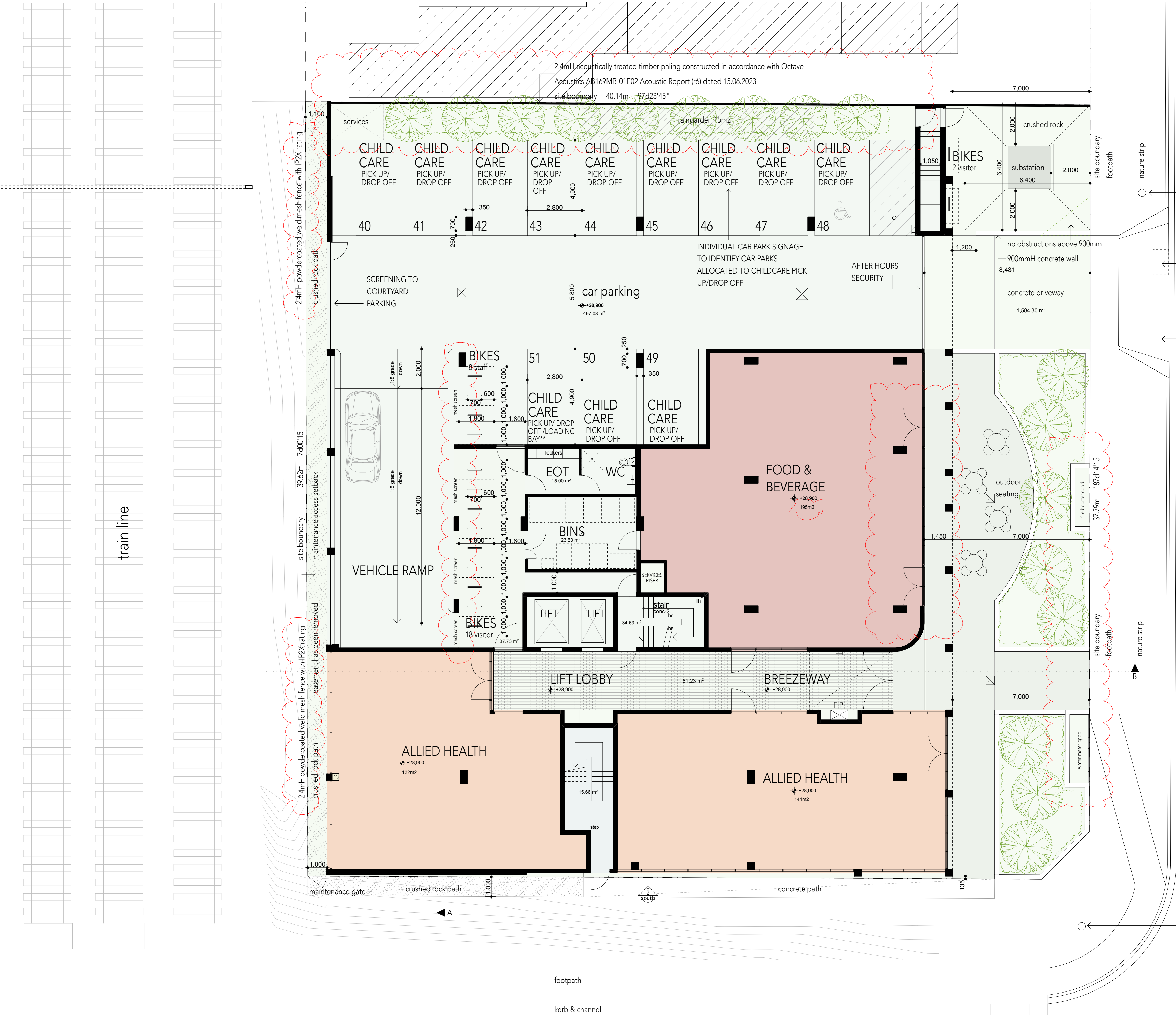
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info@jamarchitects.com.au  
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GROUND FLOOR

SCALE 1:100

BREWER ROAD



train line



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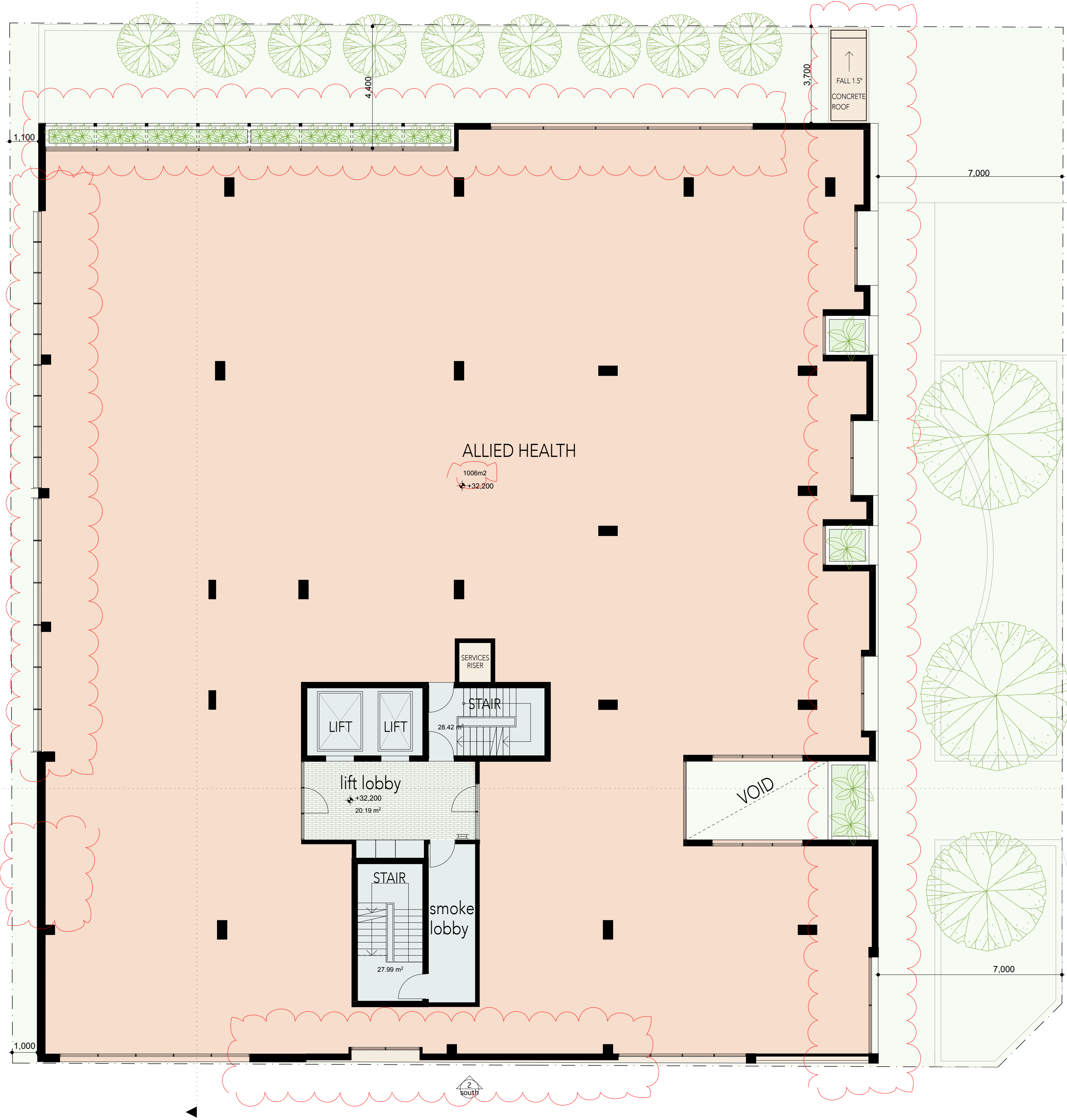
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Endorsed on: 2 May 2024

FIRST FLOOR

SCALE 1:100

BREWER ROAD



**Note Acoustic report**

rail noise intrusion, building facade and glazing, mechanical plant noise generation, tenant noise generation, car park usage to align with acoustic report undertaken by Octave Acoustics - 4th September 2020

**Note - Car Bays 40-51**

\* Childcare parent pick-up / drop-off spaces are to be made available for use by patrons of the allied health during the times of 5am-8am, 11am-3pm and after 6:30pm.

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**General Note:**

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Town Planning

Dwg No. TP05

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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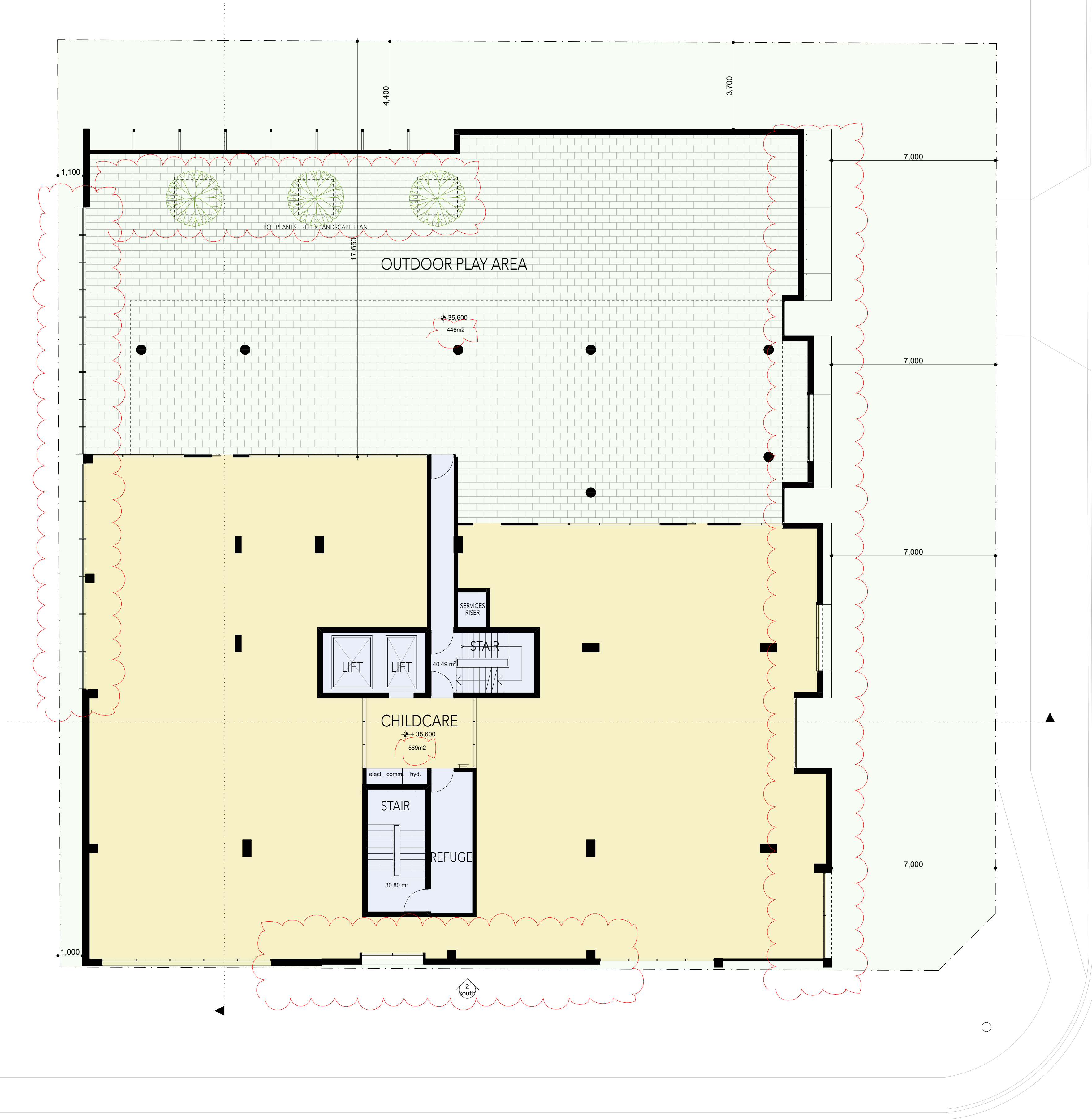
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Endorsed on: 2 May 2024

SECOND FLOOR

SCALE 1:100

BREWER ROAD



Note Acoustic report

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Note - Car Bays 40-51

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General Note:

All glazing, glazed balustrade/screening to be in accordance with Octave Acoustics acoustic report dated 4 September 2020

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Town Planning

Dwg No. TP06

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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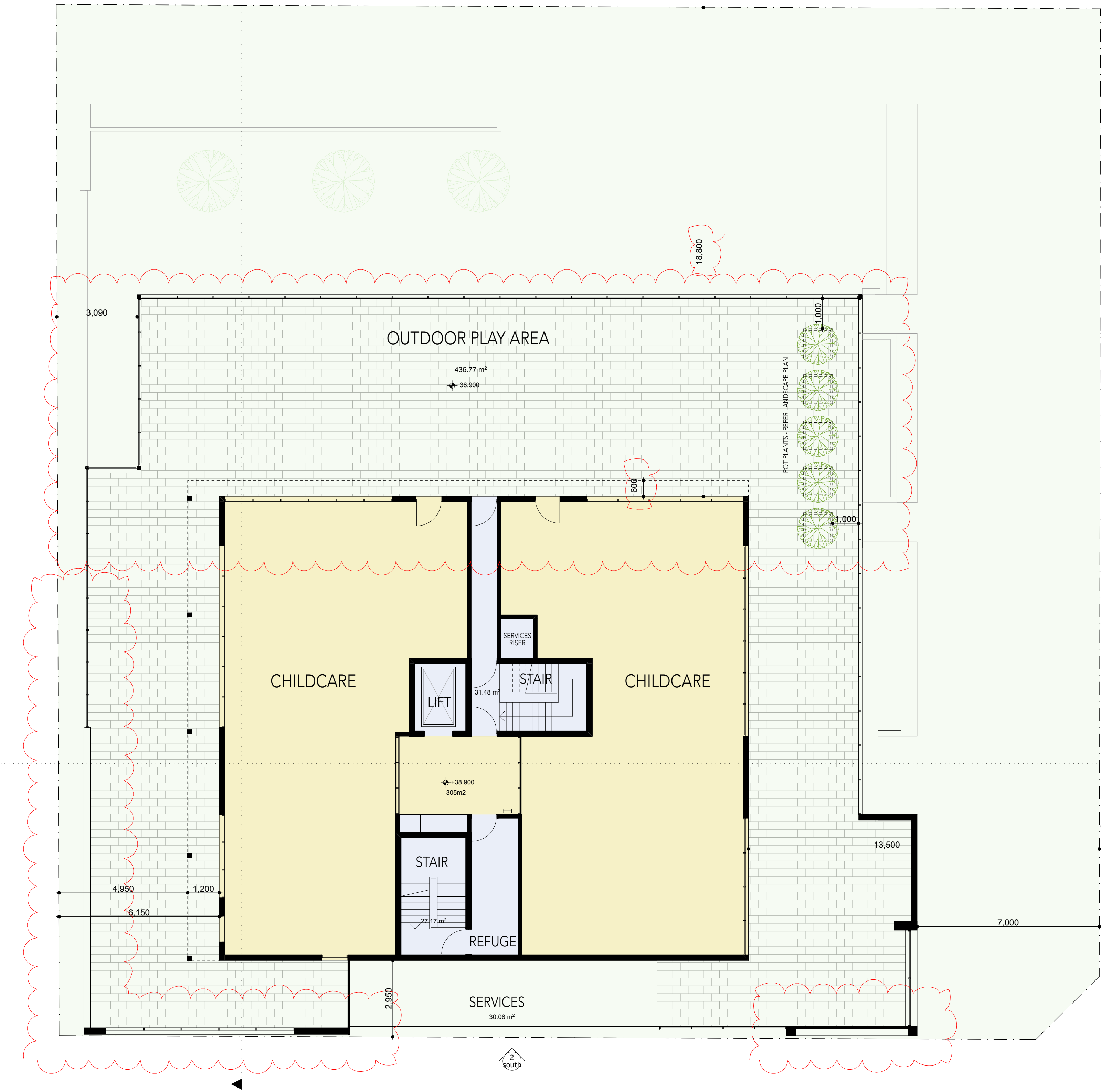
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Note Acoustic report

rail noise intrusion, building facade and glazing, mechanical plant noise generation, tenant noise generation, car park usage to align with acoustic report undertaken by Octave Acoustics - 4th September 2020

Note - Car Bays 40-51

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General Note:

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## Town Planning

Dwg No. TP07

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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BENDIGO AVE

THIRD FLOOR

SCALE 1:100

BREWER ROAD

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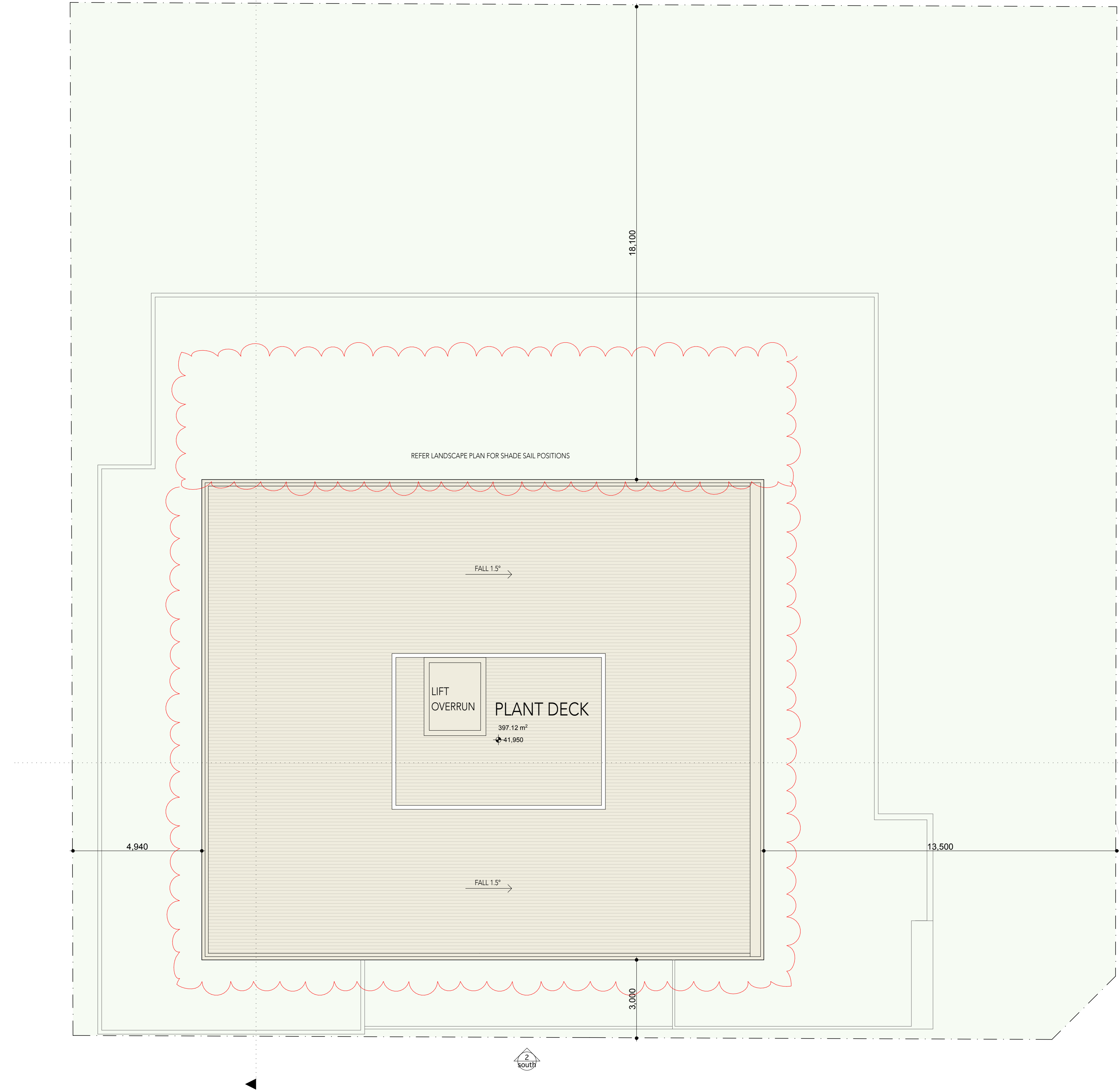
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ROOF FLOOR

SCALE 1:100

BREWER ROAD



Note Acoustic report

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Note - Car Bays 40-51

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\*\* Space 51 is to be dedicated as a Loading & Waste Collection bay between the times of 11am-3pm.

General Note:

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## Town Planning

Dwg No. TP08

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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**Notes**

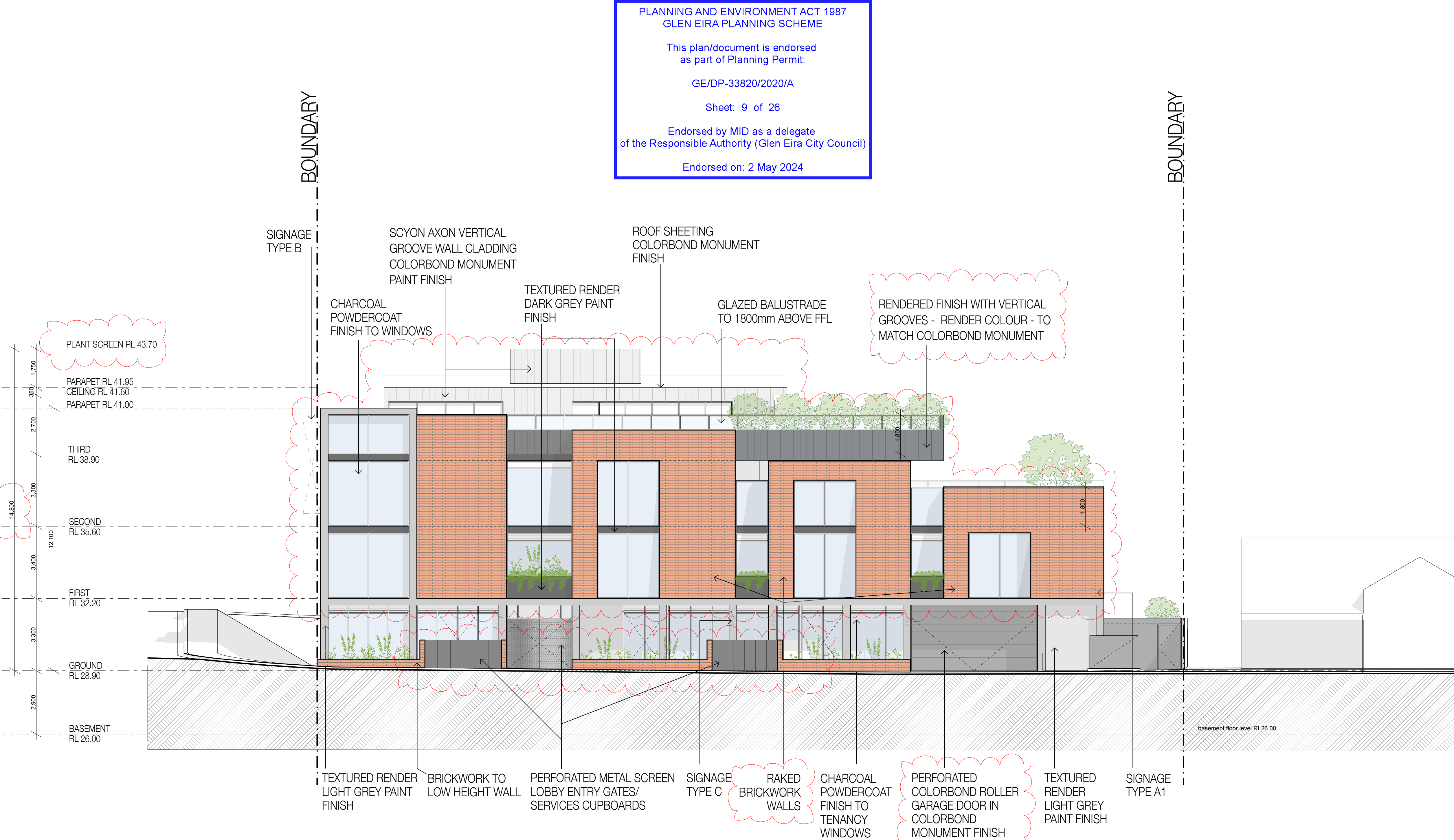
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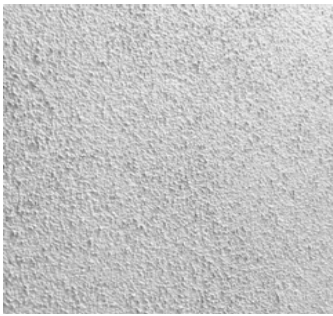


EAST ELEVATION

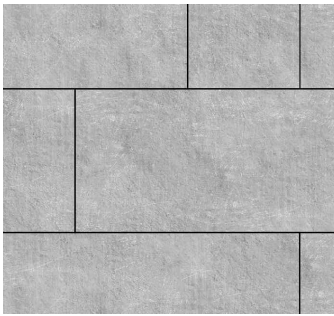
(BENDIGO AVENUE)

SCALE 1:100

MATERIAL  
PALETTE



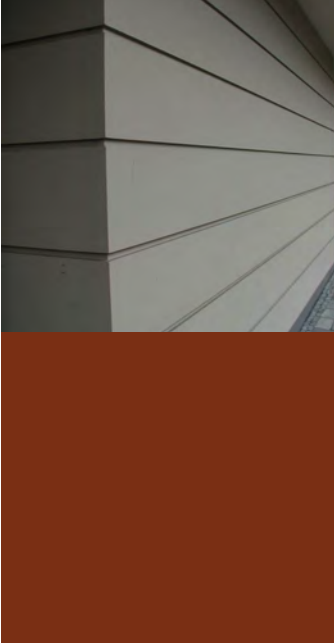
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FINISH



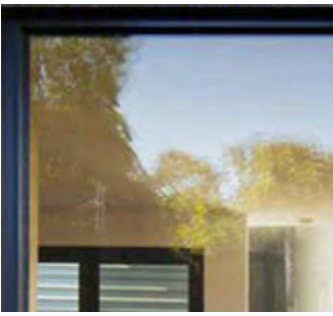
CONCRETE WALL WITH  
STAGGERED RECESSED  
GROOVE PATTERN AS  
SHOWN



STRETCHER BOND  
BRICKWORK:  
BURWOOD BLUE FINISH



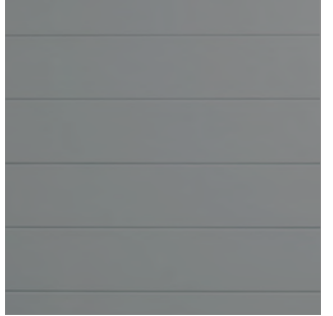
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HORIZONTAL GROOVES -  
RENDER COLOUR TO  
MATCH COLORBOND  
'TERRAIN'



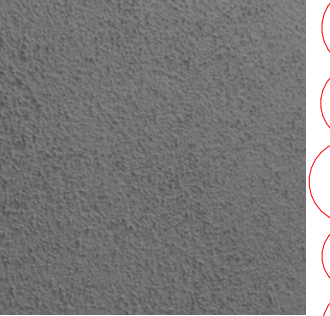
POWDERCOAT GLAZING  
PROFILES, CHARCOAL  
FINISH



JAMES HARDIE SCYON  
AXON VERTICAL GROOVE  
CLADDING: COLORBOND  
MONUMENT PAINT FINISH



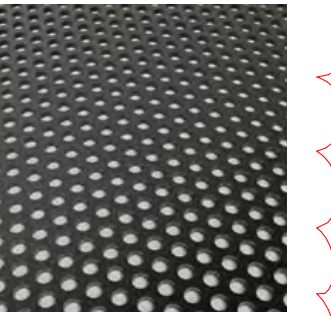
JAMES HARDIE STRIA  
CLADDING: DARK GREY  
PAINT FINISH



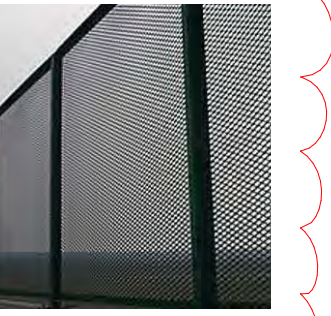
TEXTURED RENDER  
DARK GREY PAINT  
FINISH



RENDERED FINISH WITH  
VERTICAL GROOVES;  
RENDER COLOUR TO  
MATCH COLORBOND  
'MONUMENT'



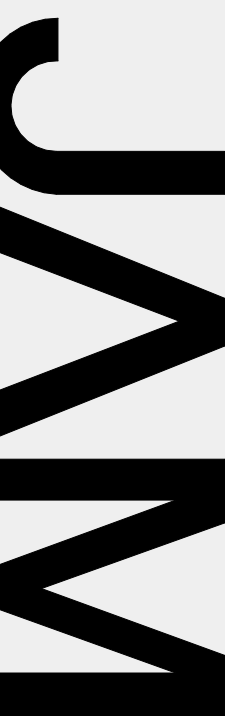
PERFORATED METAL  
SCREEN DARK GREY  
POWDERCOAT FINISH



WELDMESH SCREEN/  
FENCE - DARK GREY  
POWDERCOAT FINISH

General Note:  
All glazing, glazed balustrade/screening to be in accordance with Octave Acoustics acoustic report dated 4 September 2020





General Note:  
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WELDMESH SCREEN/  
FENCE - DARK GREY  
POWDERCOAT FINISH

General Note:  
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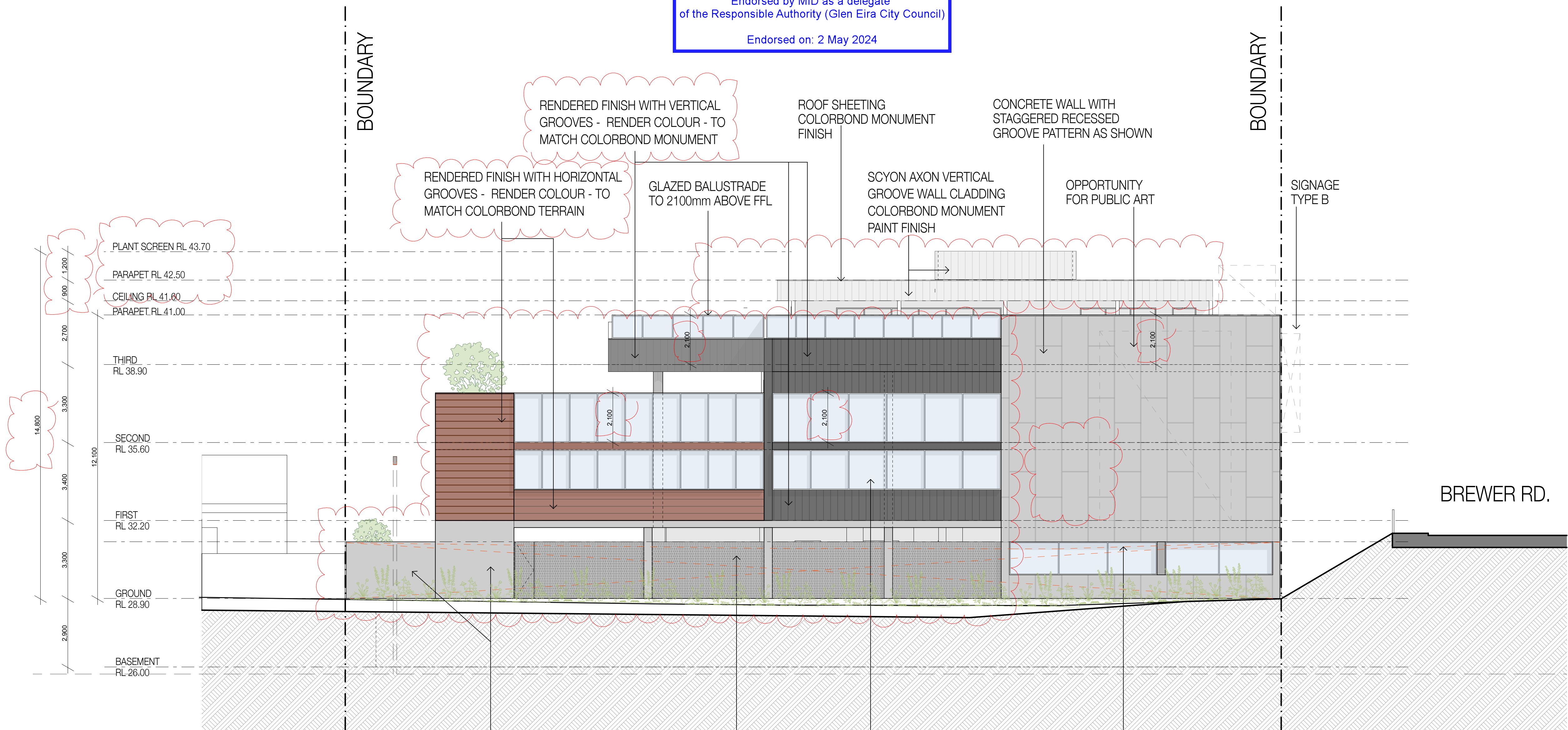
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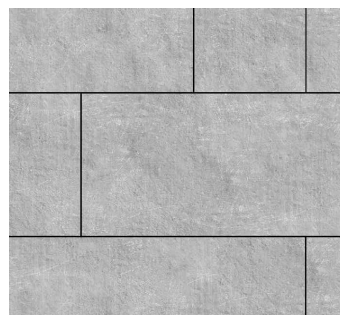
## WEST ELEVATION

SCALE 1:100

## MATERIAL PALETTE



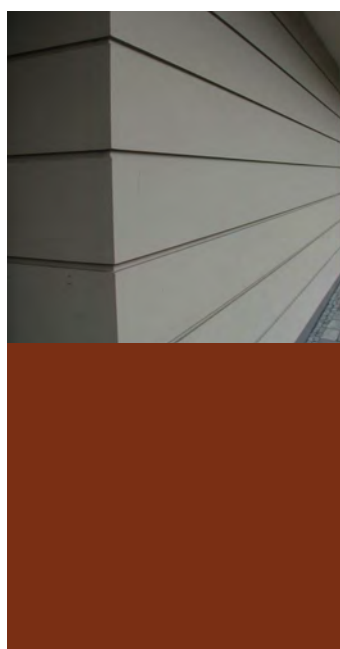
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LIGHT GREY PAINT  
FINISH



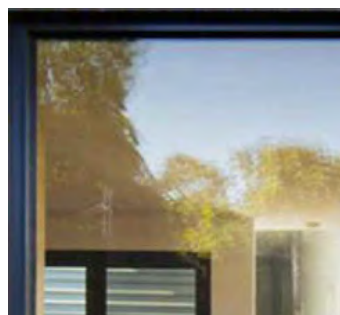
CONCRETE WALL WITH  
STAGGERED RECESSED  
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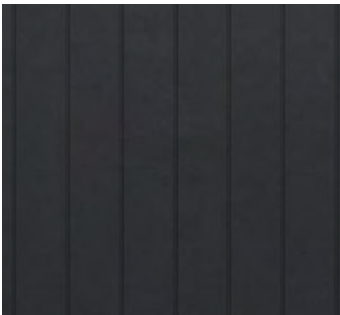
STRETCHER BOND  
BRICKWORK:  
BURWOOD BLUE FINISH



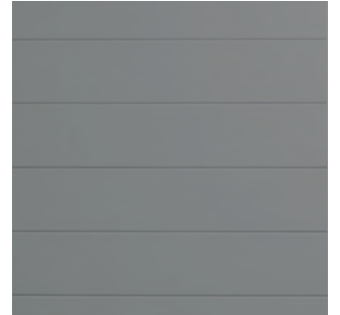
RENDERED FINISH WITH  
HORIZONTAL GROOVES -  
RENDER COLOUR TO  
MATCH COLORBOND  
'TERRAIN'



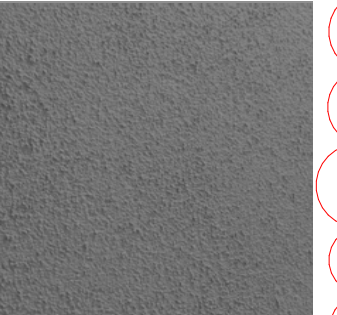
POWDERCOAT GLAZING  
PROFILES, CHARCOAL  
FINISH



JAMES HARDIE SCYON  
AXON VERTICAL GROOVE  
CLADDING: COLORBOND  
MONUMENT PAINT FINISH



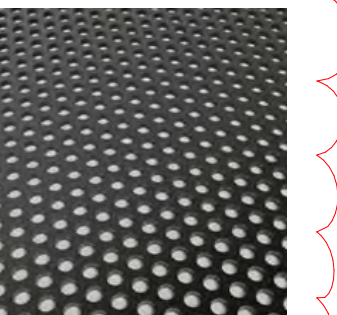
JAMES HARDIE STRIA  
CLADDING: DARK GREY  
PAINT FINISH



TEXTURED RENDER  
DARK GREY PAINT  
FINISH



RENDERED FINISH WITH  
VERTICAL GROOVES;  
RENDER COLOUR TO  
MATCH COLORBOND  
'MONUMENT'



PERFORATED METAL  
SCREEN DARK GREY  
POWDERCOAT FINISH



WELDMESH SCREEN/  
FENCE - DARK GREY  
POWDERCOAT FINISH

General Note:  
All glazing, glazed balustrade/screening to be in  
accordance with Octave Acoustics acoustic  
report dated 4 September 2020  
All windows to west facade to be fixed glass

JAM>rchitects

## Town Planning

Dwg No. TP11

Project No. 2150

Revision

Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

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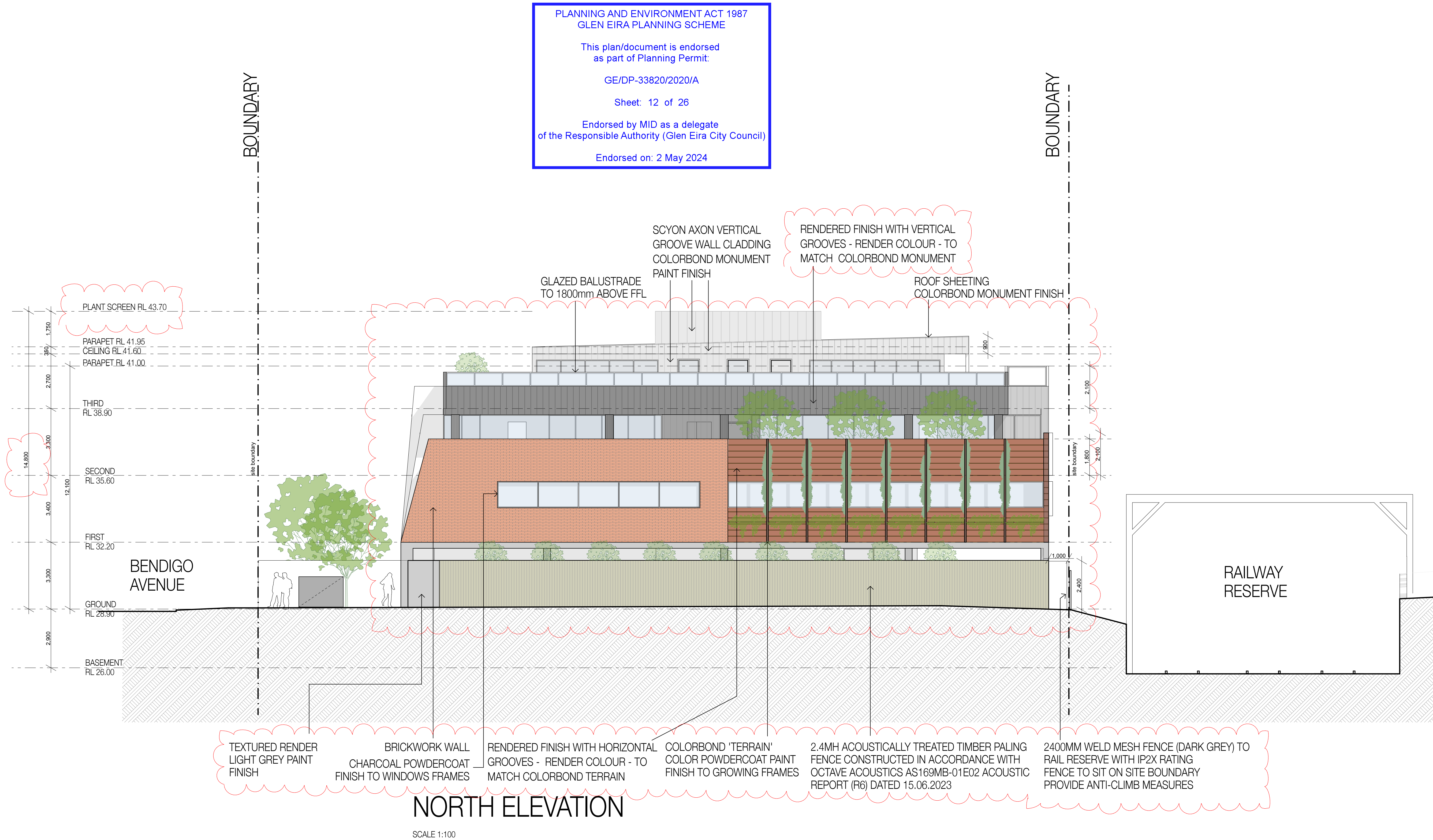
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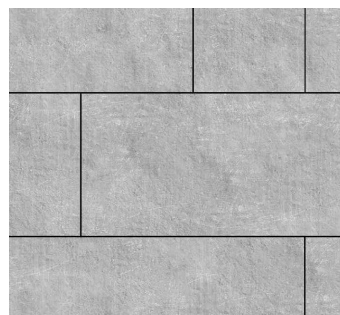
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MATERIAL PALETTE



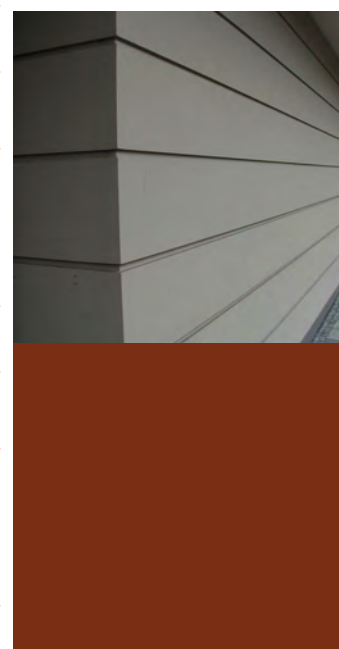
TEXTURED RENDER  
LIGHT GREY PAINT  
FINISH



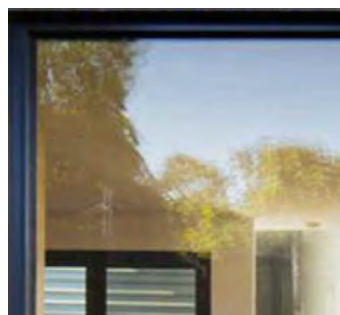
CONCRETE WALL WITH  
STAGGERED RECESSED  
GROOVE PATTERN AS  
SHOWN



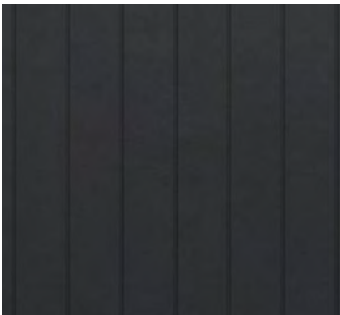
STRETCHER BOND  
BRICKWORK:  
BURWOOD BLUE FINISH



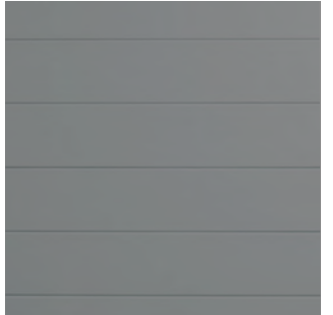
RENDERED FINISH WITH  
HORIZONTAL GROOVES -  
RENDER COLOUR TO  
MATCH COLORBOND  
'TERRAIN'



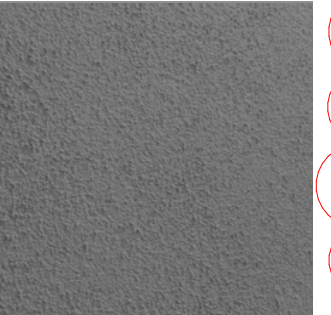
POWDERCOAT GLAZING  
PROFILES, CHARCOAL  
FINISH



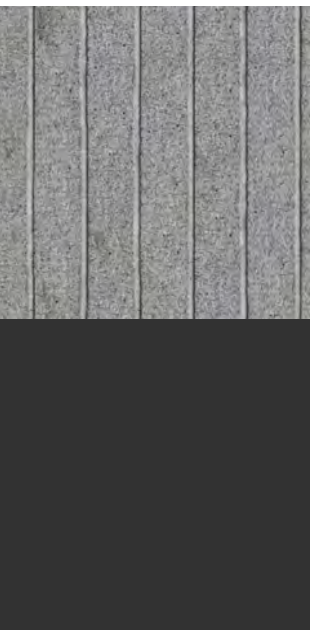
JAMES HARDIE SCYON  
AXON VERTICAL GROOVE  
CLADDING: COLORBOND  
MONUMENT PAINT FINISH



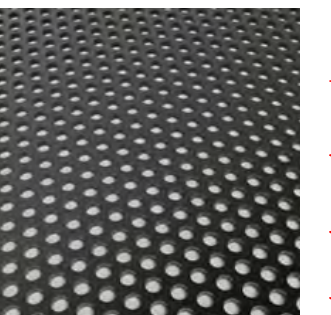
JAMES HARDIE STRIA  
CLADDING: DARK GREY  
PAINT FINISH



TEXTURED RENDER  
DARK GREY PAINT  
FINISH



RENDERED FINISH WITH  
VERTICAL GROOVES;  
RENDER COLOUR TO  
MATCH COLORBOND  
'MONUMENT'



PERFORATED METAL  
SCREEN DARK GREY  
POWDERCOAT FINISH



WELDMESH SCREEN/  
FENCE - DARK GREY  
POWDERCOAT FINISH

General Note:

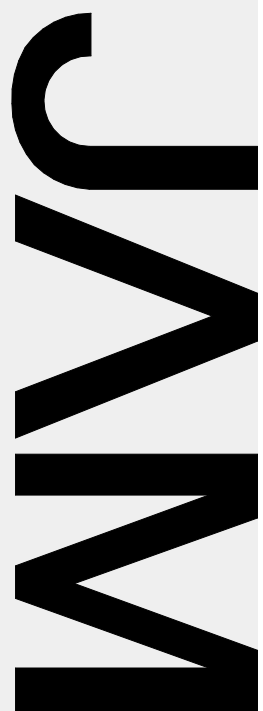
All glazing, glazed balustrade/screening to be in accordance with Octave Acoustics acoustic report dated 4 September 2020

Jam Architects Pty Ltd  
ABN 55 005 703 195

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jamarchitects.com.au





Town Planning

Dwg No. TP13

Project No. 2150

Revision

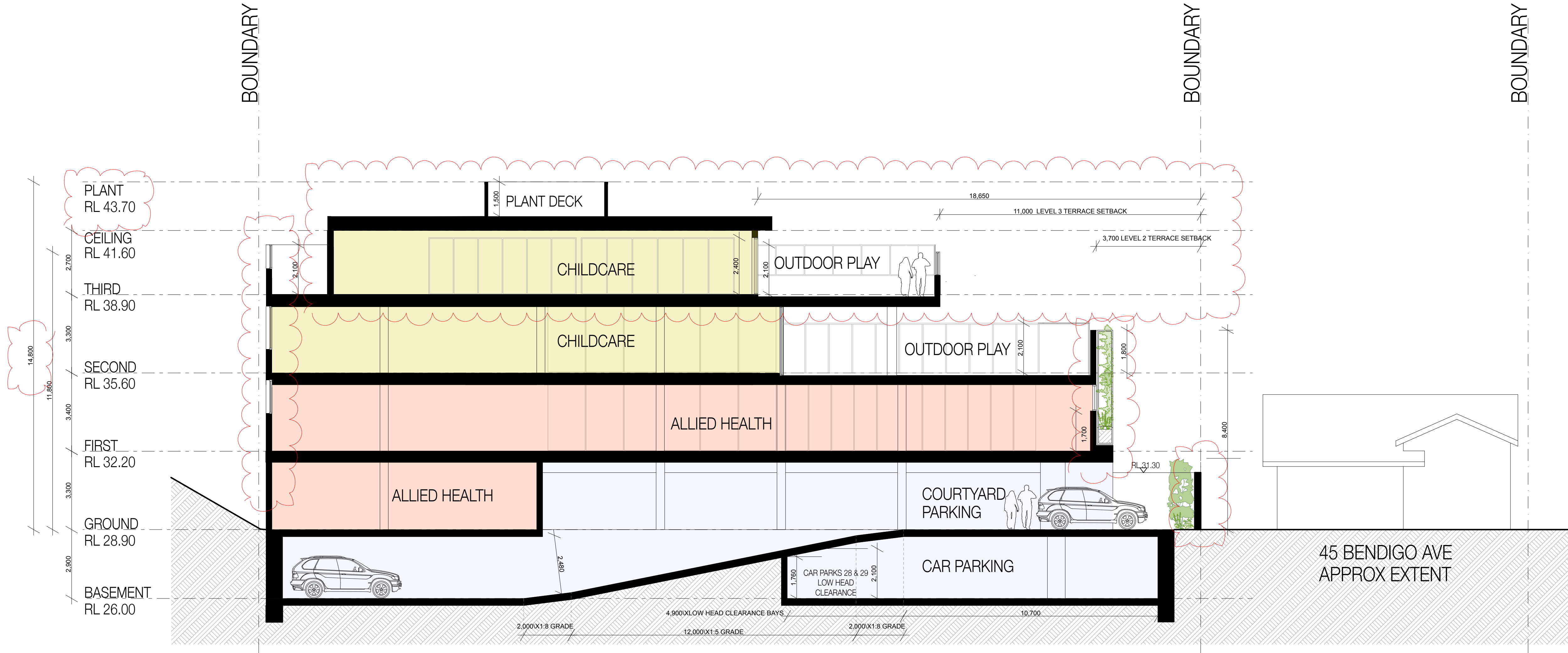
Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

**Notes**  
This drawing is based on preliminary information and requires further advice from professional consultants and is subject to approval from the relevant statutory authorities  
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DESIGN SECTION A

PLANNING AND ENVIRONMENT ACT 1987  
GLEN EIRA PLANNING SCHEME

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GE/DP-33820/2020/A

Sheet: 13 of 26

Endorsed by MID as a delegate  
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Endorsed on: 2 May 2024

General Note:  
All glazing, glazed balustrade/screening to be in  
accordance with Octave Acoustics acoustic  
report dated 4 September 2020

Town Planning

Dwg No. TP14

Project No. 2150

Revision

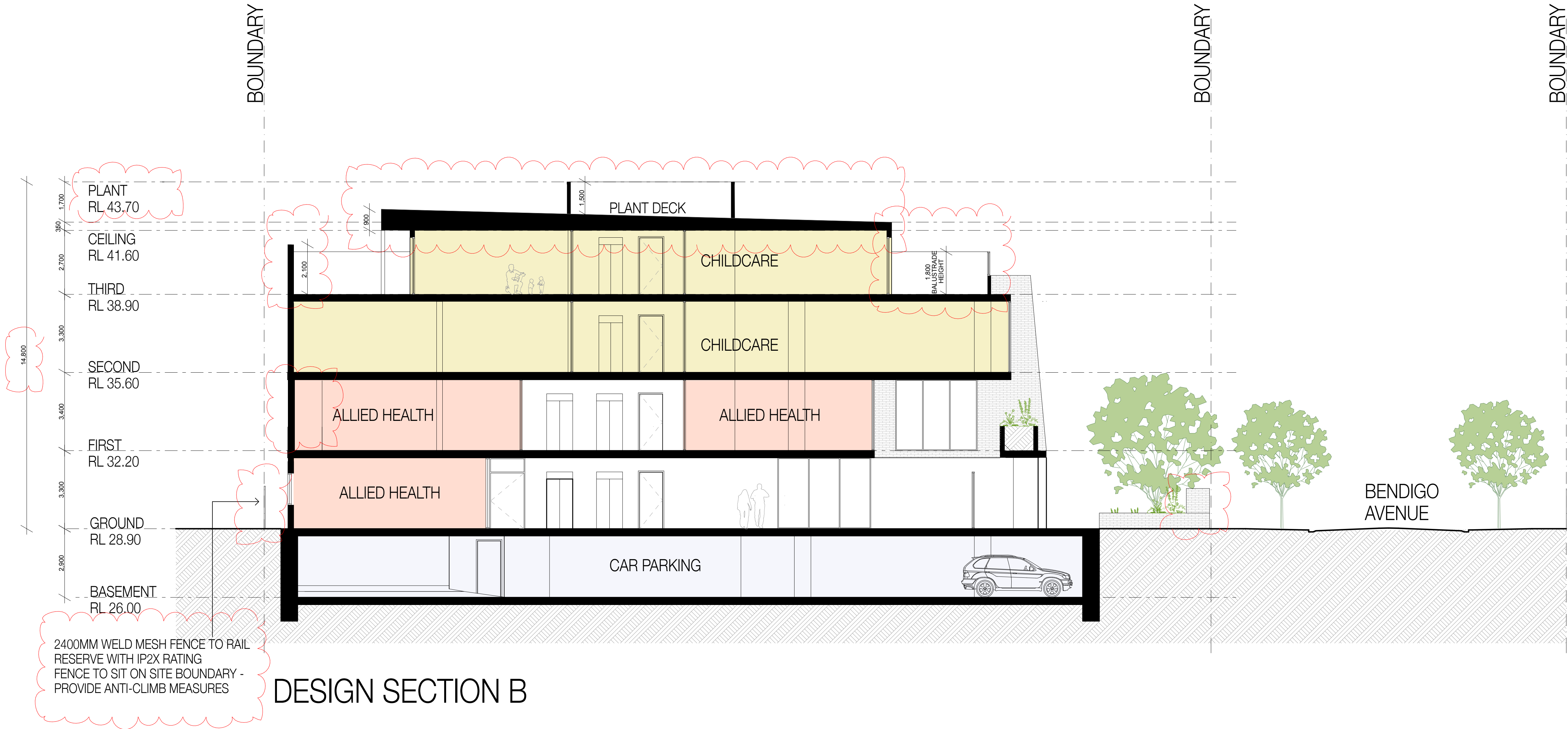
Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

**Notes**  
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Endorsed on: 2 May 2024

General Note:  
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Town Planning

|             |                               |
|-------------|-------------------------------|
| Dwg No.     | TP15                          |
| Project No. | 2150                          |
| Revision    |                               |
| Date        | 28/2/2024                     |
| Project     | Mixed Use Development         |
| Address     | 99 Brewer Road, Bentleigh VIC |
| Client      | Benewer Pty Ltd               |

**Notes**

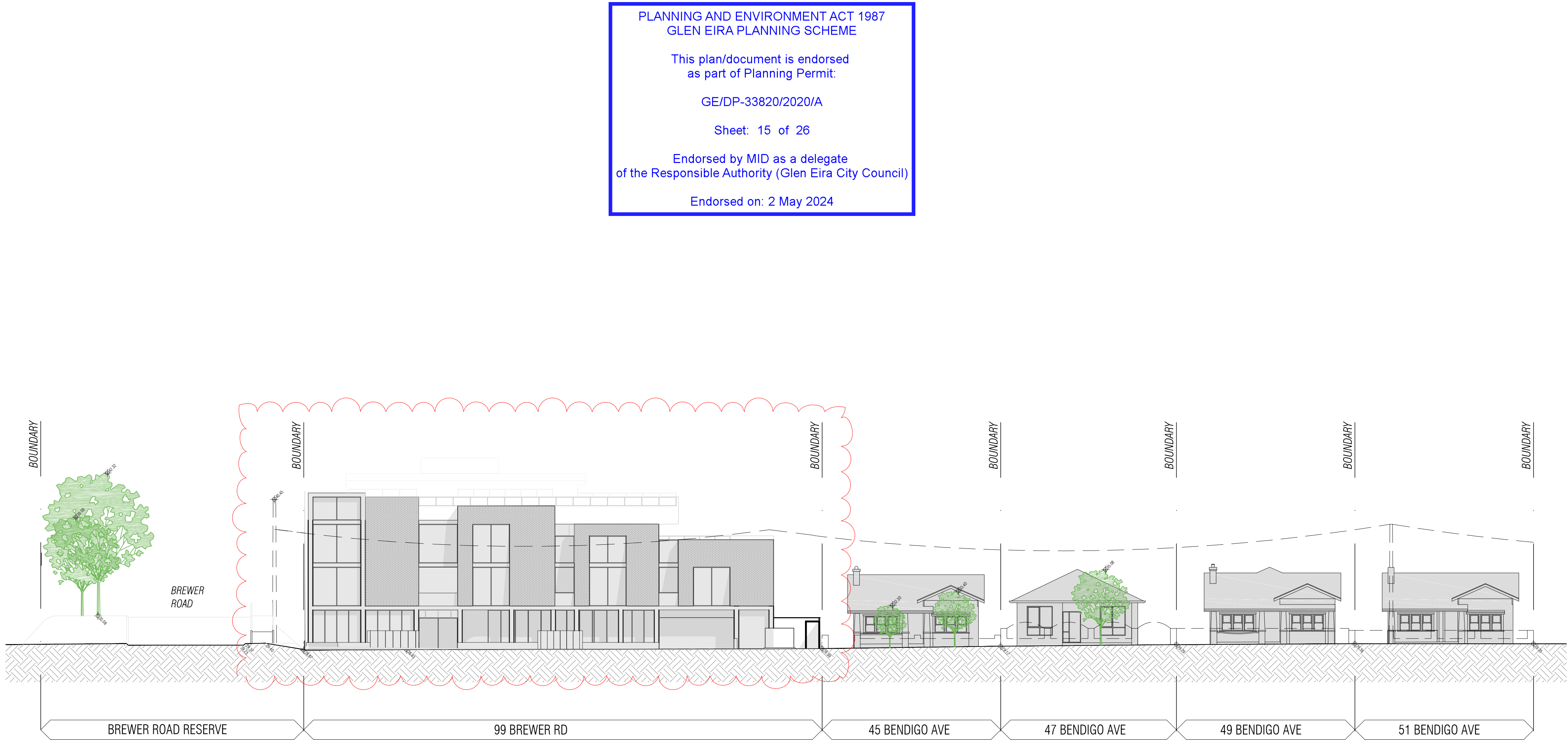
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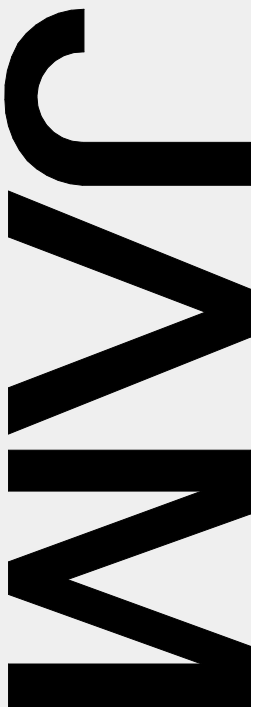
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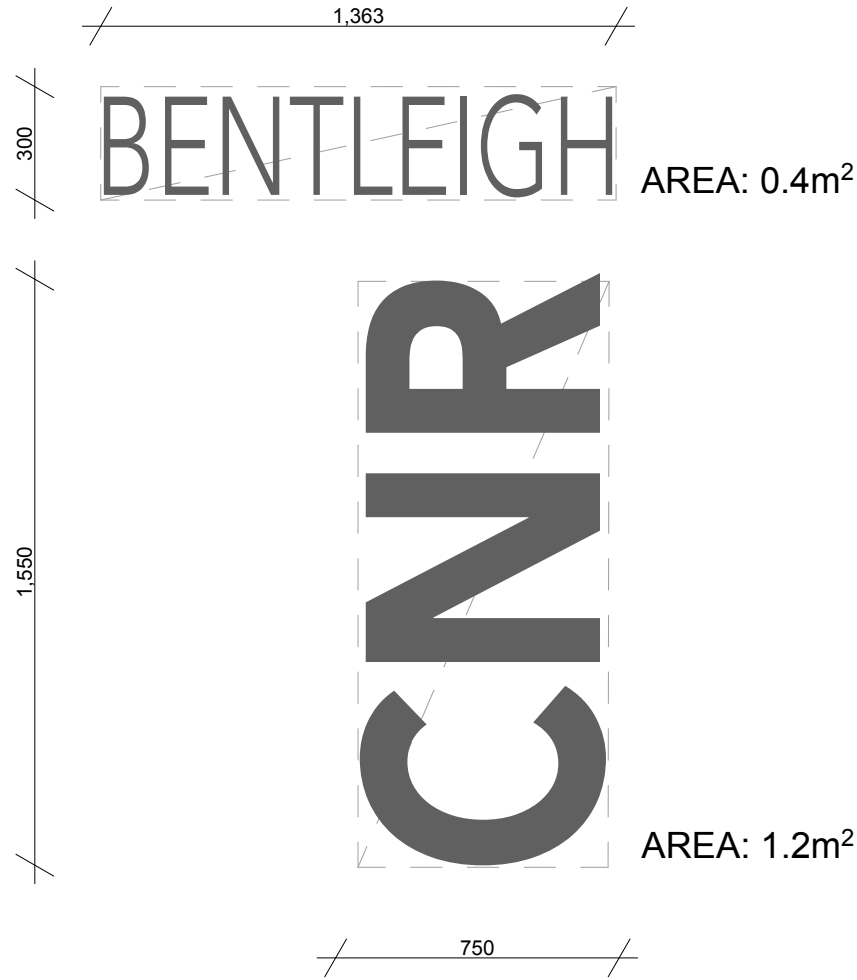
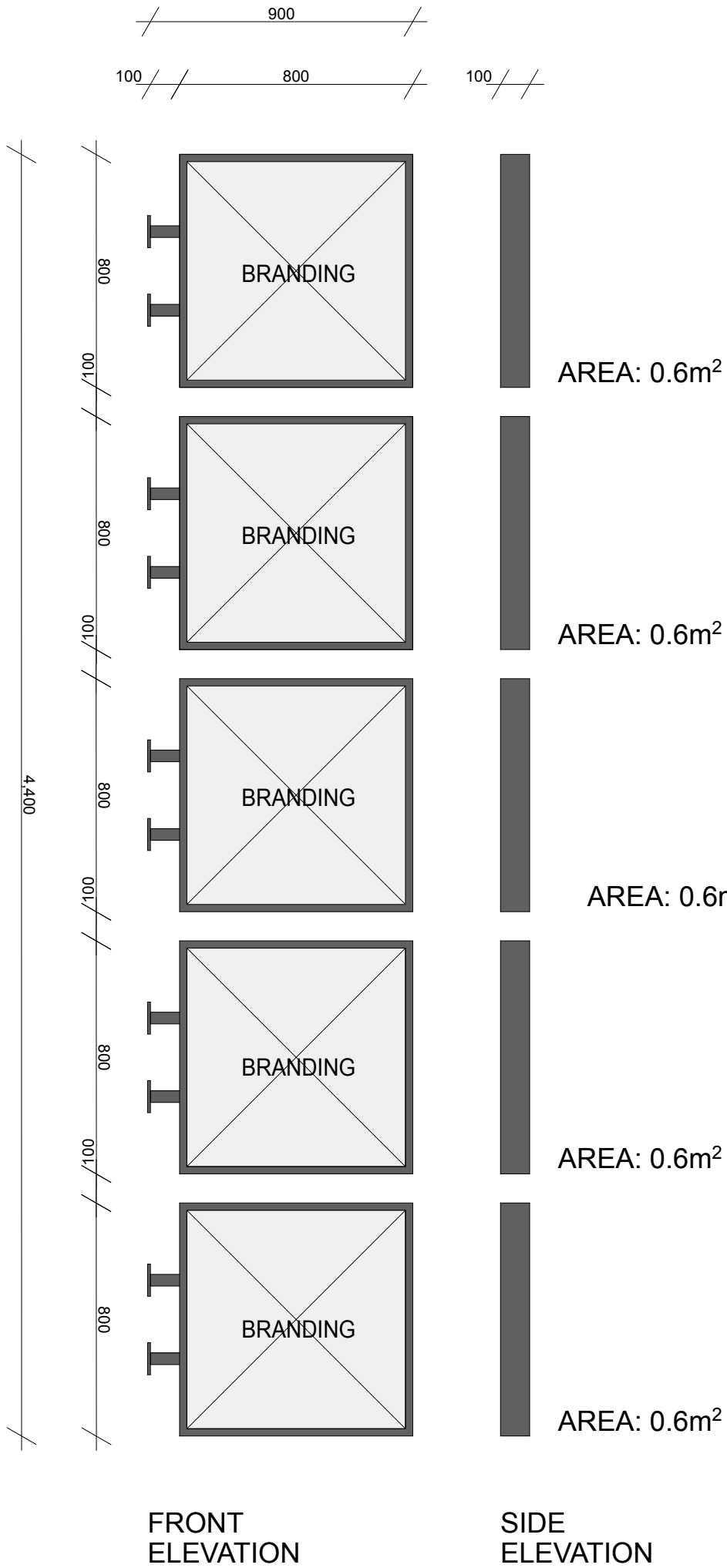
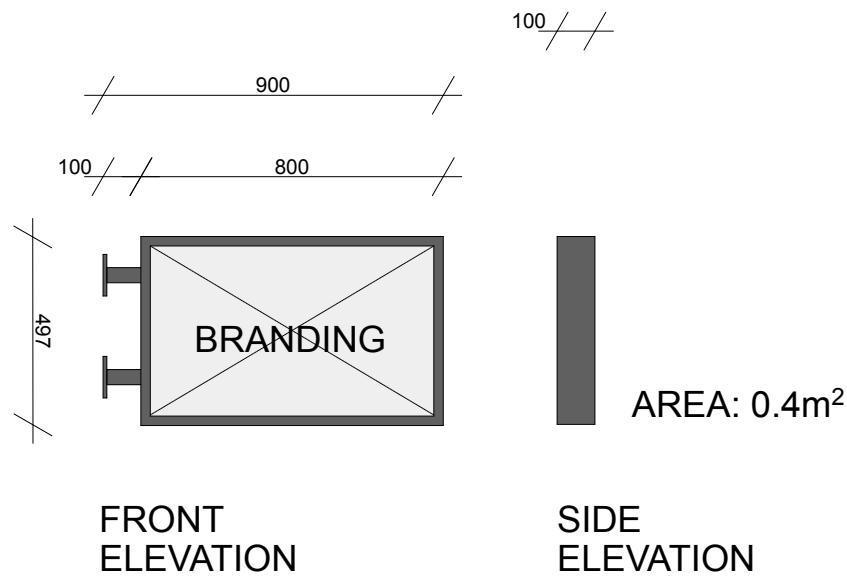
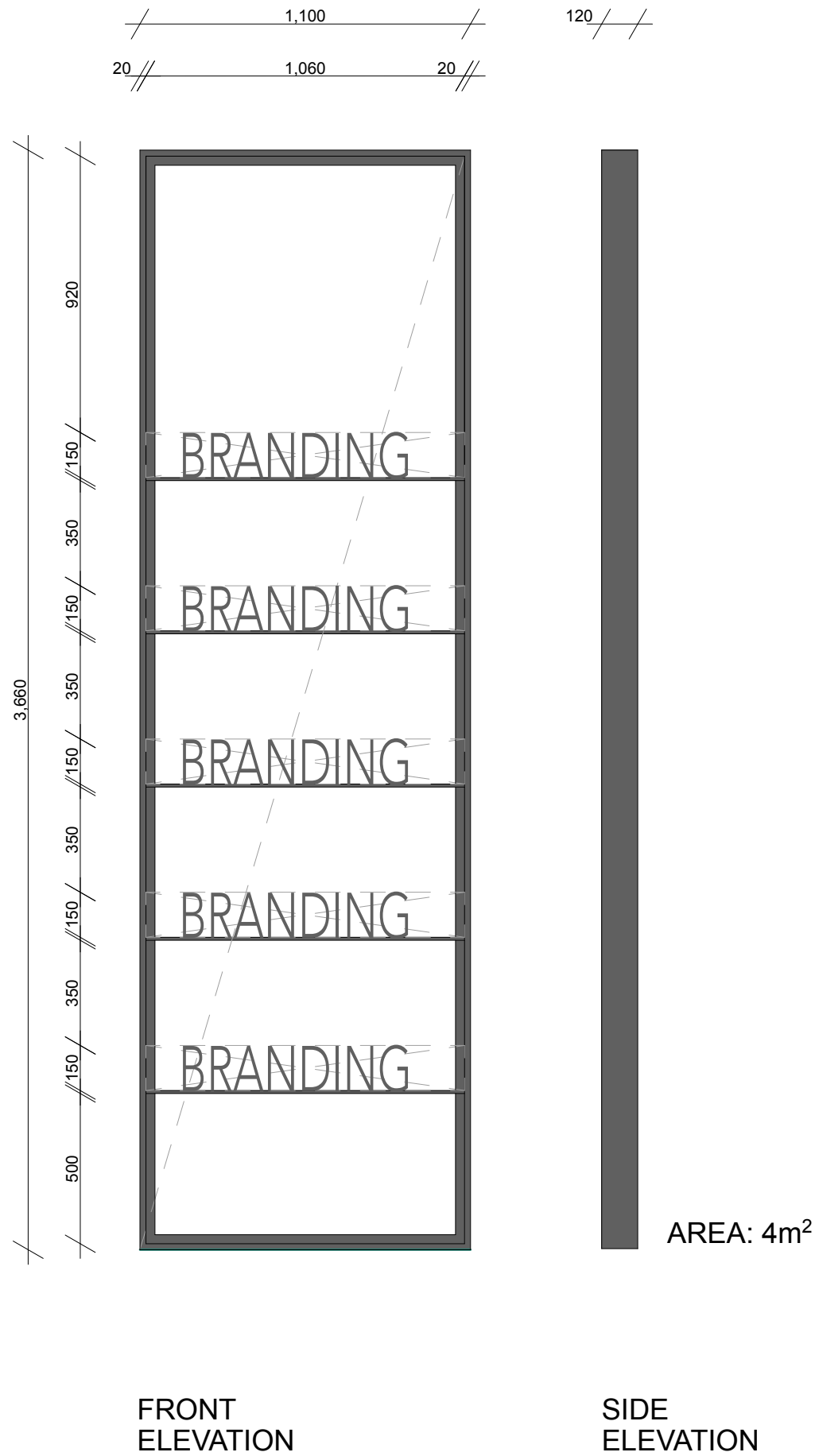
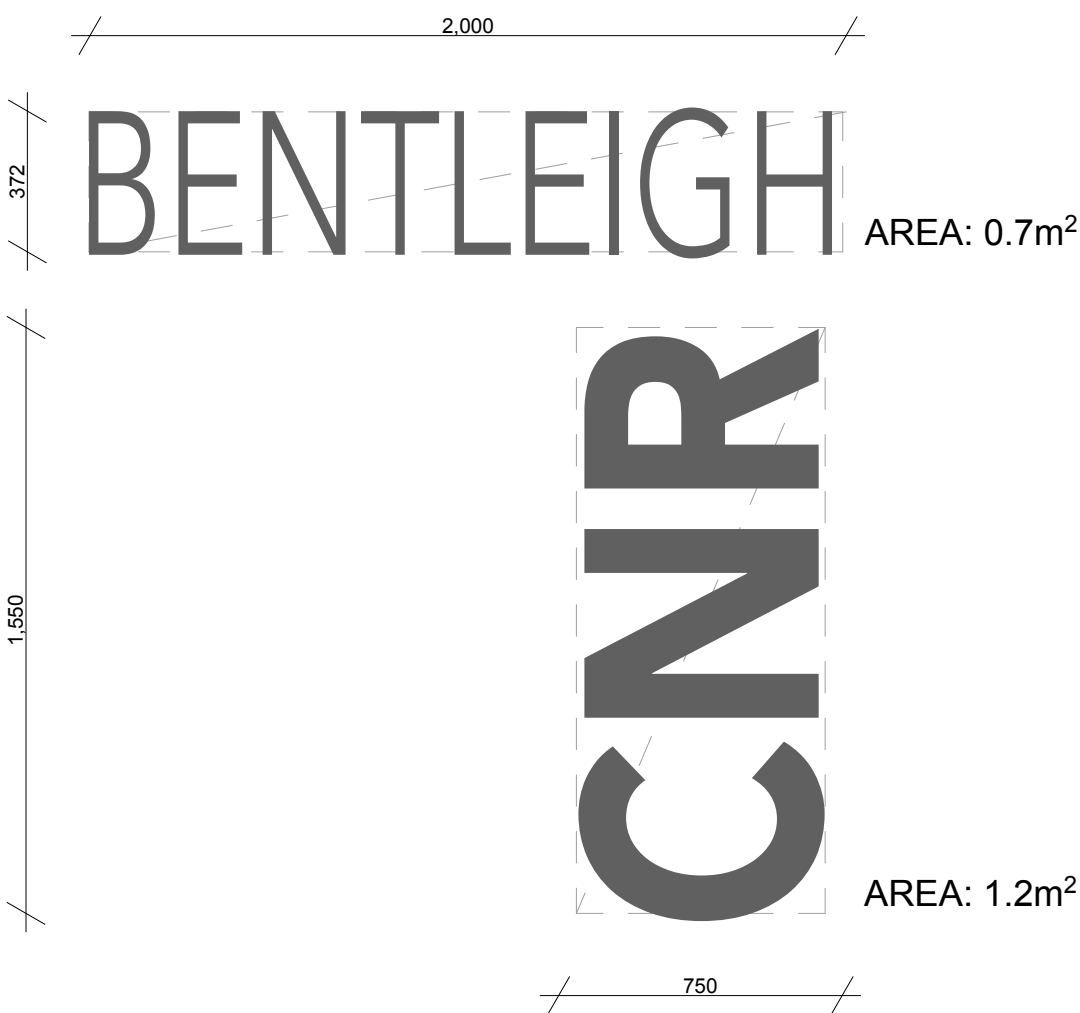


STREETSCAPE ELEVATION

General Note:

All glazing, glazed balustrade/screening to be in accordance with Octave Acoustics acoustic report dated 4 September 2020



| TYPE A: BUILDING IDENTITY  |   | TYPE B: HIGH LEVEL TENANCY   |  | TYPE C: PEDESTRIAN LEVEL TENANCY  |   | TYPE D: SITE DIRECTORY  |  |
|--|---|--|--|---|---|---|--|
| <div>TYPE A1 - 1x LOCATION</div> <div></div>    |   | <div>TYPE B - 1x LOCATION</div> <div></div> |  | <div>TYPE C - 4x LOCATIONS</div> <div></div> |   | <div>TYPE D - 1x LOCATION</div> <div></div> |  |
| OVERALL AREA   | 1.6m2   | OVERALL AREA   | 6m² (INC AREA TO BOTH SIDES OF SIGNS)  | OVERALL AREA  | 3.2m² (INC AREA TO BOTH SIDES OF SIGNS)                 | OVERALL AREA  | 4m²  |
| NOTES  | CHARCOAL POWDERCOAT FINISH TO LASER CUT LETTERS.<br>*BUILDING NAME IS A PLACEHOLDER ONLY AND TO BE CONFIRMED.       | NOTES  | DOUBLE SIDED LIGHT BOXES WITH CHARCOAL POWDERCOATED FRAMING. ARRANGED IN A VERTICAL FORMAT AS SHOWN. | NOTES   | DOUBLE SIDED LIGHT BOX WITH CHARCOAL POWDERCOATED FRAME | NOTES   | CHARCOAL POWDERCOAT FINISH TO METAL ARCH WITH FREE STANDING LASER-CUT TENANCY LETTERS. |
| <div>TYPE A2 - 2x LOCATIONS</div> <div></div> |   |  |  |   |   |   |  |
| OVERALL AREA   | 3.8m²   | OVERALL AREA   | 6m² (INC AREA TO BOTH SIDES OF SIGNS)  | OVERALL AREA  | 3.2m² (INC AREA TO BOTH SIDES OF SIGNS)                 | OVERALL AREA  | 4m²  |
| NOTES  | CHARCOAL POWDERCOAT FINISH TO LASER-CUT METAL LETTERS.<br>*BUILDING NAME IS A PLACEHOLDER ONLY AND TO BE CONFIRMED. | NOTES  | DOUBLE SIDED LIGHT BOXES WITH CHARCOAL POWDERCOATED FRAMING. ARRANGED IN A VERTICAL FORMAT AS SHOWN. | NOTES   | DOUBLE SIDED LIGHT BOX WITH CHARCOAL POWDERCOATED FRAME | NOTES   | CHARCOAL POWDERCOAT FINISH TO METAL ARCH WITH FREE STANDING LASER-CUT TENANCY LETTERS. |

OVERALL TOTAL SIGNAGE AREA: 15.4m2

PLANNING AND ENVIRONMENT ACT 1987  
GLEN EIRA PLANNING SCHEME

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Sheet: 16 of 26

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Endorsed on: 2 May 2024

General Note:

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Notes

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Dwg No. TP17

Project No. 2150

Revision

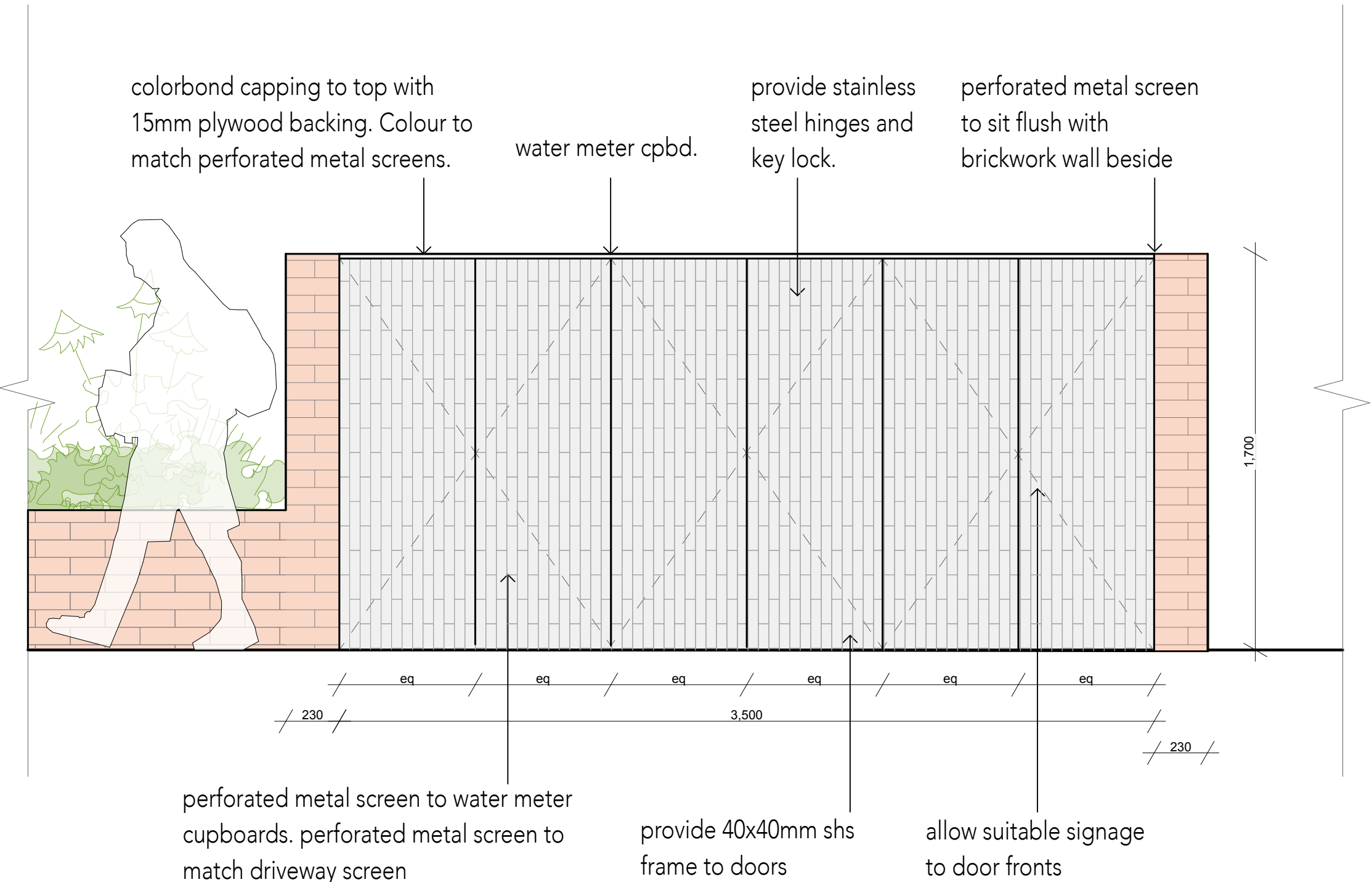
Date 28/2/2024

Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

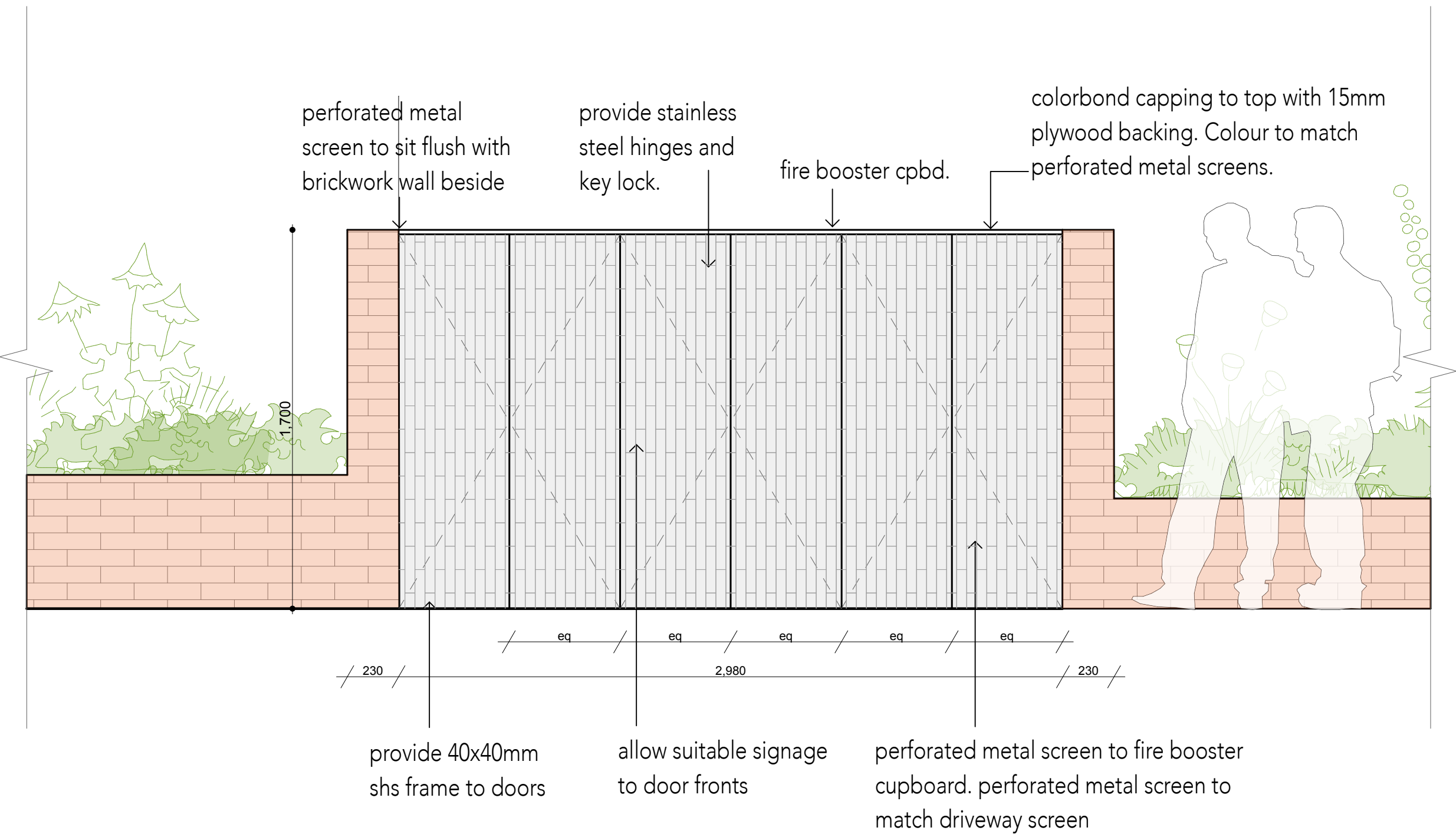
Client Benewer Pty Ltd

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## WATER METER CUPBOARD ELEVATION

SCALE 1:20



## FIRE BOOSTER CUPBOARD ELEVATION

SCALE 1:20

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GLEN EIRA PLANNING SCHEME

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GE/DP-33820/2020/A

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Endorsed on: 2 May 2024

**General Note:**  
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Level 2  
7 Howard Street  
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Newtown 3220  
Victoria Australia

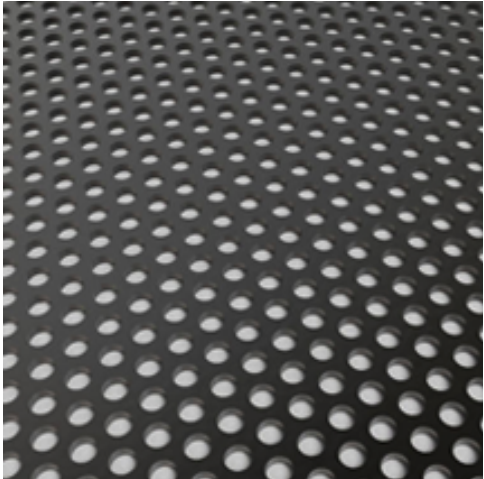
+61 3 94297744  
info@jamarchitects.com.au  
jamarchitects.com.au

JAM



99 BREWER ROAD, BENTLEIGH - MATERIALS PALETTE

PERFORATED METAL  
SCREEN DARK GREY  
POWDERCOAT FINISH



WELDMESH SCREEN/  
FENCE - DARK GREY  
POWDERCOAT FINISH



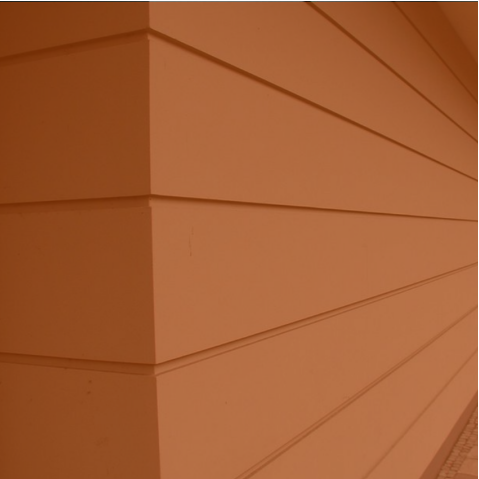
JAMES HARDIE SCYON  
AXON VERTICAL GROOVE  
CLADDING: COLORBOND  
MONUMENT PAINT FINISH



JAMES HARDIE STRIA  
CLADDING: DARK GREY  
PAINT FINISH



RENDERED FINISH WITH  
HORIZONTAL GROOVES -  
RENDER COLOUR TO  
MATCH COLORBOND  
'TERRAIN'



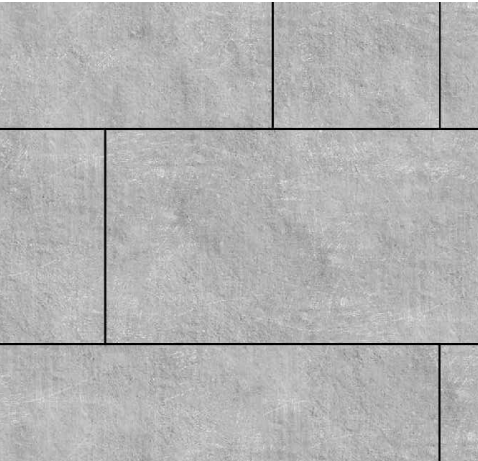
RENDERED FINISH WITH  
VERTICAL GROOVES;  
RENDER COLOUR TO  
MATCH COLORBOND  
'MONUMENT'



TEXTURED RENDER LIGHT  
GREY PAINT FINISH



CONCRETE WALL WITH  
STAGGERED RECESSED  
GOOVE PATTERN



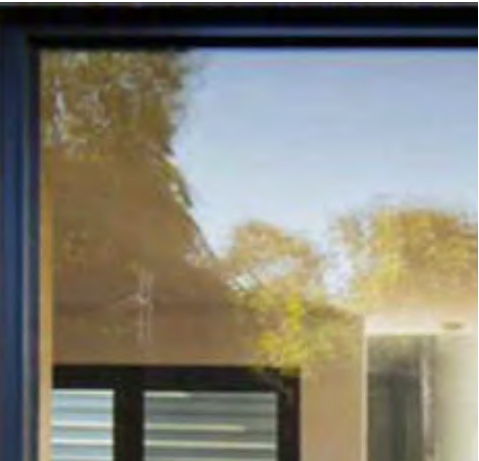
FACE BRICKWORK WITH  
STRETCHER BOND PATTERN  
'NUBRICK BURWOOD BLUE'



TEXTURED RENDER  
DARK GREY PAINT  
FINISH



POWDER COATED FRAMES  
TO GLAZING, CHARCOAL  
FINISH



Notes

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Project Mixed Use Development

Address 99 Brewer Road, Bentleigh VIC

Client Benewer Pty Ltd

Date 29.01.2024 Drawn

Dwg No.

Project No. 2150

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GLEN EIRA PLANNING SCHEME

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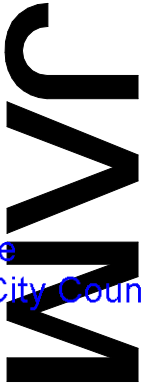
Sheet: 18 of 26

JAMrchitects

TP18 Endorsed by MLC as a delegate  
of the Responsible Authority (Glen Eira City Council)

Endorsed on: 2 May 2024

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E info@jamarchitects.com.au  
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Richmond Victoria 3121  
Suite 2, 400 Bakington Street  
Newtown Victoria 3060



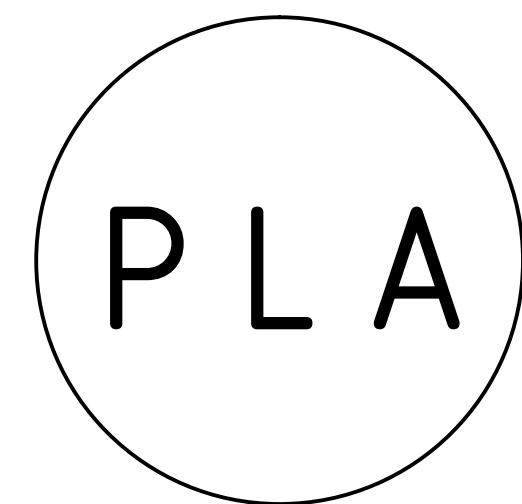


RAINGARDEN TO EDGE  
OF CAR PARK AREA  
> REFER TO CIVIL PLANS FOR  
DRAINAGE LAYOUT & DETAILS

COMPACTED CRUSHED ROCK  
MAINTENANCE ACCESS PATHS  
> TO COUNCIL REQUIREMENTS

SITE BOUNDARY  
(RED DASHED LINE)

CONCRETE SIDE ACCESS  
PATHS TO COUNCIL  
REQUIREMENTS



PENINSULA  
LANDSCAPE  
ARCHITECTS

RESIDENTIAL & COMMERCIAL  
LANDSCAPE ARCHITECTURE

PUBLIC & PRIVATE OPEN SPACE MASTERPLANS  
CONTEMPORARY LANDSCAPE DESIGN  
TOWN PLANNING & LA CONSTRUCTION

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DANIEL LENKO (M.La.Arch) | M: 0432 615 647

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| A      | 18/03/22 | LA DESIGN PACKAGE | DL |
| B      | 08/04/22 | LA DESIGN PACKAGE | DL |
| C      | 14/04/22 | LA DESIGN PACKAGE | DL |
| D      | 10/05/22 | LA DESIGN PACKAGE | DL |
| E      | 24/05/22 | LA DESIGN PACKAGE | DL |
| F      | 10/08/22 | LA DESIGN PACKAGE | DL |
| G      | 06/09/22 | LA DESIGN PACKAGE | DL |
| H      | 01/03/23 | LA DESIGN PACKAGE | DL |
| I      | 16/03/23 | LA DESIGN PACKAGE | DL |

| ISSUE: | DATE:    | REVISION:         |    |
|--------|----------|-------------------|----|
| J      | 14/06/23 | LA DESIGN PACKAGE | DL |
| K      | 01/03/24 | LA DESIGN PACKAGE | DL |
| L      | 01/03/24 | LA DESIGN PACKAGE | DL |

H.CO

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PLA PROJECT:  
COMMERCIAL LANDSCAPE DESIGN

SITE ADDRESS:  
99 BREWER ROAD,  
BENTLEIGH, VIC

PAGE TITLE:  
SETOUT PLAN (GROUND FLOOR)

PROJECT DATE:  
MAR 2022

CLIENT:  
H.CO PROPERTY

PLA JOB REFERENCE:  
21-2371

NORTH POINT:  
SCALE:  
1: 100 @ A1  
1: 200 @ A3

REVISION: L  
PAGE: L1

## LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED DECIDUOUS TREE, EVERGREEN TREE,  
TREE LOCATOR SYMBOL & SPECIFIC PLANT CODE.  
> ALL TREES PLANTED WITHIN MULCHED RINGS  
> REFER TO LANDSCAPE PACKAGE FOR PLANT SCHEDULE  
& ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED MULCHED GARDEN BEDS  
> REFER TO PLANT CODE, PLANT SCHEDULE  
& ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED RAINGARDEN  
> REFER TO PLANT CODE, PLANT SCHEDULE  
& ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED COMPACTED CRUSHED ROCK PATHWAY  
> BAINSDALE TOPPINGS OR APPROVED SIMILAR  
> REFER TO LANDSCAPE INSTALLATION DETAILS
- PROPOSED PLAIN CONCRETE OR EXPOSED AGGREGATE  
DRIVEWAY / PATHS (REFER TO ARCHITECTURAL PLANS)  
> COLOUR & MIX TBC BY CLIENT PRIOR TO INSTALL
- PROPOSED FEATURE PAVED AREAS  
> COLOUR & FINISH REFER TO ARCHITECTURAL PLANS
- PROPOSED LIGHT GREY FEATURE IN-SITU CONCRETE  
BENCH SEATING TO CAFE & THOROUGHFARE INTERFACE  
> POLISH & SEALED FINISH BY 'CONCRETE ARCHITECTURE'  
> REFER TO LANDSCAPE INSTALLATION DETAILS  
> COLOUR, MIX & FINISH TBC BY CLIENT PRIOR TO INSTALL
- FEATURE LANDSCAPE ROCK BOULDERS  
> VARYING SIZES: (MEDIUM - XLARGE)  
> GRANITE OR HILLVIEW QUARRIES
- EXISTING SITE BOUNDARY  
> SCOPE OF WORKS WITHIN THIS BOUNDARY
- EXTENT OF LANDSCAPE WORKS  
OR PAGE MATCHLINE

NOTE:  
SERVICE LOCATIONS ARE INDICATIVE ONLY. SERVICE LOCATION  
MUST BE VERIFIED ON SITE BY LANDSCAPE CONTRACTOR AND  
CHECKED WITH THE RESPONSIBLE AUTHORITY PRIOR TO  
COMMENCING WORK. VERIFY ALL LEVELS AND DIMENSIONS ON  
SITE PRIOR TO COMMENCING WORK.

— GAS  
— RECYCLED WATER  
— WATER  
— TELECOM  
— ELECTRICITY  
— STORMWATER DRAIN & PIT  
— SEWER & PIT

NOTE:  
TO HELP ENSURE A SUCCESSFUL DESIGN OUTCOME,  
PENINSULA LANDSCAPE ARCHITECTS (PLA) CAN  
ASSIST YOU BY PROVIDING AN ITEMISED LANDSCAPE  
COSTING, OVERSEE LANDSCAPE CONSTRUCTION,  
SETOUT GARDEN LIGHTING & SPECIAL ORDER ALL  
UNIQUE ARTWORK & FEATURE PLANTS.  
PLEASE FEEL FREE TO CONTACT PLA ANYTIME TO  
ORGANISE A SITE MEETING & DISCUSS FURTHER.

DANIEL LENKO | PRINCIPAL LANDSCAPE ARCHITECT  
info@peninsulalandscape.com.au  
0432 615 647

PLANNING AND ENVIRONMENT ACT 1987  
GLEN EIRA PLANNING SCHEME

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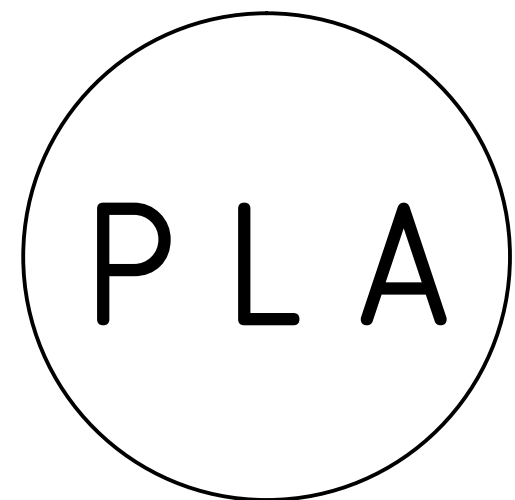
GE/DP-33820/2020/A

Sheet: 19 of 26

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Endorsed on: 2 May 2024





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| L      | 01/03/24 | LA DESIGN PACKAGE | DL |

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PLA PROJECT:  
COMMERCIAL LANDSCAPE DESIGN

SITE ADDRESS:

99 BREWER ROAD,  
BENTLEIGH, VIC

PAGE TITLE:

PLANTING PLAN 1. (GROUND FLOOR)

PROJECT DATE:  
MAR 2022

CLIENT:

H.CO PROPERTY

PLA JOB REFERENCE:

21-2371

NORTH POINT:  
SCALE:

1: 100 @ A1  
1: 200 @ A3

REVISION:

L  
PAGE: L2

## LEGEND

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- PROPOSED DECIDUOUS TREE, EVERGREEN TREE, TREE LOCATOR SYMBOL & SPECIFIC PLANT CODE.  
> ALL TREES PLANTED WITHIN MULCHED RINGS  
> REFER TO LANDSCAPE PACKAGE FOR PLANT SCHEDULE & ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED MULCHED GARDEN BEDS  
> REFER TO PLANT CODE, PLANT SCHEDULE & ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED RAINGARDEN  
> REFER TO PLANT CODE, PLANT SCHEDULE & ALL LANDSCAPE INSTALLATION DETAILS
- PROPOSED COMPACTED CRUSHED ROCK PATHWAY  
> BAINSDALE TOPPING OR APPROVED SIMILAR  
> REFER TO LANDSCAPE INSTALLATION DETAILS
- PROPOSED PLAIN CONCRETE OR EXPOSED AGGREGATE DRIVEWAY / PATHS (REFER TO ARCHITECTURAL PLANS)  
> COLOUR & MIX TBC BY CLIENT PRIOR TO INSTALL
- PROPOSED FEATURE PAVED AREAS  
> COLOUR & FINISH REFER TO ARCHITECTURAL PLANS
- PROPOSED LIGHT GREY FEATURE IN-SITU CONCRETE BENCH SEATING TO CAFE & THOROUGHFARE INTERFACE  
> POLISH & SEALED FINISH BY "CONCRETE ARCHITECTURE"  
> REFER TO LANDSCAPE INSTALLATION DETAILS  
> COLOUR, MIX & FINISH TBC BY CLIENT PRIOR TO INSTALL
- FEATURE LANDSCAPE ROCK BOULDERS  
> VARYING SIZES: (MEDIUM - XLARGE)  
> GRANITE OR HILLVIEW QUARRIES
- EXISTING SITE BOUNDARY  
> SCOPE OF WORKS WITHIN THIS BOUNDARY
- EXTENT OF LANDSCAPE WORKS OR PAGE MATCHLINE

NOTE:  
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- GAS
- RECYCLED WATER
- WATER
- TELECOM
- ELECTRICITY
- STORMWATER DRAIN & PIT
- SEWER & PIT

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0432 615 647

PLANNING AND ENVIRONMENT ACT 1987  
GLEN EIRA PLANNING SCHEME

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Sheet: 20 of 26


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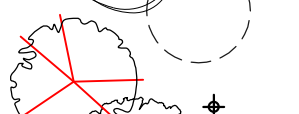
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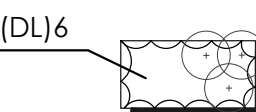


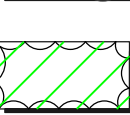
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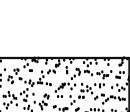
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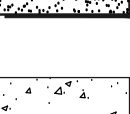
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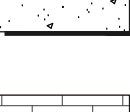
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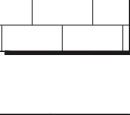
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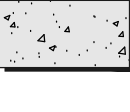
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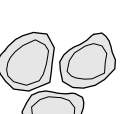
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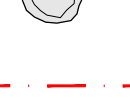
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
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
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> SCOPE OF WORKS WITHIN THIS BOUNDARY
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
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
GAS




RECYCLED WATER




WATER




TELECOM



ELECTRICITY



STORMWATER DRAIN & PIT



SEWER & PIT

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GLEN EIRA PLANNING SCHEME

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GE/DP-33820/2020/A  
  
Sheet: 21 of 26

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Endorsed on: 2 May 2024

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LANDSCAPE  
ARCHITECTS

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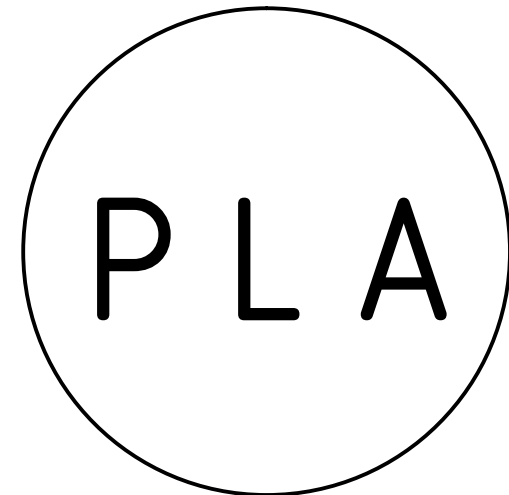
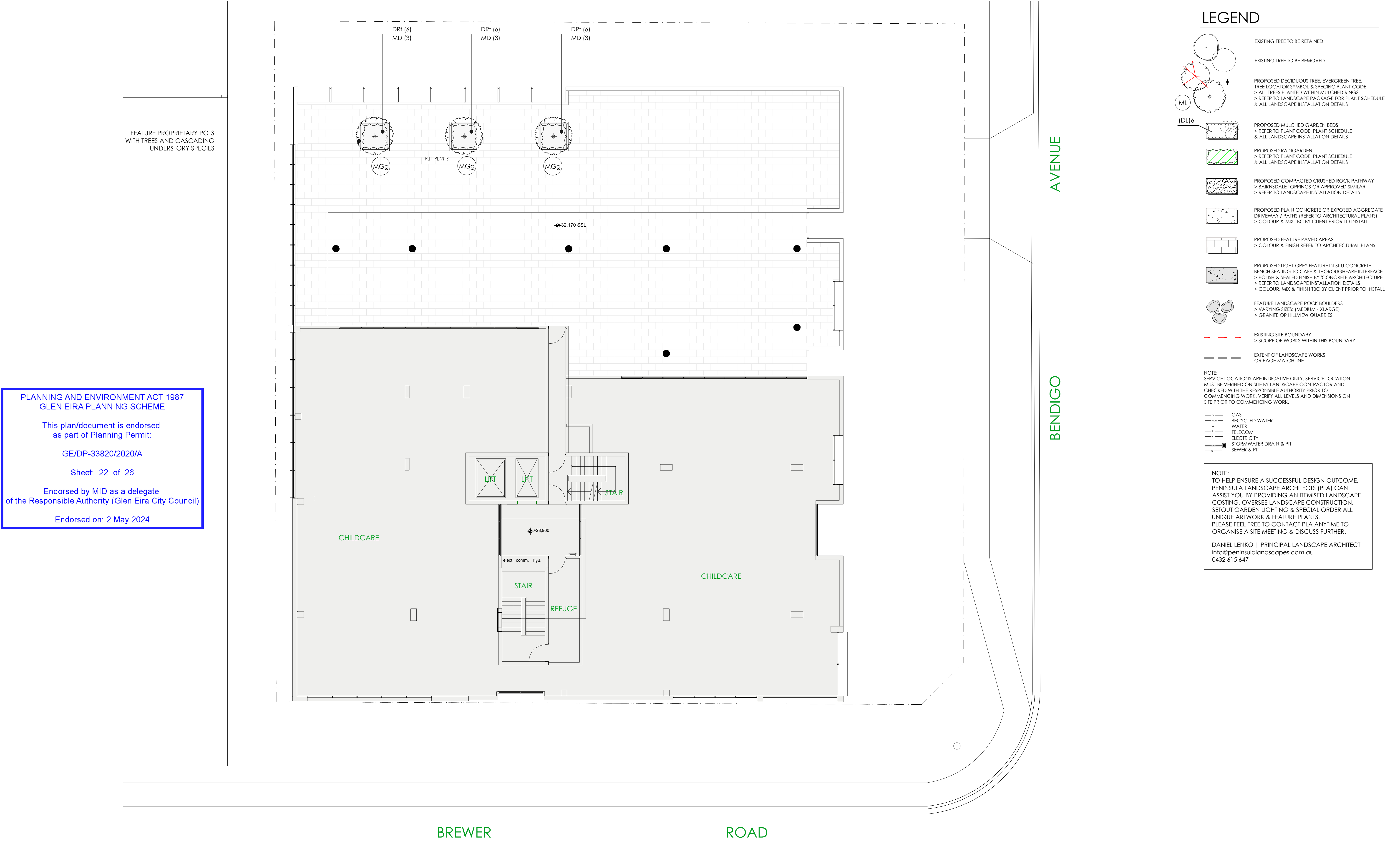
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| SITE ADDRESS:<br>99 BREWER ROAD,<br>BENTLEIGH, VIC | CLIENT:<br>H.CO PROPERTY      |
| PAGE TITLE:<br>PLANTING PLAN 2. (FIRST FLOOR)      | PLA JOB REFERENCE:<br>21-2371 |
|  | REVISION: L<br>PAGE: L3       |



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| SITE ADDRESS:<br>99 BREWER ROAD,<br>BENTLEIGH, VIC | CLIENT:<br>H.CO PROPERTY      |  |
| PAGE TITLE:<br>PLANTING PLAN 3, (SECOND FLOOR)     | PLA JOB REFERENCE:<br>21-2371 | REVISION: L<br>PAGE: L4                              |



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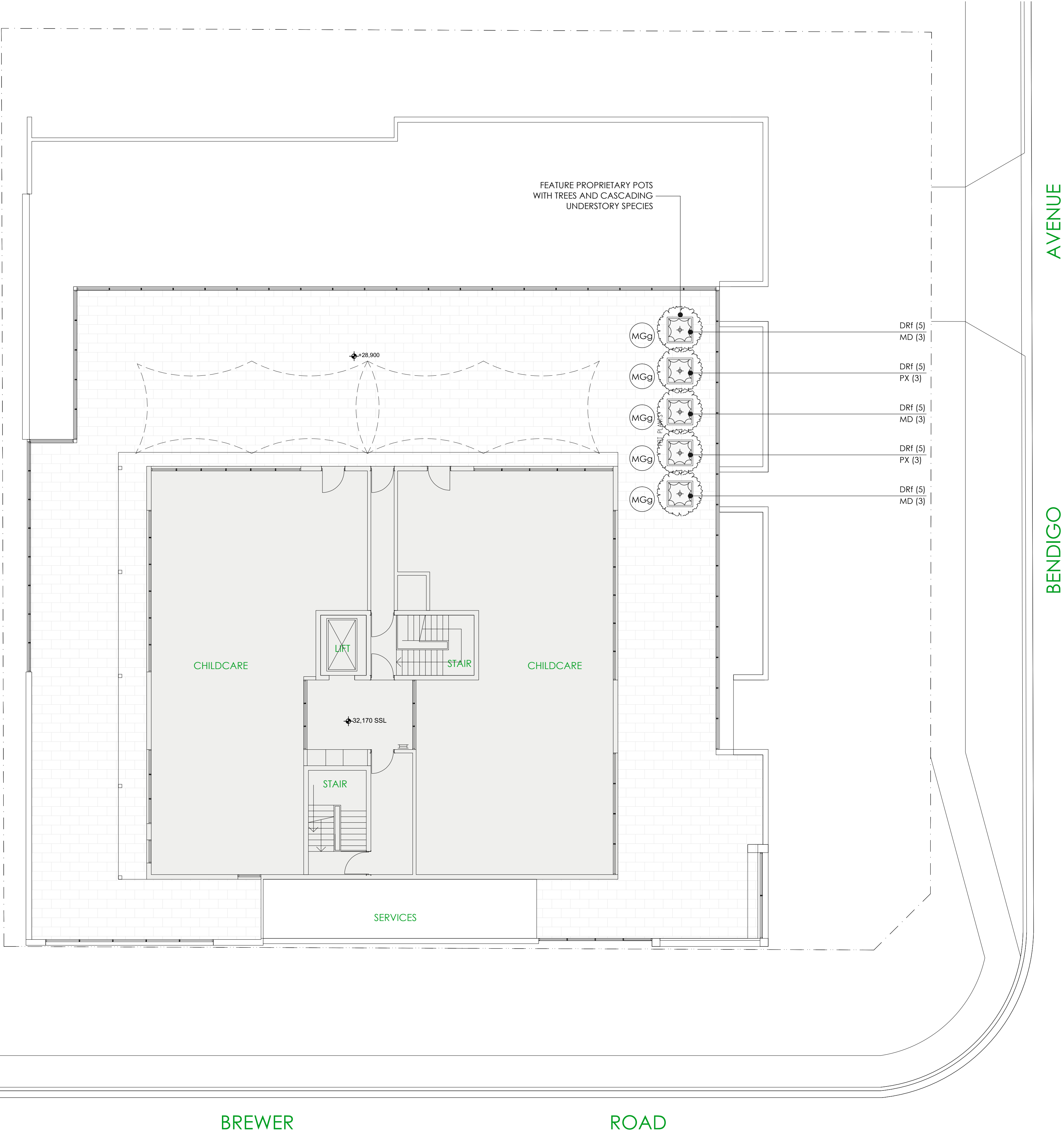
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Sheet: 23 of 26

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### LEGEND

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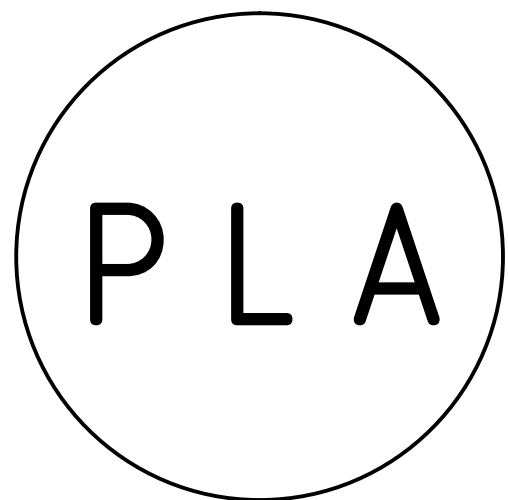
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PLA PROJECT:  
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PAGE TITLE:  
LIGHTING & IRRIGATION

PROJECT DATE:  
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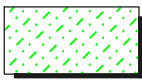
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NORTH POINT:  
SCALE:  
1: 150 @ A1  
1: 300 @ A3

REVISION: L  
PAGE: L6

LEGEND



PROPOSED AUTOMATIC DRIP FEED SYSTEM TO ALL GARDEN BEDS & RAISED PLANTERS  
> DESIGN & INSTALLATION TO BE CONFIRMED ONSITE  
> AUTOMATIC WEATHER CONTROLLER TO BE INSTALLED  
> CONNECTION TO EXISTING / NEW WATER TANKS, AS REQ.

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— S — SEWER & PIT

LIGHTING LEGEND



PROPOSED UP-LIGHT & OR GARDEN LIGHT LOCATION  
> FINAL LOCATIONS TBC ONSITE



PROPOSED STAKE MOUNTED DIRECTIONAL UP-LIGHT  
> FINAL LOCATION & POSITIONING TBC ONSITE



PROPOSED RECESSED LED STRIP LIGHTING  
> LOCATION & INSTALL TBC ONSITE

LIGHTING OPTIONS

- B LTM -565 RECESSED RUNWAY LIGHT WITH 180° SPREAD BLACK
- C LTM -400 HOODED DIRECTIONAL SPIKE LIGHT BLACK
- G LTM - SOFT GLOW RECESSED LED STRIP LIGHTING

LIGHTING OPTIONS - MORNINGTON

ALL EXTERIOR LIGHTING, FINAL DESIGN, DRIVERS, CONNECTION & SETOUT TBC BY MARSHALL FROM 'LIGHTING OPTIONS' IN MORNINGTON

LIGHTING OPTIONS MORNINGTON  
E: office@lightingoptions.com.au  
P: (03) 5975 0911

PLANNING AND ENVIRONMENT ACT 1987  
GLEN EIRA PLANNING SCHEME

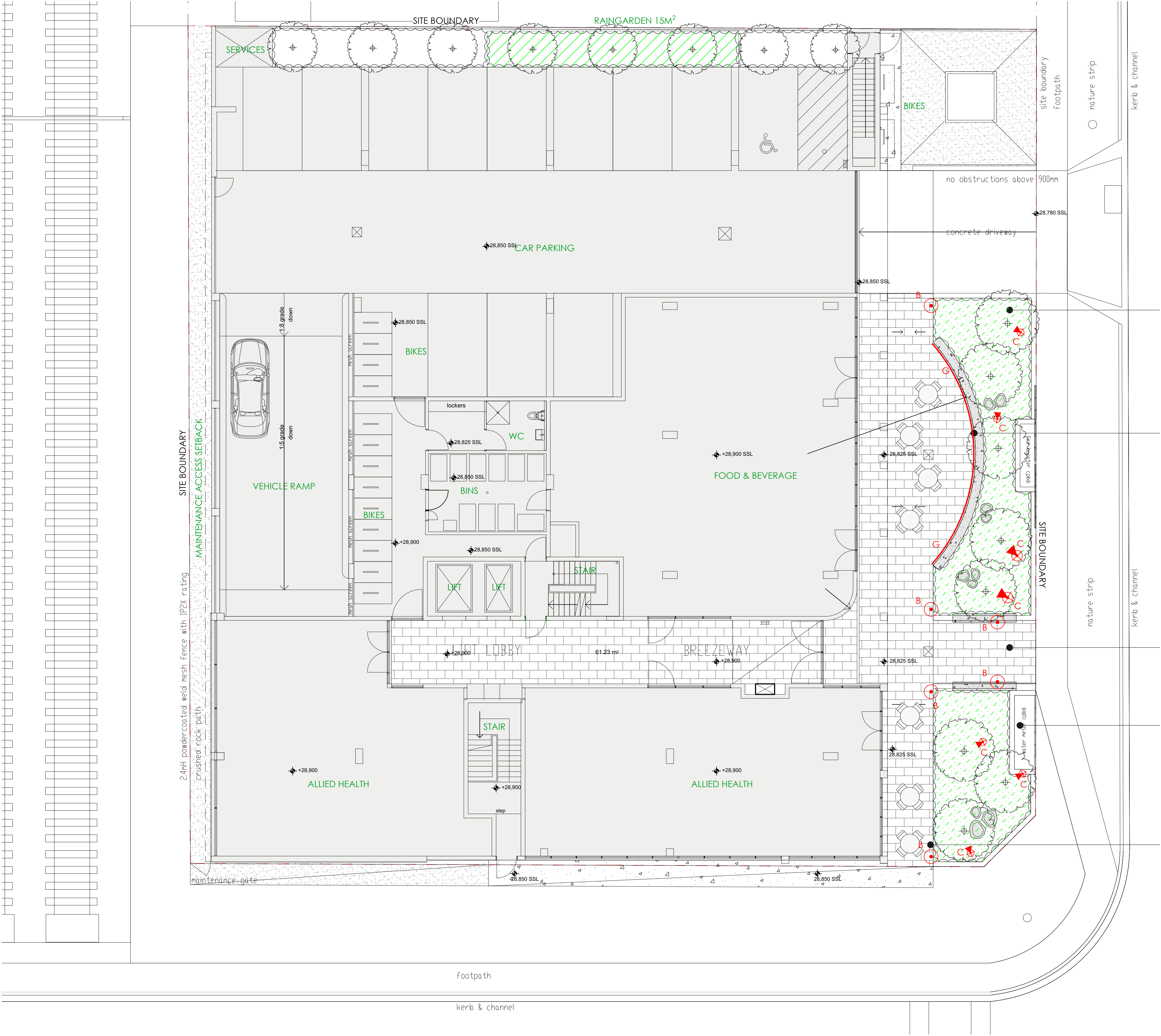
This plan/document is endorsed  
as part of Planning Permit:

GE/DP-33820/2020/A

Sheet: 24 of 26

Endorsed by MID as a delegate  
of the Responsible Authority (Glen Eira City Council)

Endorsed on: 2 May 2024



PROPOSED DRIP FEED IRRIGATION SYSTEM TO ALL GARDEN BEDS & RAISED PLANTERS THROUGHOUT DEVELOPMENT  
> IRRIGATION SYSTEM TO BE SET ON AUTOMATIC CONTROLLER

PROPOSED RECESSED LED STRIP LIGHTING TO UNDERSIDE OF TIMBER SEATING WALL

LIGHT SWITCH LOCATIONS  
TBC WITH CLIENT

PROPOSED DIRECTIONAL UP-LIGHTS TO ILLUMINATE FEATURE TREE CANOPIES & TRUNKS

PROPOSED 180° LOW SPREAD PATHWAY LIGHTS TO ILLUMINATE FORECOURT & PEDESTRIAN INTERFACE  
> SET ON NIGHT TIMER & MOTION SENSOR



PLANTING SCHEDULE

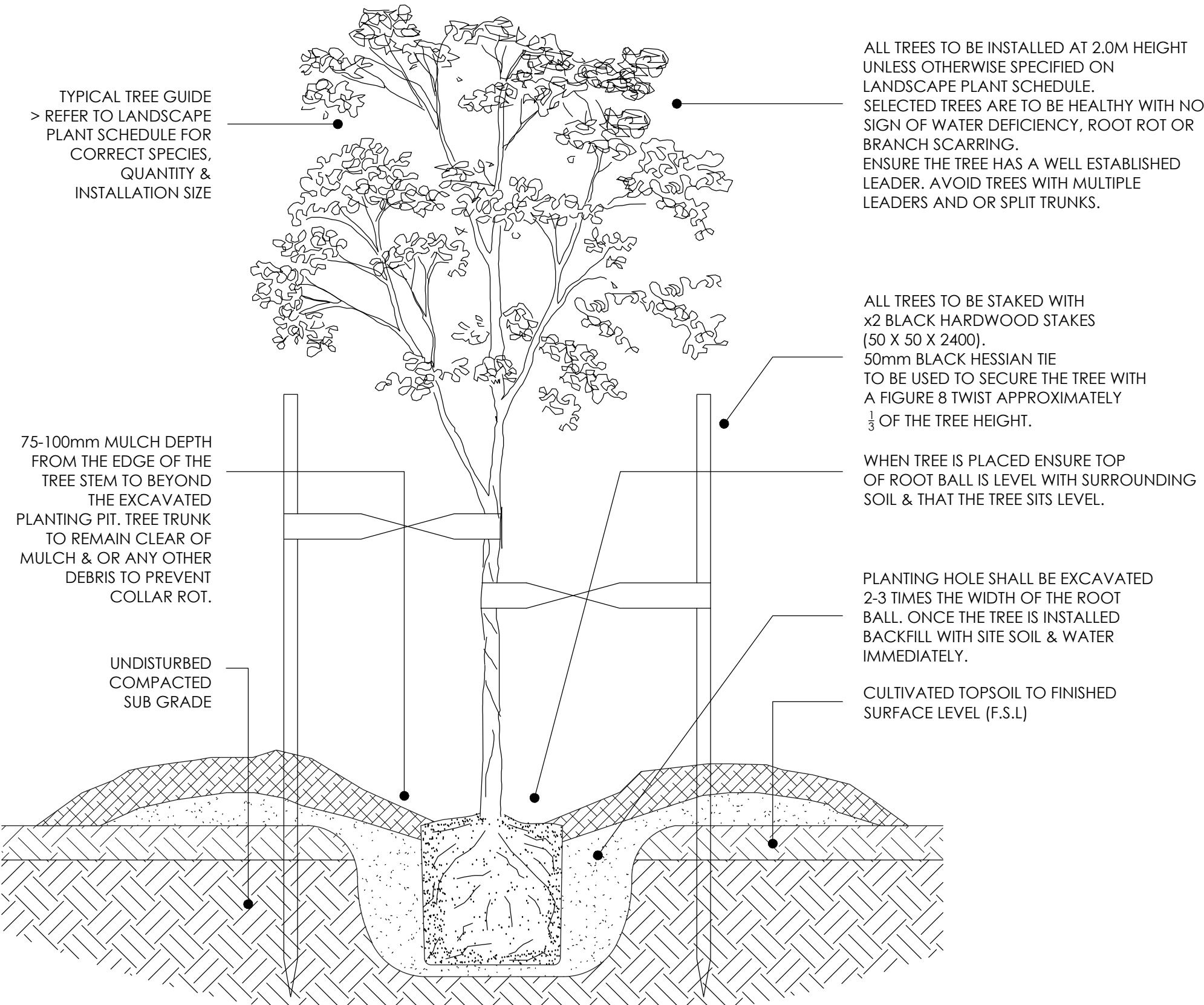
| TREES |                                      |                                 |      |      |              |     |
|-------|--------------------------------------|---------------------------------|------|------|--------------|-----|
| CODE  | BOTANIC NAME                         | COMMON NAME                     | H    | W    | PLANTED SIZE | QTY |
| MGg   | Magnolia grandiflora                 | 'Little Gem'                    | 4.00 | 2.00 | 2.0M TALL    | 16  |
| OEu   | Olea europaea (Approx. 80-90yrs old) | 'Verdale' (Large - Extra Large) | 6.00 | 4.00 | 3.0M+ TALL   | 8   |

LANDSCAPE ARCHITECT & H.CO TO SOURCE ALL FEATURE OLIVE TREES.  
FEATURE MATURE OLIVE TREES WITH GNARLED ARCHITECTURAL TRUNKS & EXPOSED CANOPES

| SHRUBS |                                   |                    |      |      |              |     |
|--------|-----------------------------------|--------------------|------|------|--------------|-----|
| CODE   | BOTANIC NAME                      | COMMON NAME        | H    | W    | PLANTED SIZE | QTY |
| ACI    | Acacia cognata                    | MINI COG           | 1.00 | 1.00 | 150 DIA POT  | 22  |
| BSbc   | Banksia spinulosa                 | 'Birthday Candles' | 0.50 | 1.50 | 150 DIA POT  | 7   |
| CA     | Correa alba                       | WHITE CORREA       | 1.50 | 1.50 | 350 DIA POT  | 29  |
| Cocn   | Convolvulus cneorum 'silver bush' | SILVER BUSH        | 0.91 | 0.61 | 350 DIA POT  | 18  |
| Slap   | Salvia leucantha                  | Mexican sage       | 1.00 | 1.00 | 150 DIA POT  | 10  |

| RAIN GARDEN |                         |                       |      |      |             |    |
|-------------|-------------------------|-----------------------|------|------|-------------|----|
| CODE        |                         |                       |      |      |             |    |
| DEp         | Derwentia perfoliata    | DIGGERS SPEEDWELL     | 0.60 | 1.20 | 150 DIA POT | 9  |
| CApp        | Carex appressa          | TALL SEDGE            | 1.00 | 0.75 | 150 DIA POT | 12 |
| PAo         | Patersonia occidentalis | LONG LEAF PURPLE FLAG | 0.50 | 0.50 | 150 DIA POT | 26 |

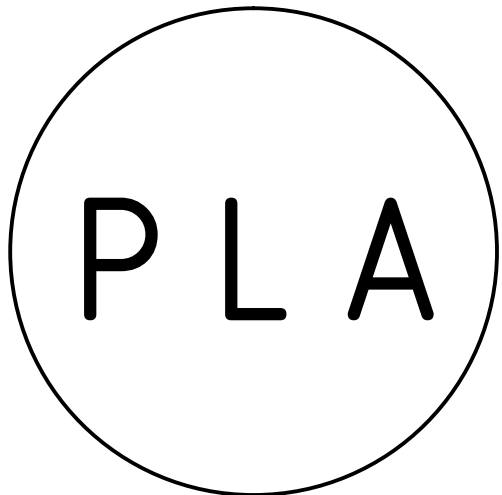
| GRASSES & GROUND COVERS |                           |                        |      |      |              |     |
|-------------------------|---------------------------|------------------------|------|------|--------------|-----|
| CODE                    | BOTANIC NAME              | COMMON NAME            | H    | W    | PLANTED SIZE | QTY |
| AUs                     | Austrostipa stipoides     | COAST SPEAR GRASS      | 1.00 | 1.00 | 150 DIA POT  | 10  |
| CGI                     | Casuarina glauca          | 'Cousin It'            | 0.30 | 1.50 | 150 DIA POT  | 24  |
| CH                      | Chrysocephalum apiculatum | COMMON EVERLASTING     | 0.30 | 1.00 | 150 DIA POT  | 27  |
| Da                      | Dichondra argenta         | DICHONDRA SILVER FALLS | 0.10 | 1.00 | 150 DIA POT  | 78  |
| DRf                     | Dichondra repens          | SILVER FALLS           | 0.30 | 1.50 | 250 DIA POT  | 43  |
| LCC                     | Lomandra confertifolia    | LIME TUFF              | 0.30 | 0.30 | 150 DIA POT  | 28  |
| MD                      | Monstera deliciosa        | Swiss Cheese Plant     | 1.50 | 1.00 | 300 DIA POT  | 18  |
| MPar                    | Myoporum parvifolium      | CREEPING BOOBIALLA     | 0.10 | 1.00 | 250 DIA POT  | 13  |
| PX                      | Philodendron xanadu       | Xanadu Philodendron    | 0.80 | 0.80 | 250 DIA POT  | 29  |
| San                     | Santolina                 | COTTON LAVENDER        | 0.45 | 0.60 | 150 DIA POT  | 16  |
| SMan                    | Senecio mandraliscae      | BLUE CHALK STICKS      | 0.30 | 0.75 | 150 DIA POT  | 29  |



LANDSCAPE DETAIL: 1~ L7

TREE PLANTING DETAIL (TYP)

SECTION  
DETAIL 1:10



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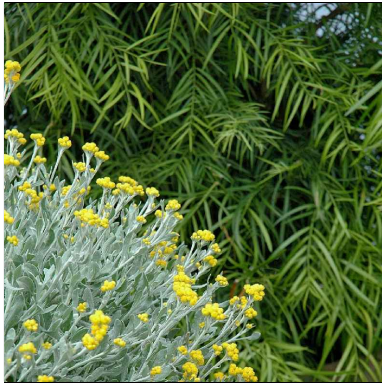
PLANTING PALLET



Olea europaea  
MATURE OLIVE



Senecio mandraliscae  
BLUE CHALK STICKS



Chrysocephalum apiculatum  
COMMON EVERLASTING



Dichondra argenta  
DICHONDRA SILVER FALLS



Convolvulus cneorum  
SILVER BUSH



Acacia cognata  
LIMELIGHT / MINI COG



Ficinia nodosa  
KNOBBY CLUB-SEDGE



Salvia leucantha  
MEXICAN SAGE

PLANNING AND ENVIRONMENT ACT 1987  
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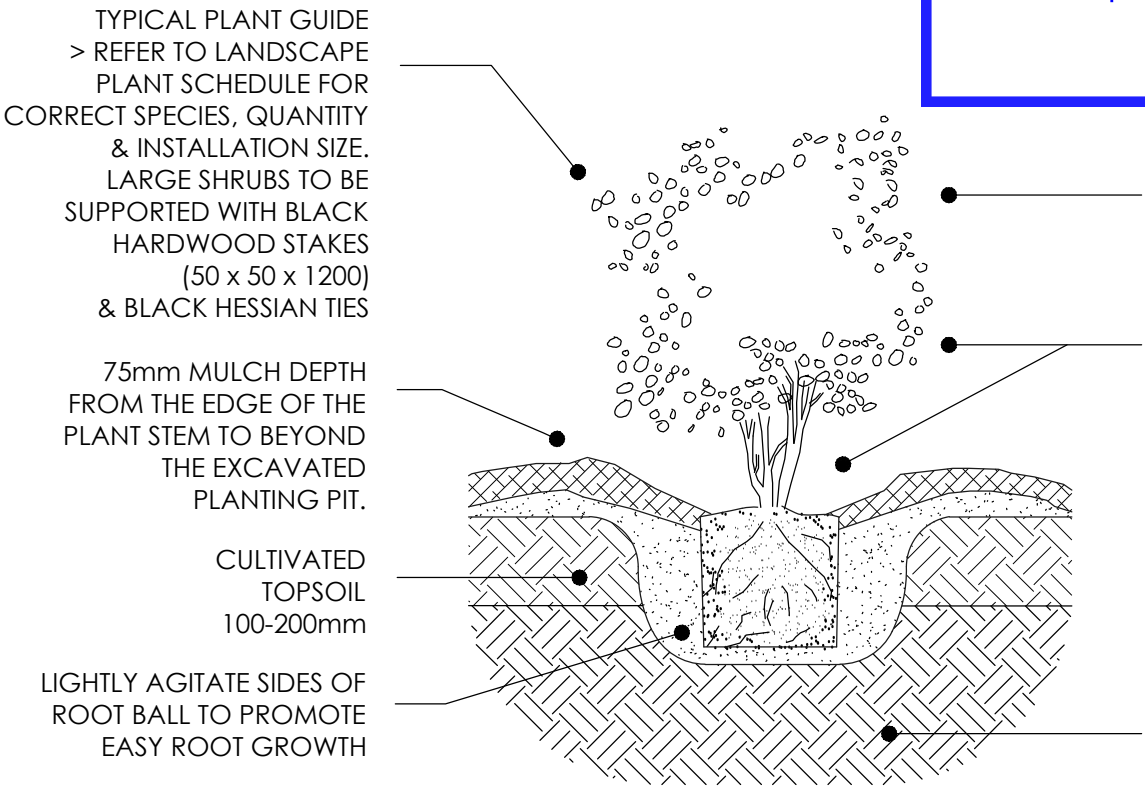
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Sheet: 25 of 26

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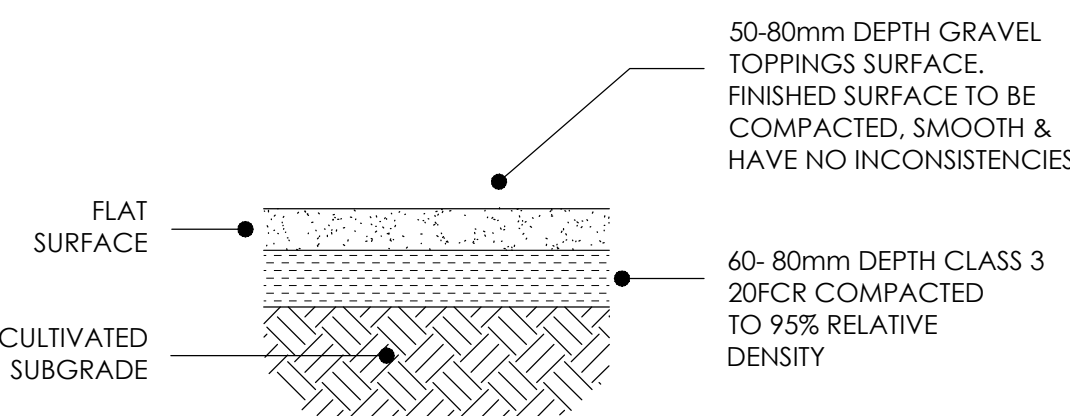
Endorsed on: 2 May 2024



LANDSCAPE DETAIL: 4~ L7

SHRUB PLANTING DETAIL (TYP)

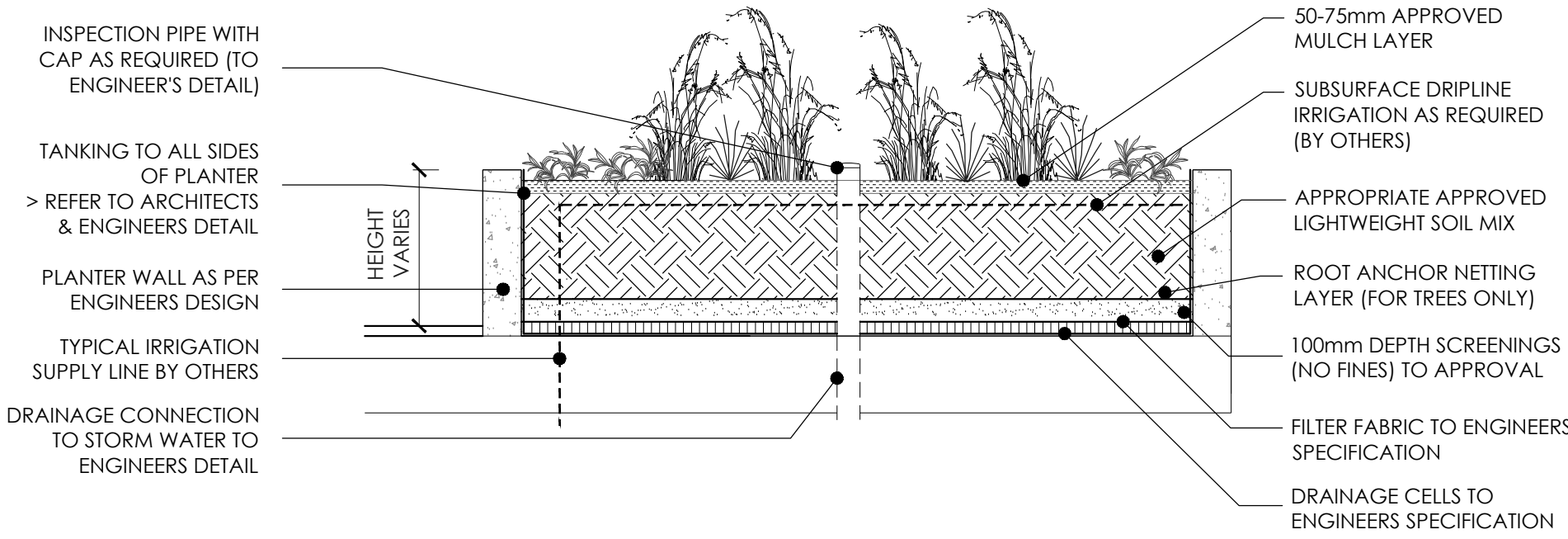
SECTION  
DETAIL 1:10



LANDSCAPE DETAIL: 7~ L7

GRAVEL SURFACE DETAIL (TYP)

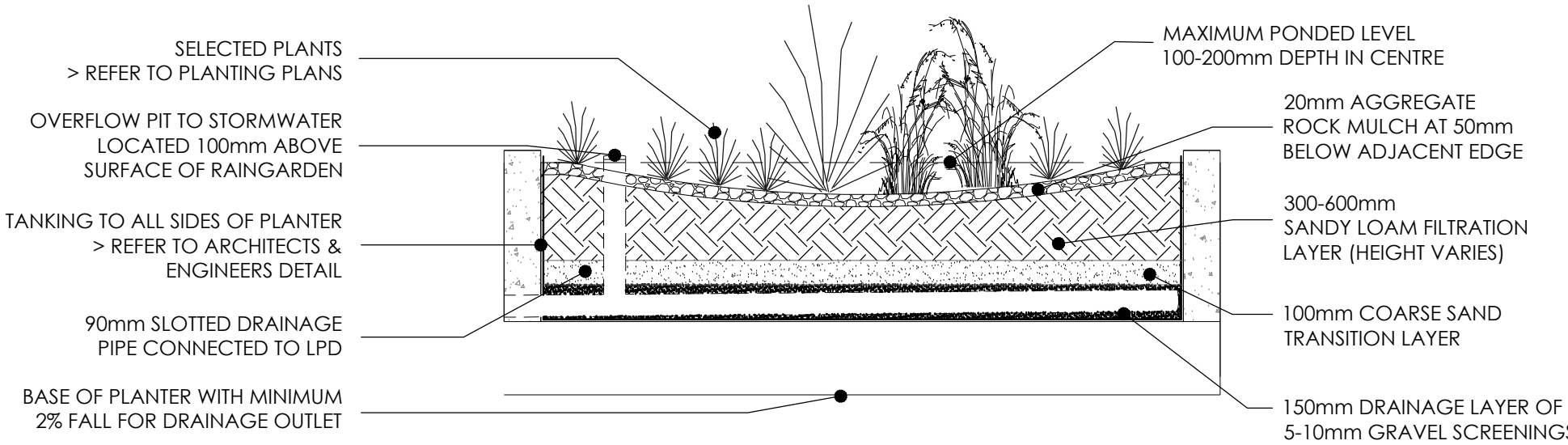
SECTION  
DETAIL 1:10



LANDSCAPE DETAIL: 2~ L7

PROPOSED RAISED LIGHTWEIGHT PLANTER (TYP)

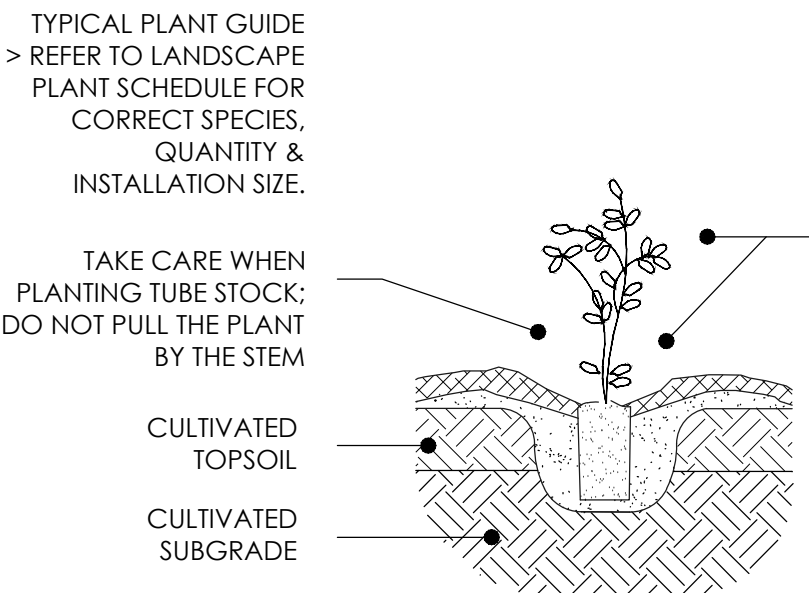
SECTION  
DETAIL 1:25



LANDSCAPE DETAIL: 3~ L7

PROPOSED RAIN GARDEN (TYP)

SECTION  
DETAIL 1:25

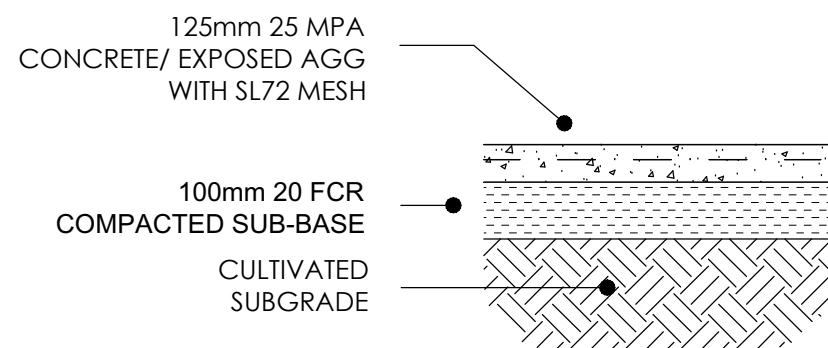


LANDSCAPE DETAIL: 5~ L7

TUBE STOCK PLANTING DETAIL (TYP)

SECTION  
DETAIL 1:10

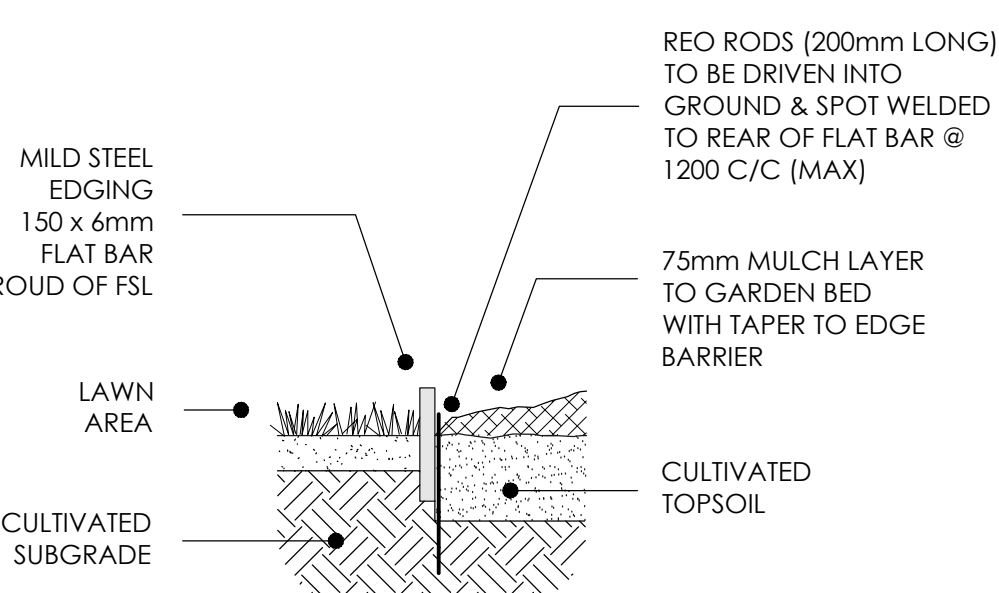
| JOINT TABLE |                 |                         |
|-------------|-----------------|-------------------------|
| PATH WIDTH  | SAW CUT CENTRES | EXPANSION JOINT CENTRES |
| 1.2m        | 1.5m            | 9m                      |
| 1.8m        | 2.0m            | 10m                     |



LANDSCAPE DETAIL: 8~ L7

CONCRETE SURFACE DETAIL (TYP)

SECTION  
DETAIL 1:10

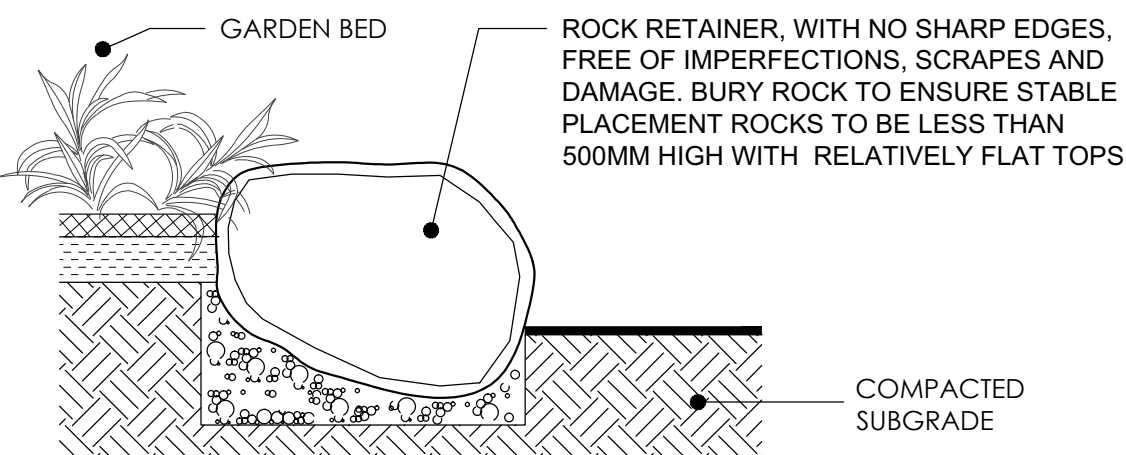


LANDSCAPE DETAIL: 6~ L7

METAL EDGING DETAIL (TYP)

SECTION  
DETAIL 1:10

NOTE: CONTRACTOR IS TO ENSURE STABLE ROCK PLACEMENT WITH NO LOOSE ROCKS. BURY ROCKS SECURELY INTO CUT (1/8 MIN. EMBEDMENT )



LANDSCAPE DETAIL: 9~ L7

ROCK DETAIL (TYP)

SECTION  
DETAIL 1:20

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PLA PROJECT:  
COMMERCIAL LANDSCAPE DESIGN

SITE ADDRESS:  
99 BREWER ROAD,  
BENTLEIGH, VIC

PAGE TITLE:  
LANDSCAPE DETAILS 1.

PROJECT DATE:  
MAR 2022

CLIENT:  
H.CO PROPERTY

PLA JOB REFERENCE:  
21-2371

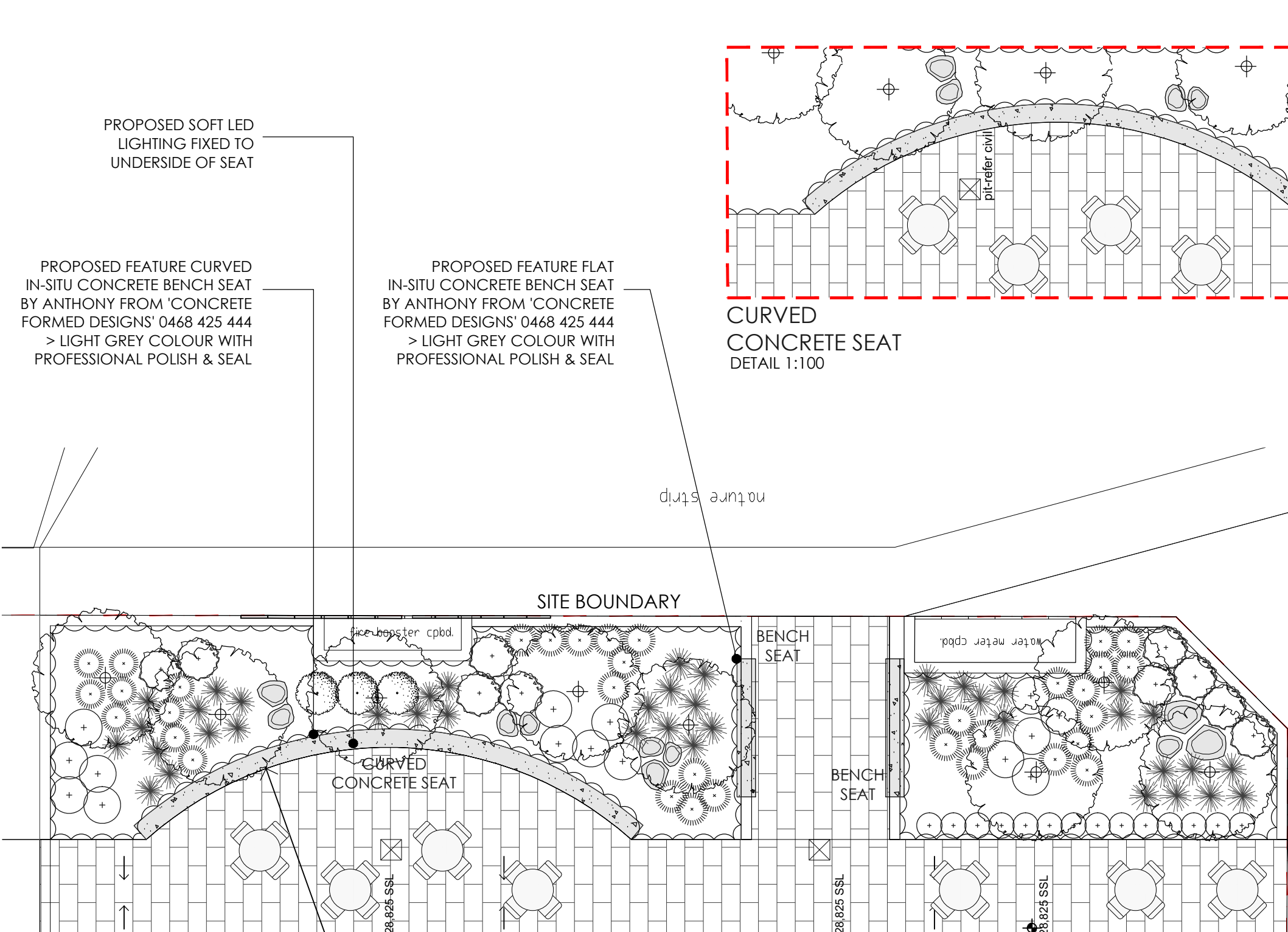
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SCALE:  
1: 100 @ A1  
1: 200 @ A3

REVISION: L

PAGE: L7

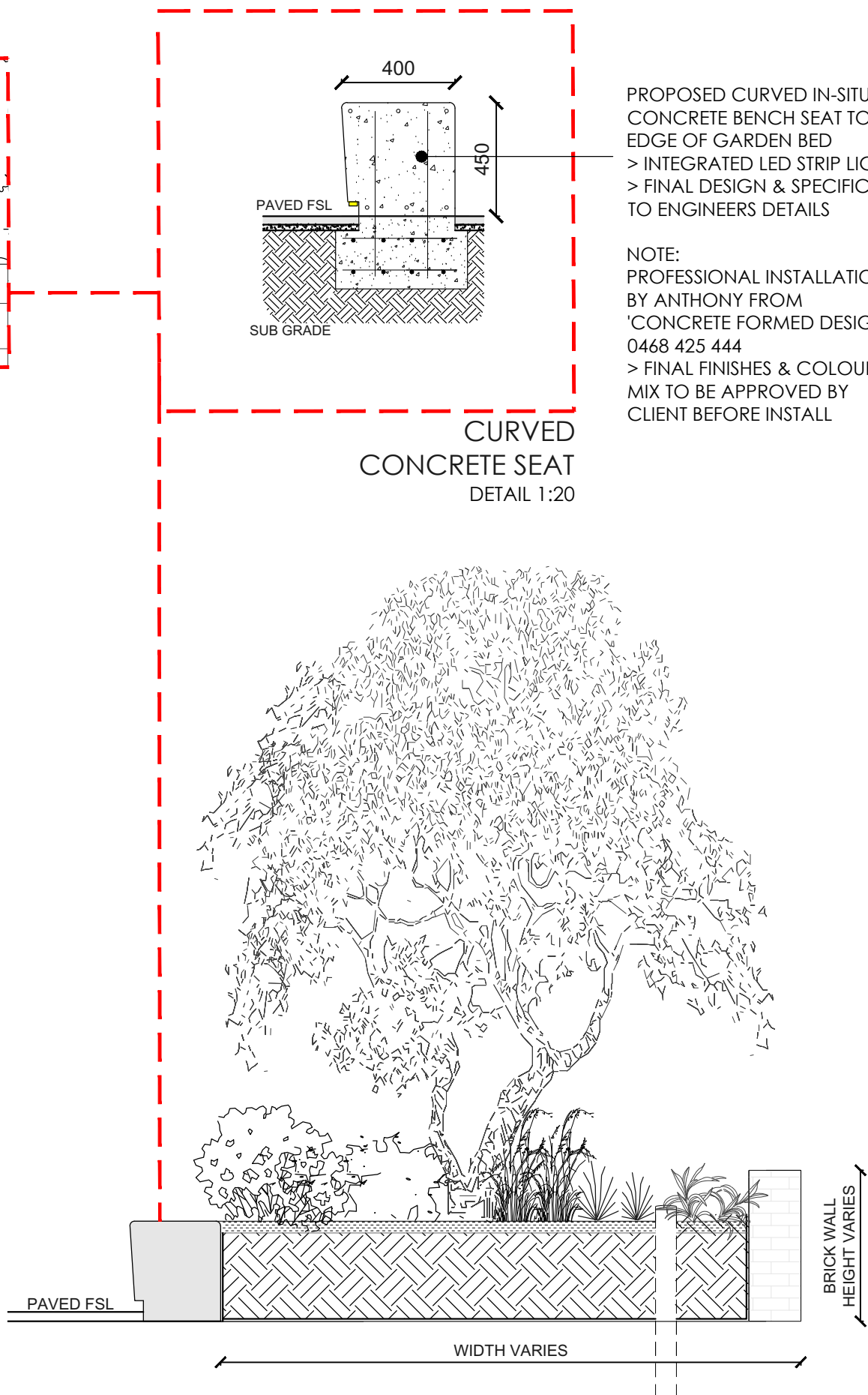
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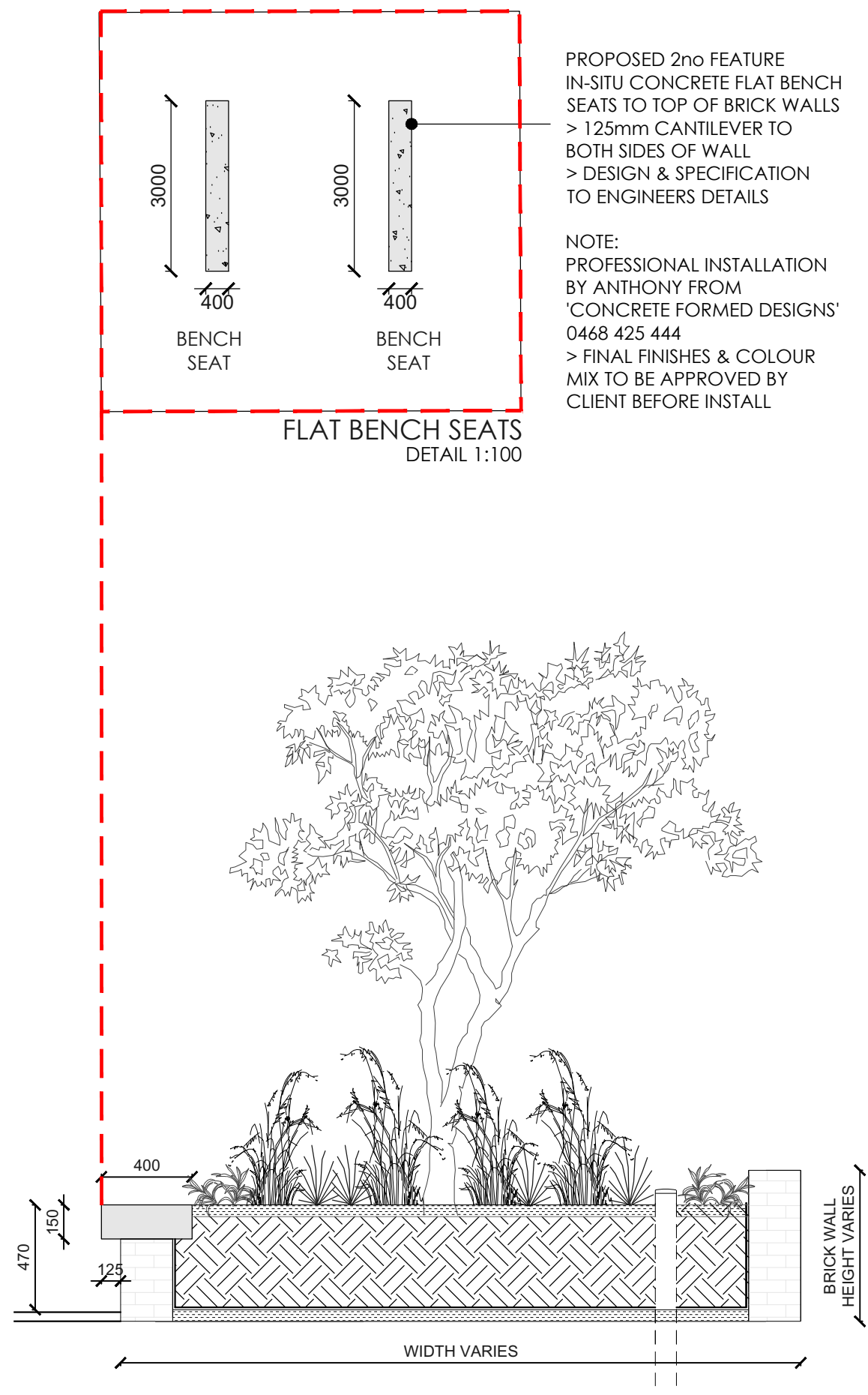
LANDSCAPE DETAIL: 1~ L8

PROPOSED FEATURE BENCH SEATING (TYP)  
PLAN  
DETAIL 1:100



LANDSCAPE DETAIL: 2~ L8

PROPOSED CURVED SEATING & PLANTER (TYP)  
ELEVATION  
DETAIL 1:25

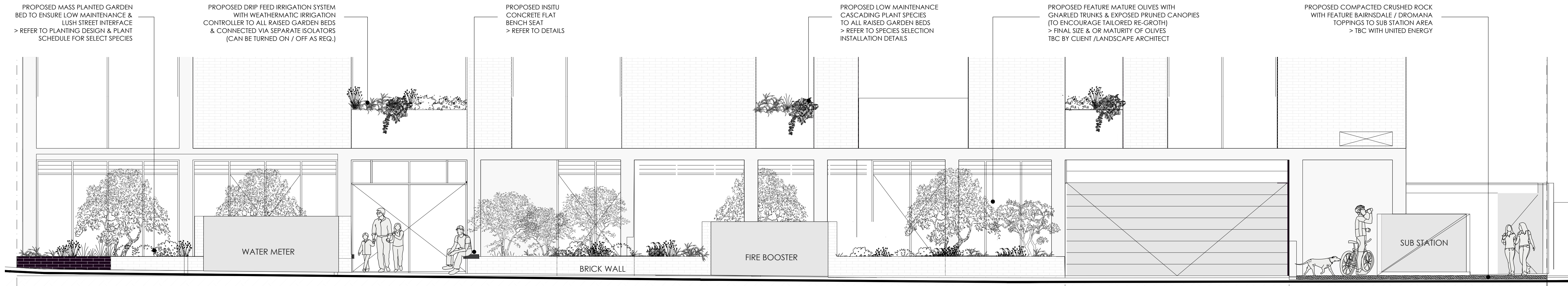


LANDSCAPE DETAIL: 3~ L8

PROPOSED BENCH SEATING & PLANTER (TYP)  
ELEVATION  
DETAIL 1:25

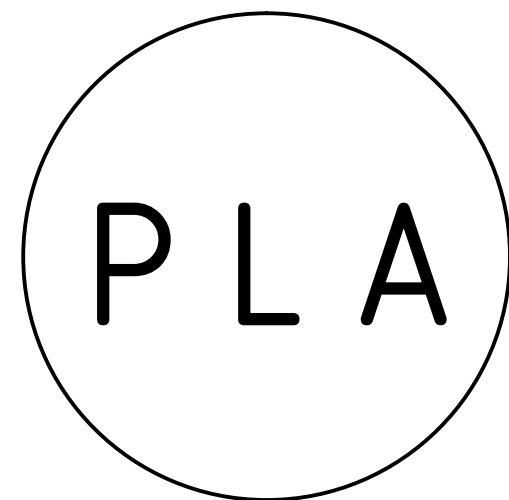
## LANDSCAPE NOTES

- Contractor to verify location of all underground services prior to commencement of work.
- Remove weeds from all areas shown on the drawings as garden bed and lawn. Herbicide to be used sparingly.
- Grade site into garden beds, lawn or gravel areas. Adjust grading accordingly when water tracks or ponding is apparent.
- Determine pH of soil using pH kit available at most nurseries. The soil should have a pH slightly acidic to neutral (pH - 5.5 to 7.0). If outside of this range contact your local nursery to obtain advice on improving the pH level. Plant tolerance of high or low pH varies.
- Clay soils should be checked for responsiveness to gypsum which can allow plant roots to penetrate the soil. If required, add gypsum according to manufacturer's directions.
- Minimise cultivation of existing soil and improve with organic material such as well rotted manures, soil improvers or compost prepared to AS.4454-2003. Top dress existing soil with this matter and cover with mulch. If existing topsoil is not available then imported topsoil that complies with AS.4419-2003 should be used.
- Plant selection shall be as per the plant schedule in locations as shown on the drawings. Plant quantities are to be confirmed by the contractor and any discrepancies between the plant schedule and plan are to be reported to the Landscape Architect before proceeding. Plants are to have well developed root systems and be free of pest and disease.
- A drip watering system should be installed to all garden beds and connected to a rainwater tank if available. If unavailable, a rainwater tank should be sized and installed as per plumbing regulations and local guidelines. Builder to confirm location and style on site.
- Apply organic mulch to all garden bed areas to a depth of 75mm as per planting details. Recommended sources of mulch should be Pine or local common Eucalyptus. Rare timbers such as Red Gum or Jarrah should not be used.
- Seasol is an ideal fertiliser to apply upon initial planting. Seasol targets roots and promotes healthy & balanced growth. Phostogen is an ideal liquid fertiliser that can be applied to the entire garden every three months. Individual plant species have varying requirements. Consult your local nursery for advice.
- All timber products to be treated pine, recycled or plantation grown. Jarrah, Red Gum or Native (White) Cypress Pine (Callitris columellaris) should not be used unless demonstrated that they are a recycled product.
- Stake trees for one to two years as per detail. Use two or three 38x38x1800 HW stakes per tree and fasten with 50mm fabric ties.
- All climbers require wire or trellis climbing frame to be attached to the adjacent surface.
- Unless otherwise noted on plan, use timber edging as per detail between all garden bed, crushed rock paths & lawn areas.
- Areas shown as lawn on the drawings are to be re-graded to provide smooth contours and raked to remove soil clods and rubble. It is recommended that lawn areas be seeded with non-invasive grass species such as: Queensland Blue-Grass (Dicantheum sericeum), Red-leg Grass (Bothriochloa macra), Weeping Grass (Microlaena stipoides), Creeping Bent Grass (Agrostis stolonifera), Clustered Wallaby Grass (Dantionia racemosa), Kentucky Blue-Grass (Poa pratensis), Tall Fescue (Festuca arundinacea). Water lawn areas during establishment in accordance with State guidelines as advised by Local Water Authority.
- Follow-up maintenance should be undertaken every 4-6 weeks for 2 years following establishment. Dead or diseased plants should be replaced. Continue to monitor for weed species and remove as required. Eradicate any pest animals or insects. Continue to water plants according to individual species' moisture needs, seasonal conditions and as advised by Local Water Authority. All plants and trees to be monitored and pruned as required, according to AS 4373 (Pruning of Amenity Trees). Mulch to be replenished annually in Spring.



LANDSCAPE DETAIL: 4~ L8

PROPOSED BENDIGO AVE INTERFACE (TYP)  
EAST ELEVATION  
DETAIL 1:50



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|--------|----------|-------------------|----|
| A      | 18/03/22 | LA DESIGN PACKAGE | DL |
| B      | 08/04/22 | LA DESIGN PACKAGE | DL |
| C      | 14/04/22 | LA DESIGN PACKAGE | DL |
| D      | 10/05/22 | LA DESIGN PACKAGE | DL |
| E      | 24/05/22 | LA DESIGN PACKAGE | DL |
| F      | 10/08/22 | LA DESIGN PACKAGE | DL |
| G      | 06/09/22 | LA DESIGN PACKAGE | DL |
| H      | 01/03/23 | LA DESIGN PACKAGE | DL |
| I      | 16/03/23 | LA DESIGN PACKAGE | DL |

| ISSUE: | DATE:    | REVISION:         |    |
|--------|----------|-------------------|----|
| J      | 14/06/23 | LA DESIGN PACKAGE | DL |
| K      | 01/03/24 | LA DESIGN PACKAGE | DL |
| L      | 01/03/24 | LA DESIGN PACKAGE | DL |

H.CO

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NORTH POINT:  
SCALE:  
1: 100 @ A1  
1: 200 @ A3  
REVISION: L  
PAGE: L8