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CITY OF GLEN EIRA

MURRUMBEENA & CARNEGIE (PART) HERITAGE REVIEW
(VOLUME ONE)



PREPARED FOR: Glen Eira City Council
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Cover page image: Houses in Corinan Estate Precinct, Murrumbena (GJM Heritage, September 2025)

ACKNOWLEDGEMENTS

We would like to acknowledge the valuable assistance provided by Glen Eira City Council in undertaking this heritage review. Our gratitude goes to Anne Kilpatrick of the Glen Eira Historical Society for their assistance.

The study area forms part of the traditional lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation People, who are represented by the Bunurong Land Council Aboriginal Corporation. This heritage review is limited in its scope to consideration of post-contact cultural heritage and does not specifically address Aboriginal cultural heritage significance. Nonetheless, we acknowledge the Traditional Owners of the land and pay our respects to their Elders past, present and emerging. For more information, please visit <https://www.bunuronglc.org/>.

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APPENDICES

APPENDIX I: PLANNING PRACTICE NOTE 1: APPLYING THE HERITAGE OVERLAY (2018)



1 INTRODUCTION

Glen Eira City Council ('Council') commissioned GJM Heritage to undertake the *Murrumbeena and Carnegie (Part) Heritage Review* ('the Heritage Review') in August 2025. The purpose of the Heritage Review has been to:

1. Undertake a heritage gap study of the suburb of Murrumbeena and part of the suburb of Carnegie – including areas within a Neighbourhood Character Overlay (NCO) – ('the study area') to identify places and precincts of potential heritage significance;
2. Determine whether those identified places and precincts satisfy the threshold for local heritage significance and inclusion in the Heritage Overlay of the Glen Eira Planning Scheme; and
3. To review the heritage controls and update the Background Information and Statement of Significance for one existing precinct – 'Beauville Estate and Environs Precinct, Murrumbeena' (HO12) – for incorporation in the Glen Eira Planning Scheme.

The study area is illustrated at Figure 1. The area in the vicinity of Carnegie Station was excluded from the Heritage Review as it was included in a review of the Carnegie Structure Plan Area undertaken by RBA Architects and Conservation Consultants in 2018 (commercial) and 2019 (residential).

This Heritage Review comprised several stages: documentation review, on-site fieldwork, detailed heritage assessments, and the preparation of Statements of Significance.

This report documents the methodology for the Heritage Review and provides a summary of its findings and recommendations. Volume 2 of this report contains the heritage citations and Statements of Significance for those places and precincts recommended for inclusion in the Heritage Overlay and the updated Statement of Significance and Background Information document for one precinct currently included in the Heritage Overlay (HO12).

Over 3,000 properties within the City of Glen Eira are currently included in the Heritage Overlay. However, the Heritage Review study area contains only eight (8) existing places of individual significance, one residential precinct and one commercial precinct of significance. These Heritage Overlays are listed below and are indicated on the map at Figure 1:

- HO12 – Beauville Estate and Environs Precinct, Murrumbeena
- HO187 – Murrumbeena Village Precinct, Murrumbeena & Carnegie
- HO33 – Murrumbeena Primary School, 20 Hobart Road, Murrumbeena
- HO57 – 'Alnwick,' 11 Railway Parade, Murrumbeena
- HO80 – 'Athole,' 18 Poplar Grove, Murrumbeena
- HO133 – Springthorpe Reserve Gates, Neerim Road, Murrumbeena
- HO134 – House, 705 North Road, Carnegie
- HO136 – 'Croft Head,' 13 Poath Road, Murrumbeena
- HO143 – House, 4 Wahroonga Crescent, Murrumbeena

- HO211 – ‘Bundara,’ 475 Neerim Road, Murrumbeena.

The limited application of the Heritage Overlay in Murrumbeena and the portion of Carnegie within the study area potentially reflects that the area was generally developed later than the northern portion of the municipality and comprised more modestly-scaled building stock compared to the grander buildings found around Caulfield, for example. The aim of this Heritage Review is to therefore review the existing built environment of the study area and to determine whether there are places of heritage value that are worthy of inclusion in the Heritage Overlay when assessed against the current heritage assessment criteria and threshold guidelines.

Further to the above, this Heritage Review continues the process of updating older Statements of Significance within the municipality as resources permit. As a result, HO12 – ‘Beauville Estate and Environs Precinct’ has been reviewed in terms of its Heritage Overlay boundary, triggers under the Schedule to the Heritage Overlay, gradings of individual buildings, and articulation of the heritage values of the precinct in the Statement of Significance.

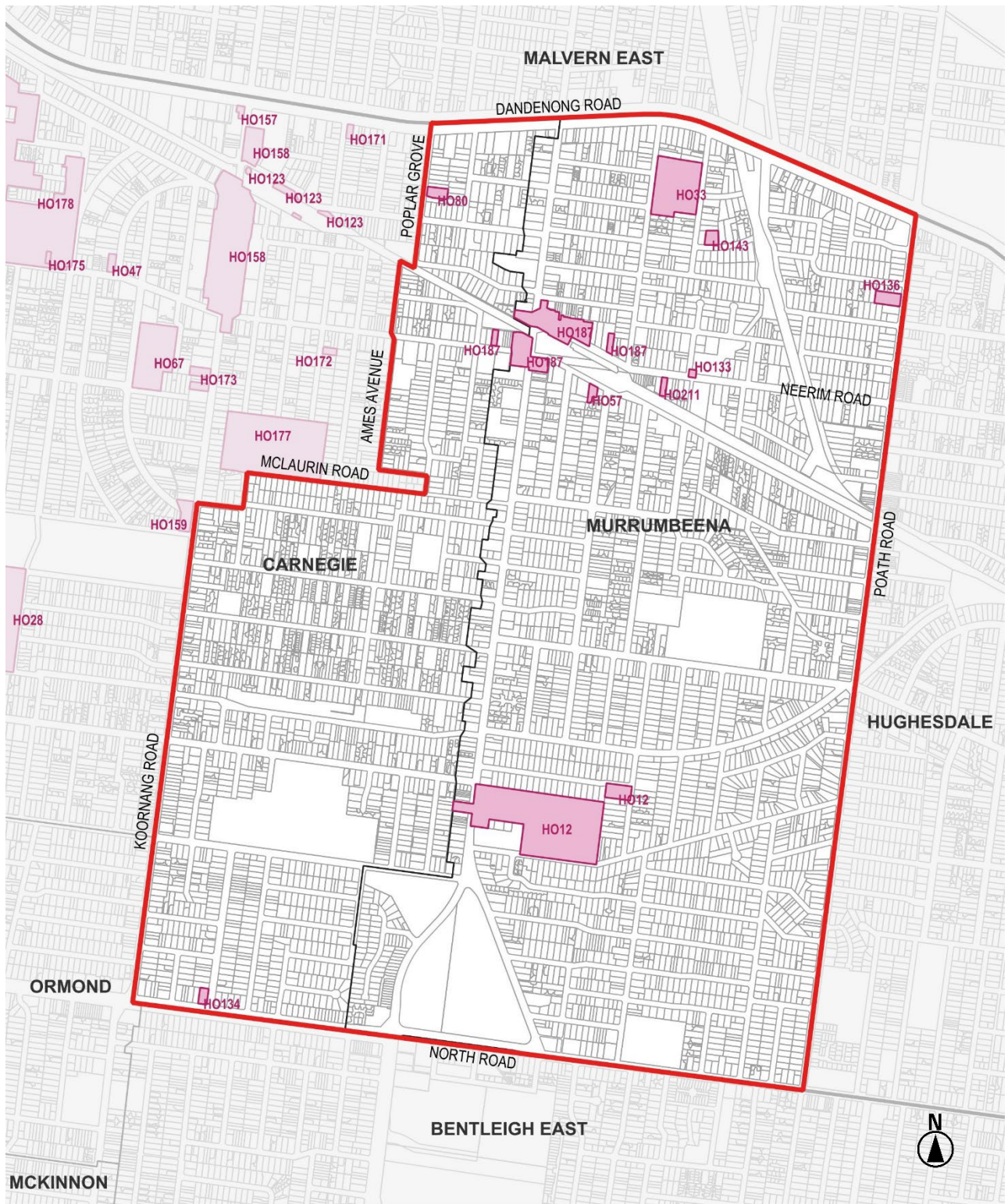


Figure 1. Study area indicated in red, and existing Heritage Overlays in the City of Glen Eira indicated in pink (Source: GJM Heritage, 2026; base layers via DataShare)

2 LOCALITY HISTORY

The following history is drawn from Andrew Ward's 'City of Glen Eira Heritage Management Plan' (1996) and the 'City of Glen Eira Thematic Environmental History [Refresh]' (2020), supplemented with additional information as cited.

The suburbs of Murrumbeena and Carnegie in the City of Glen Eira are located on the Traditional Lands of the Bunurong/Boonwurrung people and the Wurundjeri people, both of the Kulin Nation.

The study area – comprising Murrumbeena and the eastern part of Carnegie – is bounded by Dandenong Road to the north, Poath Road to the east, North Road to the south and Koornang Road to the west, and at the northwest corner excludes the area north of McLaurin Road and west of Ames Avenue and Poplar Grove.

The study area initially formed part of the municipality of Caulfield, first established as the Caulfield Road Board District in 1857. The Shire of Caulfield was proclaimed in 1871, the Borough then Town of Caulfield were both proclaimed in 1901, and in 1913 Caulfield attained the status of City. In 1994, the City of Caulfield was amalgamated with the north riding of the City of Moorabbin (comprising the suburbs south of North Road, including Bentleigh, Bentleigh East, Ormond and McKinnon) to form the current City of Glen Eira.

In the pre-settlement period, wetlands in the area including Leman Swamp in Carnegie and Crosbie Swamp in Murrumbeena, served as watering places for stock travelling to Melbourne (Murray and Wells 1980:3, 9). Early European settlement first occurred in what is now the City of Glen Eira in the 1840s. Initial development manifested itself in different ways in different locations: mansion estates (at the north-western fringe including St Kilda East, Caulfield and Caulfield North); pastoral runs, which were often established to retain the droving rests (generally through the central suburbs including Caulfield South, Carnegie and Murrumbeena); and agricultural activity (generally to the south of North Road in McKinnon, Bentleigh and Bentleigh East), which was fertilised with the peaty soil of the wetlands (Murray and Wells 1980:3, 9). By the late 1870s, Carnegie and Murrumbeena were primarily under pasture, occupied by dairy farms, and in some cases, occupied by market gardens and orchards (Vic Places; Murray and Wells 1980: 86).

The north-western portions of the City of Glen Eira, including the suburbs of St Kilda East, Caulfield and Caulfield North were the first to undergo suburban residential development due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) line, which opened in 1859, and the Gippsland (now Cranbourne/Pakenham/Frankston) line, which opened in the 1870s. The latter extends across the northern parts of Carnegie and Murrumbeena, with Rosstown (now Carnegie) and Murrumbeena stations opened in 1879 and Hughesdale station opened in 1925.

Two unsuccessful, short-lived railway lines were also established in the study area. The private Rosstown Railway ('Rosstown Junction Loop Line') was constructed through the Shire of Caulfield in the 1870s, branching off the Brighton line south of Elsternwick station and running eastwards through the current Caulfield South, Carnegie and Murrumbeena to Oakleigh station, with a branch extending north to Rosstown (now Carnegie) station, running west of Koornang Road. The line was established by Murray Ross to service his substantial sugar beet mill at Carnegie



(between Grange and Koornang roads), but was never used. Despite the lack of use, the line remained in place into the twentieth century and had a substantial impact on the pattern of residential development in the surrounding area, with parts serving as the Rosstown Railway Trail. The Outer Circle Railway line operated (in its entirety) from 1891 to 1897, branching north off the Gippsland line just west of the current Hughesdale station. The former alignment now serves as the Outer Circle Railway Linear Park within Murrumbeena, comprising Boyd Park.

Residential development tentatively spread to the central and southern portions of the current City of Glen Eira in the late-nineteenth century, generally concentrated around transport routes. In Carnegie and Murrumbeena, subdivision commenced in the 1880s, with key nineteenth century subdivisions including the Murrumbeena Estate (1888) and Murrumbeena Reserve Estate (c1887), which subdivided the land north and south of the station of that name. However, they precipitated only a small amount of residential development in the late nineteenth century. Growth was greatly impacted by the 1890s Depression, and it was not until after the turn of the century that land sales and residential development resumed in Murrumbeena and Carnegie and the surrounding area.

The City of Glen Eira underwent a major phase of residential development in the interwar period. During this period, the study area was transformed from a predominantly pastoral one to an almost exclusively residential one, when extensive tracts of land were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. Small private subdivisions and estates of the 1930s included Ardyne Estate in Murrumbeena and AV Jennings' Beauville Estate in Murrumbeena, which provided affordable middle-class housing.

The residential development of Murrumbeena and Carnegie was finalised in the postwar period. The postwar period also saw an increase in medium-density housing, with the development of small blocks of flats and units throughout the municipality, including the study area (Solomon 1990:14-15).

In response to the substantial residential growth in the twentieth century, particularly in the interwar and postwar periods in the suburbs of Carnegie and Murrumbeena, a number of churches were established, replaced or expanded to service the rapidly growing population. In correlation with residential growth, commercial development increased in the vicinity of the railway stations of the Gippsland line, and an increasing number of schools and community facilities were also established.

Murrumbeena and Carnegie subsequently underwent redevelopment and renewal in the late twentieth century and the twenty-first century. They remain primarily residential localities, with commercial development generally concentrated near railway stations and their adjacent main roads.

Sources

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Murray, P & J Wells, *From sand, swamp and heath : a history of Caulfield*, Blackburn, 1980.

Solomon, Dr Geulah, *Caulfield's Heritage, Volume 4: Caulfield's Recent Municipal Heritage*, 1990.

Victorian Places, "Murrumbeena",
<<https://www.victorianplaces.com.au/murrumbeena>>, accessed January 2026.

Ward, Andrew, *City of Glen Eira Heritage Management Plan*, Volume 2, 1996.

3 HERITAGE REVIEW METHODOLOGY

The methodology adopted for the Heritage Review accords with the Victorian Planning Provisions *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018) ('PPN1', see Appendix I) and the principles of the ICOMOS Burra Charter (including its guidelines for identifying and assessing places).

3.1 Defining a Heritage Place

The term 'heritage place' is applied in the Heritage Review as per the definition in PPN1:

A heritage place could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land. It cannot include movable or portable objects such as machinery within a factory or furniture within a house.

3.2 Defining a 'Locally Significant' Heritage Threshold

As per PPN1, in order to establish if a place meets the threshold for local significance, the Heritage Review involved the completion of historical, physical and comparative analysis of each place in order to ascertain if the place meets one or more of the heritage criteria set out in PPN1.

PPN1 defines the appropriate thresholds as follows:

The thresholds to be applied in the assessment of significance shall be 'State Significance' and 'Local Significance.' 'Local Significance' includes those places that are important to a particular community or locality.

3.3 Documentation Review

3.3.1 Council property data

During the project inception stage, Council provided property data for the study area which formed the basis for the heritage review. This data listed all properties (as at 20 August 2025) grouped by the following periods, according to Council valuation data:

- Pre-1901
- 1901-1918
- 1919-1944
- 1945-1975
- 1976-2018.

The data listed just over 5,600 land parcels with built form (of various types) constructed within these periods. The accuracy of the period assigned was contingent on the accuracy of Council's property data.



3.3.2 Heritage resources

The following sources were reviewed to identify places that had been subject to previous heritage assessments (at a local and State-level) or were recommended to form part of a future assessment program:

- Municipal heritage studies for the current City of Glen Eira, including:
 - A Ward, *City of Glen Eira Heritage Management Plan*, 1996.
 - Built Heritage, *City of Glen Eira Post-War & Hidden Gems Heritage Review*, 2020.
 - RBA Architects & Conservation Consultants, *Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Commercial)*, 2018.
 - RBA Architects & Conservation Consultants *Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)*, 2019.
- HERMES heritage database records managed by Heritage Victoria or City of Glen Eira.
- Non-statutory heritage registers and lists: National Trust of Australia (Victoria) Register and the Register of the National Estate.

The following sources were also reviewed for places within the study area that may be of potential heritage significance:

- A Ward, *City of Glen Eira Thematic Environmental History*, 1996.
- Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.
- Heritage Alliance, *Survey of Post-War Built Heritage in Victoria: Stage One*, 2008.
- P Goad, *The Modern House in Melbourne 1945-1975* [thesis], 1992.
- HERMES heritage database records for all places located within the study area.
- City of Glen Eira, 'War Memorials', <<https://www.gleneira.vic.gov.au/our-city/history-and-heritage/our-monuments-and-sites/war-memorials>>.
- City of Glen Eira, 'Classified Tree Register', <<https://www.gleneira.vic.gov.au/our-city/classified-trees/classified-tree-register>>.
- City of Glen Eira, 'Boyd digital walking tour'.
- City of Glen Eira, 'Rosstown Rail Trail' guide.
- Avenues of Honour, <<https://avenuesofhonour.org>>.
- Monument Australia, <<https://www.monumentaustralia.org/>>.

3.4 Survey of the Study Area

A physical street-by-street survey of all properties within the study area was conducted from the public realm, accompanied by Council officers.

The survey was informed by an historical overview of the study area, an understanding of the development periods within the study area, and an understanding of places already included in the Heritage Overlay.

During the survey, photographs of places of potential heritage significance were captured and the integrity and current condition of each place was noted. The properties were also inspected for additional elements such as outbuildings, fences, trees or landscaping that potentially contributed to the significance of the place – this was supplemented using aerial photography, where necessary, when the place was not clearly visible from the public realm.

It is noted that the Murrumbeena Baptist Church at 42-44 Murrumbeena Road, Murrumbeena was excluded from this Heritage Review as it was subject to a previous heritage amendment (Amendment C214 – *Post War and Hidden Gems Review*) and was found not to warrant inclusion in the Heritage Overlay.

The documentation review and subsequent physical survey resulted in the identification of fifteen (15) potential individual places and five (5) precincts of potential heritage significance.

3.5 Detailed Assessments

Detailed heritage assessments were undertaken on the places and precincts identified in the first stages of the heritage review. The findings from the detailed assessment process are summarised in Section 5 of this report.

Those places that were assessed as meeting the threshold of local significance are identified in Sections 5.1 and 5.2 of this report, with the heritage citations and Statements of Significance provided in Volume 2 of this report. It is recommended that these citations and Statements of Significance be uploaded to the Hermes database to inform the future management of these places, as recommended in PPN1 guidance.

One (1) individual place identified in the first stage of the Heritage Review was found *not* to meet the threshold of local significance. A table providing the reasons for its exclusion is included in Section 5.3. It is recommended that these reasons be uploaded to the Hermes database for future reference.

The methodology for the detailed heritage assessments is summarised below.

3.5.1 Historical Research

A range of primary and secondary sources were consulted as part of the historical research into each place. The aim of the historical research was to determine, where possible:

- The build date of each place;
- The owner of the place when built;
- A builder, designer or architect;
- Whether the place had any significant associations with events or people;
- The development sequence of the place; and
- The current level of intactness compared to the original design (where known).

Key sources reviewed included:

- Previous studies and assessments from existing documentation, including:
 - Andrew Ward, *Glen Eira Heritage Management Plan*, 1996



- Building and planning permit records, provided by Council;
- Municipal rate books;
- Historical Certificates of Title;
- Key local histories;
- Trove digitised newspapers, pictures and photos collections;
- Newspapers.com digitised newspaper archives;
- State Library of Victoria online picture and map collection;
- Public Records Office of Victoria (PROV), public building files.
- Sands and McDougall Melbourne and Suburb Directories;
- Melbourne and Metropolitan Board of Works detail plans and property drainage plans;
- Historical and current real estate advertisements; and
- Historical aerial photographs.

The Glen Eira Historical Society were consulted to discuss their holdings and historical information for the places being assessed for inclusion in the Heritage Overlay. The time, effort and research provided by the Historical Society is greatly appreciated.

3.5.2 Locality History

A locality history was compiled to provide a context for the individual places and precincts being assessed, to help understand their value within the City of Glen Eira's developmental history (see Section 2 of this report).

This locality history builds on historical information provided in Andrew Ward's *City of Glen Eira Heritage Management Plan* (1996) and the *City of Glen Eira Thematic Environmental History* (2020) prepared by Built Heritage Pty Ltd.

3.5.3 Historical Themes

Research determined that the places and precincts recommended for the Heritage Overlay within the Heritage Review represent one or more of the following key historical themes, as drawn from *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians
- 8 Building community life
 - 8.1 Maintaining spiritual life

The themes associated with each place are identified in the heritage citations.

3.5.4 Physical Analysis

Informed by the site visits conducted and available photographic or documentary evidence, a physical description was compiled for each place noting the components of the place, architectural detail and the level of integrity. The physical descriptions also noted any contributory elements such as outbuildings, fences and trees.



3.5.5 Comparative Analysis

A comparative analysis was undertaken for each place to establish its context within the municipality and its significance threshold. Places were compared in terms of their period of construction, architectural expression, their level of integrity and historic use. Places were compared against similar places that are currently included in – or in some cases recommended for inclusion in – the Heritage Overlay of the Glen Eira Planning Scheme on an individual or precinct basis as relevant.

3.5.6 Assessment Against Criteria

Drawing upon the historical research, physical investigation and comparative analysis, an assessment against the heritage criteria set out in PPN1 was undertaken.

3.5.7 Statement of Significance

A separate Statement of Significance was prepared for each recommended place and precinct in accordance with PPN1 for incorporation in the Glen Eira planning scheme. The Statements of Significance follow the format of ‘What is significant?’, ‘How is it significant?’ and ‘Why is it significant?’. The Statements of Significance clearly define the heritage values of each place and precinct and identify contributory elements to guide future management.

The Statements of Significance for places and precincts recommended for inclusion in the Heritage Overlay are included Volume 2 of this report.

3.5.8 Extent of Heritage Curtilage

Where a place or precinct was found to meet the threshold for local significance, an aerial photograph was marked up to indicate the recommended extent of the Heritage Overlay (heritage curtilage). The recommended heritage curtilages are included in the individual citations (see Volume 2). The recommended heritage curtilages have been determined in accordance with the guidance provided in PPN1 and capture all elements that are considered to contribute to the significance of the place or precinct.

3.5.9 Schedule to the Heritage Overlay Triggers

Where a place or precinct was found to meet the threshold for local significance, consideration was given to the following:

- Whether tree controls, paint controls, solar energy system or internal alteration controls should be triggered in the Schedule to the Heritage Overlay;
- Whether outbuildings and fences should be subject to the notice and review requirements of the *Planning and Environment Act 1987*; and
- Whether provisions for allowing prohibited uses should be made.

In accordance with the guidance provided in PPN1, the following approach was taken:

- Tree controls were recommended where trees were identified as contributing to the significance of the place, generally by virtue of them likely being a remnant of an early planting scheme. Where relevant, specific trees or tree species have been identified to provide greater specificity to owners and regulators.

- Where external painting of previously painted surfaces could impact the significance or legibility of the heritage place, external paint controls were recommended.
- Solar energy system controls were set to the default 'yes' setting unless specific circumstances suggested that no controls should apply.
- Where outbuilding or fences were determined to contribute to the significance of the place, it has been recommended that these elements be subject to permit notice and review requirements.
- As interiors could not be inspected, no places have been identified as warranting the application of internal alteration controls. It is noted that PPN1 cautions that this control should only be used sparingly for "special interiors of high significance".

4 HO12 PRECINCT REVIEW METHODOLOGY

Council requested the review of one precinct already subject to the Heritage Overlay – Beauville Estate and Environs Precinct, Murrumbeena (HO12). The existing Statement of Significance, background information and planning triggers were reviewed and updated as necessary to adequately understand and manage the significance of the heritage place.

The following steps were taken to review the heritage precinct:

- a) The existing heritage documentation for the precinct was reviewed. The existing documentation was contained within Andrew Ward's *City of Glen Eira Heritage Management Plan* (1996), Glen Eira City Council's *Review of Existing Heritage Precincts* (2017) and the Glen Eira Planning Scheme incorporated document *Beauville Estate and Environs Precinct Statement of Significance* (August 2020).
- b) The existing Heritage Overlay extent was viewed (using VicPlan), and the existing controls triggered within the Schedule to the Heritage Overlay were noted (using www.planning.vic.gov.au).
- c) The history of the precinct (as detailed in the existing heritage documentation) was reviewed and updated utilising historical Certificates of Title, historical aerial photographs, municipal rate books, Sands & McDougall Melbourne and Suburbs Directories, and contemporary journal and newspaper articles and advertisements accessed via Trove and Newspapers.com.
- d) The precinct was inspected and photographed from the public realm to enable the preparation of an updated physical description and to gain an understanding of the level of intactness and integrity of the precinct. Inspections also enabled a review of the Heritage Overlay extent against the existing fabric and the identification of any trees, fences or outbuildings that contribute to the heritage significance of the property and potentially warrant additional controls under the Heritage Overlay.
- e) A revised Statement of Significance was prepared in accordance with PPN1 for the heritage precinct.



5 FINDINGS & RECOMMENDATIONS

The Heritage Review has resulted in the following findings and recommendations:

- Fourteen (14) places are assessed as being of local individual significance and warrant inclusion in the Heritage Overlay (listed in Section 5.1).
- Five (5) precincts are assessed as being of local significance and warrant inclusion in the Heritage Overlay (listed in Section 5.2).
- One (1) place was found *not* to meet the threshold of local individual significance and does *not* warrant inclusion in the Heritage Overlay (listed in Section 5.3).
- An updated Statement of Significance and Background Information for one (1) existing precinct should be incorporated into the Glen Eira Planning Scheme (listed in Section 5.4).

5.1 Individual Places Recommended for the Heritage Overlay

Heritage citations and Statements of Significance for places recommended for inclusion in the Heritage Overlay on an individual basis are included in Volume 2 of this report.

NAME	ADDRESS	PHOTO
CARNEGIE		
St Peter's Anglican Church	371A Neerim Road, Carnegie	
MURRUMBEENA		
'Woodbine'	18 Adelaide Street, Murrumbeena	

NAME	ADDRESS	PHOTO
'Belwood'	21 Brisbane Street, Murrumbeena	
'Corballis'	29 Murrumbeena Road, Murrumbeena	
House & Former Surgery	31 Murrumbeena Road, Murrumbeena	
'Lansdowne Flats'	Units 1-4/49 Murrumbeena Road, Murrumbeena & Carnegie	



NAME	ADDRESS	PHOTO
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'Bondi'	107 Murrumbeena Road, Murrumbeena	
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St Giles' Presbyterian Church Complex	115 Murrumbeena Rd, Murrumbeena	
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St Patrick's Catholic Church	234 Murrumbeena Road (part), Murrumbeena	
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NAME	ADDRESS	PHOTO
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'Gladysholm' 491 Neerim Road, Murrumbena



'Brunston' 29 Omama Road, Murrumbena



Former Holy
Nativity Anglican
Church 253 Poath Road, Murrumbena



'Gnortsmra' 4 Sydney Street, Murrumbena



NAME	ADDRESS	PHOTO
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'Braemar' 29 Weeroona Road, Murrumbena



5.2 Precincts Recommended for the Heritage Overlay

Heritage citations and Statements of Significance for precincts recommended for inclusion in the Heritage Overlay are included in Volume 2 of this report.

NAME	ADDRESS	PHOTO
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CARNEGIE

Koornang Road Precinct 301-319 (odd nos.) & 314-332 (even nos.) Koornang Road, Carnegie



322-324 Koornang Road



NAME	ADDRESS	PHOTO
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326-328 Koornang Road



320 Koornang Road



313-315 Koornang Road

MURRUMBEENA

Ardyne Estate Precinct

33-43 (odd nos.) Ardyne Street, 1-16 (odd and even nos.) Ariadne Avenue, 1-19 (odd nos.) Burns Avenue, 2-20 (even nos.) Innellan Road & 138-162 (even nos.) Murrumbeena Road, Murrumbeena



39 Ardyne Street



NAME	ADDRESS	PHOTO
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3 Ariadne Avenue



15 Ariadne Avenue



138 Murrumbeena Road

Astolat Avenue Precinct

2-6 (even) & 5-9 (odd) Astolat Avenue and 22-30 (even only) Omama Road, Murrumbeena



6 Astolat Avenue



NAME	ADDRESS	PHOTO
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7 Astolat Avenue



9 Astolat Avenue



26-28 Omama Road

Corinan Estate Precinct 514-516A (even nos.) Neerim Road, Murrumbeena



514 Neerim Road



514A Neerim Road



NAME	ADDRESS	PHOTO
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516 Neerim Road



516A Neerim Road

Lindsay Avenue Precinct 1-39 (odd and even nos.) Lindsay Avenue & 214-220 (even nos.) Murrumbeena Road, Murrumbeena



20 Lindsay Avenue



30 Lindsay Avenue



NAME	ADDRESS	PHOTO
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37 Lindsay Avenue



216 Murrumbeena Road

5.3 Individual Places Not Recommended for the Heritage Overlay

The following place was found *not* to meet the threshold for inclusion in the Heritage Overlay on an individual basis.

NAME	ADDRESS	REASON	PHOTO
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MURRUMBEENA

House	4 Rosella Street, Murrumbeena	<p>Historical research has determined that the house was built in 1912 on Lot 23 of the 'Rosella Estate' and was not historically associated with the earlier owners – the Rosella Preserving Company Ltd – who farmed the wider area from c1907 for a short period before subdividing.</p> <p>Historical research has also confirmed that substantial modifications have been undertaken, including the in-fill of the side (north and south) return verandahs, replacement of the front verandah structure, replacement of the roof tiles with metal sheet cladding, and rear additions.</p> <p>The house is not considered to be of sufficient historical value or physical</p>	
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NAME	ADDRESS	REASON	PHOTO
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intactness to meet the threshold for inclusion in the Heritage Overlay on an individual basis.



5.4 Existing Precinct Review

A revised Statement of Significance and Background Information document for the existing precinct included in the Heritage Overlay are included in Volume 2 of this report.

NAME	ADDRESS	PHOTO
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MURRUMBEENA

Beauville Estate Precinct (HO12)

It is recommended that the name of the precinct be changed from 'Beauville Estate and Environs Precinct' to 'Beauville Estate Precinct'. All houses, shops and recreational areas included in the extent of the Heritage Overlay formed part of AV Jennings' original 1934 Beauville Estate and the addition of 'Environs' is therefore not required.

It is recommended that the 'Outbuildings or fences not exempt under Clause 43.01-4' be triggered to say 'Yes – original brick fences and garages to residential properties' as existing low brick front fences within the precinct and brick garages are contemporary with the residences and form part of the precinct's significance.

1-39 (odd and even) Beauville Avenue; 1 (part), 5-17R, 5-5A & 7-25 (odd only) Dalny Road; 1-6 (odd and even) Gloucester Court; 40-44 (even only) Lindsay Avenue; 222-232 (even only) & 229-233 (odds only) Murrumbeena Road, Murrumbeena



15 Dalny Road



7 Beauville Avenue



NAME	ADDRESS	PHOTO
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1 Gloucester Court



15 Beauville Avenue



Commercial row, 229-233 Murrumbeena Road



Tennis courts, rear of 7-17 Dalny Road



APPENDIX I: *PLANNING PRACTICE NOTE 1: APPLYING THE HERITAGE OVERLAY (2018)*



Applying the Heritage Overlay

Planning Practice Note 1

AUGUST 2018

This practice note provides guidance about the use of the Heritage Overlay.

What places should be included in the Heritage Overlay?

- Any place that has been listed on the Australian Heritage Council's now closed Register of the National Estate.
- Any place that has been referred by the Heritage Council for consideration for an amendment to the planning scheme.
- Places listed on the National Trust Heritage Register of the National Trust of Australia (Victoria), provided the significance of the place can be shown to justify the application of the overlay.
- Places identified in a local heritage study, provided the significance of the place can be shown to justify the application of the overlay.

Places listed on the former *Register of the National Estate* or on the *National Trust Heritage Register* of the National Trust of Australia (Victoria) do not have statutory protection unless they are protected in the planning scheme.

The heritage process leading to the identification of the place needs to clearly justify the significance of the place as a basis for its inclusion in the Heritage Overlay. The documentation for each place shall include a statement of significance that clearly establishes the importance of the place and addresses the heritage criteria.

What are recognised heritage criteria?

The following recognised heritage criteria shall be used for the assessment of the heritage value of the heritage place. These model criteria have been broadly adopted by heritage jurisdictions across Australia and should be used for all new heritage assessment work.

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).

Criterion C: Potential to yield information that will contribute to understanding our cultural or natural history (research potential).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).



Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

The adoption of the above criteria does not diminish heritage assessment work undertaken before 2012 using older versions of criteria.

The thresholds to be applied in the assessment of significance shall be 'State Significance' and 'Local Significance'. 'Local Significance' includes those places that are important to a particular community or locality. Letter gradings (for example, "A", "B", "C") should not be used.

To apply a threshold, some comparative analysis will be required to substantiate the significance of each place. The comparative analysis should draw on other similar places within the study area, including those previously included in a heritage register or overlay. Places identified to be of potential state significance should undergo analysis on a broader (statewide) comparative basis.

Places of significance for historical or social reasons

Planning is about managing the environment and its changes. An appropriate test for a potential heritage place to pass in order to apply the Heritage Overlay is that it has 'something' to be managed. This 'something' is usually tangible but it may, for example, be an absence of built form or the presence of some other special characteristic. If such things are present, there will be something to manage and the Heritage Overlay may be applied.

If not, a commemorative plaque is an appropriate way of signifying the importance of the place to the local community.

Group, thematic and serial listings

Places that share a common history and/or significance, but which do not adjoin each other or form a geographical grouping may be considered for treatment as a single heritage place. Each place that forms part of the group might share a common statement of significance; a single entry in the Heritage Overlay Schedule and a single Heritage Overlay number.

This approach has been taken to the listing of Chicory Kilns on Phillip Island in the Bass Coast Planning Scheme. The kilns are dispersed across the island but share a common significance. Group listing of the kilns also draws attention to the fact that the kilns are not just important on an individual basis but are collectively significant as a group.

The group approach has also been used for the former Rosella Factory Complex in the Yarra Planning Scheme. This important factory complex had become fragmented through replacement development making it hard to justify a precinct listing. The group listing, with a single Heritage Overlay number, has meant that the extent and significance of the complex can still be appreciated.

Writing a statement of significance

For every heritage place (that is, a precinct or individual place) a statement of significance must be prepared using the format of 'What is significant?'; 'How is it significant?' and 'Why is it significant?'.

What is significant? – This section should be brief, usually no more than one paragraph or a series of dot points. There should be no doubt about the elements of the place that are under discussion. The paragraph should identify features or elements that are significant about the place, for example, house, outbuildings, garden, plantings, ruins, archaeological sites, interiors as a guide to future decision makers. Clarification could also be made of elements that are not significant. This may guide or provide the basis for an incorporated plan which identifies works that may be exempt from the need for a planning permit.

How is it significant? – Using the heritage criteria above, a sentence should be included to the effect that the place is important. This could be because of its historical significance, its rarity, its research potential, its representativeness, its aesthetic significance, its technical significance and/or its associative significance. The sentence should indicate the threshold for which the place is considered important.

Why is it significant? – The importance of the place needs to be justified against the heritage criteria listed above. A separate point or paragraph should be used for each criterion satisfied. The relevant criterion reference should be inserted in brackets after each point or paragraph, for example "(Criterion G)". An example statement of significance has been prepared for guidance, see **Appendix A**.



The explanatory report for an amendment that includes a place in the Heritage Overlay (or other supporting documentation accompanying a planning scheme amendment) should:

- state whether the place is a precinct or an individual place
- identify if further controls allowed by the schedule to the overlay are required such as external paint controls or tree controls (the identification of further controls should be based on the explanation of why a heritage place is significant).

Incorporating, saving and displaying statements of significance

A statement of significance must be incorporated in the planning scheme for each heritage place included in the schedule to the Heritage Overlay after 31 July 2018. This requirement does not apply to a heritage place included in the schedule by an amendment prepared or authorised by the Minister for Planning under section 8(1)(b) or section 8A(4) of the *Planning and Environment Act 1987* before 31 October 2018.

However, a statement of significance may be incorporated for any heritage place included in the schedule before 31 July 2018 or by an amendment that the exemption applies to.

If a statement of significance is incorporated in the planning scheme, the name of the statement must be specified in the schedule to the overlay.

All statements of significance (incorporated or otherwise) should be securely stored in the HERMES heritage database.

Where a planning scheme amendment has resulted in the inclusion of, or amendments to, places in the Heritage Overlay, the strategic justification (that is, the heritage study documentation and statements of significance) needs to be updated. A statement of significance that has been incorporated into the planning scheme can only be changed by an amendment to the planning scheme. If the heritage place does not have a statement of significance that has been incorporated, then any changes should be entered into the department's HERMES heritage database.

Where a place (either a precinct or individual place) is included in the Heritage Overlay, the statement of significance for that place should be publicly viewable through the department's Victorian Heritage Database.

Additional resources may be required

When introducing the Heritage Overlay, a council should consider the resources required to administer the heritage controls and to provide assistance and advice to affected property owners. This might include providing community access to a heritage adviser or other technical or financial assistance.

Drafting the Heritage Overlay schedule

What is a heritage place?

A heritage place could include a site, area, building, group of buildings, structure, archaeological site, tree, garden, geological formation, fossil site, habitat or other place of natural or cultural significance and its associated land. It cannot include movable or portable objects such as machinery within a factory or furniture within a house.

What is the planning scheme map reference number?

In column one of the schedule, the Planning Scheme Map Reference prefix should read HO1, HO2, HO3 and so on. Each heritage place in the schedule will have its own identifying number. The planning scheme maps should also record these numbers as a cross reference between the maps and the schedule.

Street numbers and location descriptions

Street numbers and locality addresses should be included for properties wherever possible. Where a street address is not available, plan of subdivision details (for example, Lot 1 of PS12345) should be used. Avoid using Crown Allotment details, Certificate of Title details or obscure location descriptions if possible.

How should the Heritage Overlay schedule be arranged?

There are three preferred options for arranging the schedule:

- Heritage places may be arranged in ascending numerical order by their planning scheme map reference number (eg HO1, HO2, HO3 and so on).
- Heritage places may be grouped according to their suburb, town or location and then arranged alphabetically by street address within each grouping.
- All places may be listed alphabetically by their street address irrespective of their location.

Use the method which most assists users of the planning scheme to find the relevant property by a simple search through the schedule.



An example of a schedule to the Heritage Overlay is included at **Appendix B**.

Application requirements

The schedule allows for application requirements to be specified.

Incorporated plan

Clause 43.01-3 of the Heritage Overlay allows an incorporated plan to be prepared to identify works to a heritage place that are exempt from the need for a planning permit. To do so, the plan must be specified in the schedule to the overlay and must also be listed in the schedule to Clause 72.04.

Statements of significance

Where a statement of significance is incorporated in the planning scheme, it must be given a title which includes the name of the heritage place or if there is no name specified, the full address of the heritage place. The title of the statement of significance must be specified in the schedule to the overlay. The title of the statement must also be listed in the schedule to Clause 72.04.

Heritage design guidelines

Where detailed heritage design guidelines have been prepared for a heritage place, they may be incorporated into the planning scheme. The title of the incorporated document must be specified in the schedule to the overlay and must also be listed in the schedule to Clause 72.04.

Applying external painting controls

External painting controls over particular heritage places can be applied in the schedule by including a 'yes' in the External Paint Controls Apply? column.

Applying internal alterations controls

Internal alteration controls over specified buildings can be applied in the schedule by including a 'yes' in the Internal Alteration Controls Apply? column. This provision should be applied sparingly and on a selective basis to special interiors of high significance. The statement of significance for the heritage place should explain what is significant about the interior and why it is important.

Applying tree controls

The schedule can apply tree controls over heritage places. The tree controls could apply to the whole of a heritage place (for example, over a house site or an area) or a tree or group of trees could be specifically nominated as the heritage place.

Tree controls are applied by including a 'yes' in the Tree Controls Apply? column. Tree controls should only be applied where there has been a proper

assessment. The statement of significance for the heritage place should identify the particular trees that are significant (under "What is significant?") and why the tree or trees are important.

If only one, or a few trees within a large property are considered significant, the 'Tree Controls Apply' column can be qualified with the relevant details. A planning permit would then only be required to remove, destroy or lop the trees that were specifically identified in the column.

This control is designed to protect trees that are of intrinsic significance (such as trees that are included on the National Trust Heritage Register), or trees that contribute to the significance of a heritage place (for example, trees that contribute to the significance of a garden or area). The control is not meant to protect trees for their amenity value. See *Planning Practice Note 7 – Vegetation Protection in Urban Areas* for alternative methods of vegetation protection.

Outbuildings and fences

Councils may consider that certain outbuildings and/or fences on heritage sites are significant and can therefore require that these be subject to the notice and review requirements of the *Planning and Environment Act 1987*. This is achieved by including the word 'yes' in the column headed 'Outbuildings or fences which are not exempt under Clause 43.01-4?'.

It is helpful to landowners and users of the planning scheme if the column in the schedule identifies the particular outbuildings and/or fences that are considered to be significant. The statement of significance for the heritage place should also identify the particular outbuildings and/or fences that are significant (under "What is significant?") and why they are important.

How should places in the Victorian Heritage Register be treated in the schedule and map?

Section 56 of the *Heritage Act 2017* (Heritage Act) requires that the Minister for Planning must 'prepare and approve an amendment to any planning scheme applying to a place which is included or amended in the Heritage Register to identify the inclusion or amendment of that place in the Heritage Register'. This is intended as an alert to planning scheme users of restrictions that might apply to land under the Heritage Act.

Planning authorities should not amend the schedule or maps as they relate to places in the Victorian Heritage Register and certainly not without the prior approval of Heritage Victoria. This is to ensure that



planning schemes accurately reflect the Heritage Register as required by the Heritage Act.

Under Clause 43.01-2, places on the Victorian Heritage Register are subject to the requirements of the Heritage Act and not the planning provisions of the Heritage Overlay. Where Places included in the Victorian Heritage Register are listed in the schedule, a dash should be recorded in columns three (external paint controls), four (internal alteration controls), five (tree controls) and six (outbuildings and fences) to avoid any possible confusion as to whether planning provisions apply to these properties. In column seven ('Included on the Victorian Heritage Register ...') the reference number of the property on the Victorian Heritage Register should be included as an aid to users of the planning scheme.

Allowing a prohibited use of a heritage place

It is possible to make a prohibited use permissible at a specific place by including a 'yes' in the Prohibited uses may be permitted? column.

This provision should not be applied to significant areas because it might result in the de facto rezoning of a large area. The provision should only be applied to specific places. For example, the provision might be used for a redundant church, warehouse or other large building complex where it is considered that the normally available range of permissible uses is insufficient to provide for the future conservation of the building. Currently this provision applies in the metropolitan area of Melbourne to places that are included on the Victorian Heritage Register.

Aboriginal heritage places

Scarred trees, stone arrangements and other places significant for their Aboriginal associations can be identified by including a 'yes' in the Aboriginal Heritage Place? column. As with any place listed in the Schedule to the Heritage Overlay, supporting justification is expected to apply this provision.

The standard permit requirements of Clause 43.01-1 of the Heritage Overlay apply to Aboriginal heritage places included in the schedule. Clause 43.01-10 reminds a responsible authority that the requirements of the *Aboriginal Heritage Act 2006* apply to these places.

How are heritage precincts and areas treated?

Significant precincts and areas should be identified in the schedule and be mapped.

How are individual buildings, trees or properties of significance located within significant areas treated?

The provisions applying to individual buildings and structures are the same as the provisions applying to areas, so there is no need to separately schedule and map a significant building, feature or property located within a significant area.

The only instance where an individual property within a significant area should be scheduled and mapped is where it is proposed that a different requirement should apply. For example, external painting controls may be justified for an individual building of significance but not over the heritage precinct surrounding the building.

Alternatively, tree controls may be justified for a specific tree or property within a significant precinct but not over the whole precinct. In such situations the individual property or tree should be both scheduled and mapped.

Significant buildings or structures within a significant precinct can be identified through a local planning policy.

Curtilages and Heritage Overlay polygons

The Heritage Overlay applies to both the listed heritage item and its associated land. It is usually important to include land surrounding a building, structure, tree or feature of importance to ensure that any development, including subdivision, does not adversely affect the setting, context or significance of the heritage item. The land surrounding the heritage item is known as a 'curtilage' and will be shown as a polygon on the Heritage Overlay map. In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (for example, a suburban dwelling and its allotment).

However, there will be occasions where the curtilage and the Heritage Overlay polygon should be reduced in size as the land is of no significance. Reducing the curtilage and the polygon will have the potential benefit of lessening the number of planning permits that are required with advantages to both the landowner and the responsible authority. Examples of situations where a reduction in the curtilage and polygon may be appropriate include:

- A homestead on a large farm or pastoral property where it is only the house and/or outbuildings that is important. In most cases with large rural properties, the inclusion of large areas of surrounding farmland is unlikely to have any positive heritage benefits or outcomes.



- A significant tree on an otherwise unimportant property.
- A horse trough, fountain or monument in a road reservation.
- A grandstand or shelter in a large but otherwise unimportant public park.

Suggested steps in establishing a curtilage and polygon include:

1. Review the heritage study documentation and ask the question 'What is significant?'. The polygon should capture those elements of the place that are significant. If there are multiple elements that are widely dispersed on the property, one option may be to have multiple polygons which share the same Heritage Overlay number.
2. In addition to capturing the elements that are significant, it is almost always necessary to include a curtilage (see definition above) to:
 - retain the setting or context of the significant building, structure, tree or feature
 - regulate development (including subdivision) in proximity to the significant building, tree or feature.
3. Where possible, uncomplicated and easily recognised boundaries (such as a fence line) leave little room for potential dispute in terms of the land affected by any future Overlay.
4. Use aerial photos where they exist to assist in identifying a reduced curtilage.
5. Where access is possible, 'ground truthing' may be of assistance.

6. Explain the basis for the reduced curtilage polygon in the heritage study documentation
7. Where questions might arise in the future as to the extent of the polygon shown on the planning scheme map, use the entry in the Schedule to the Heritage Overlay (i.e. column two) to specify the area covered by the polygon. For example:

"The heritage place is the Moreton Bay Fig Tree and land beneath and beyond the canopy of the tree and extending for a distance of five metres from the canopy edge."

Mapping heritage places

All heritage places must be both scheduled and mapped.

In each case, care should be taken to ensure that there is an accurate correlation between the Heritage Overlay schedule and the Heritage Overlay map.

The need for care is exemplified by the fact that the Heritage Overlay map will be the determining factor in any dispute as to whether a control applies (for example, in cases where there is conflict between the Heritage Overlay map and the property description or address in the Heritage Overlay schedule).

Councils are encouraged to review their planning schemes to ensure that all heritage places are correctly mapped and that there are no discrepancies between how places are identified in the Heritage Overlay schedule and Heritage Overlay maps.

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**APPENDIX A. Example statement of significance**

GUMNUT PLANNING SCHEME

Wombat Flats Precinct Statement of Significance

Heritage Place: Wombat Flats Precinct	PS ref no: HO26
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*[Insert photo and or map, if applicable]***What is significant?**

The following features contribute to the significance of the precinct:

The houses constructed from c.1855 to c.1910, as shown on the precinct map.

- The overall consistency of housing form (hipped roofs, single storey wall heights), materials and detailing (weatherboard, face brick or stucco external cladding, corrugated metal roofs, wide verandahs facing the street, brick chimneys), and siting (generous and consistent front and side setbacks).
- Streetscape materials such as bluestone kerb and channel and concrete footpaths. Features that do not contribute to the significance of this place include non-original alterations and additions to the contributory buildings shown on the precinct map and the houses at 32, 24 & 36 Wattle Avenue.

Contributory buildings:

Wattle Avenue: 3,5,7,9,11,13,15,17,19

Myrtle Street: 7,11,12

Features that do not contribute to the significance of this place include non-original alterations and additions to the contributory buildings shown on the precinct map and the houses at 32, 24 & 36 Wattle Avenue.

How is it significant?

The Wombat Flats Precinct is of local, historic and aesthetic significance to Gumnut Shire.

Why is it significant?

Historically, the precinct demonstrates how the gold rush encouraged the residential development of this area in the mid-nineteenth century. The later Victorian and Edwardian housing demonstrates the next stage of development, which resulted from the establishment of improved transport links and industries such as the Butterscotch Factory in near-by Lilly Pilly Street. (Criterion A)

The precinct is significant for the way it demonstrates the key phases of development prior to World War I, characterised by mid to late Victorian era housing, supplemented by Edwardian infill, set within a nineteenth century subdivision with a regular allotment pattern. It is representative of the way residential areas in Gumnut developed during this era. (Criterion D)

The mid to late Victorian and Federation/Edwardian houses with characteristic form, materials and detailing are complemented by traditional public realm materials such as concrete footpaths and bluestone kerb and channel. (Criterion E)

Primary source*[Insert applicable study and/or citation, if applicable]**[Insert grading table for large precincts]*

Number	Address	Grade
7	Wattle Avenue	Contributory

This document is an incorporated document in the Gumnut Planning Scheme pursuant to section 6(2)(j) of the Planning and Environment Act 1987



APPENDIX B. Example schedule to the Heritage Overlay

GUMNUT PLANNING SCHEME

SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY

1.0 Application requirements

None specified.

2.0 Heritage places

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage Place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO1	House 1 Albert Street, Belmont	Yes	No	No	Yes, front fence	No	No	No
HO2	Althol House 57 Albert Street, Belmont	-	-	-	-	Yes Ref No H456	Yes	No
HO3	Moreton Bay Fig Tree 26 Bryant Street, Ceres The heritage place is the Moreton Bay Fig Tree and land beneath the canopy edge of the tree for a distance of five metres from the canopy edge	No	No	Yes	No	No	No	No
HO4	Barwon River Bridge Station Street, Geelong	-	-	-	-	Yes Ref No H789	No	No
HO5	William Street Precinct William Street, Geelong Incorporated plan: William Street Precinct permit exemptions Statement of significance:	Yes	No	No	No	No	No	No

Heritage places listed in the schedule before 31 July 2018 are not required to include a statement of significance

An incorporated plan, statement of significance and design guidelines are listed in column 2, under the relevant heritage place name



GUMNUT PLANNING SCHEME

PS map ref	Heritage Place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
	Williams Street Precinct Statement of Significance Heritage design guidelines: William Street Precinct streetscape design guidelines							
HO6	Wombat Flats Precinct 1-35 & 2-36 Wattle Avenue and 1-29 & 2-30 Blue Gum Statement of significance: Wombat Flats Precinct Statement of Significance	No	No	No	No	No	No	No
HO7	Mount Rothwell Stone Arrangement Mount Rothwell Station Little River-Ripley, Little River Statement of significance: Mount Rothwell Stone Arrangement Statement of Significance	No	No	No	No	No	No	Yes

A statement of significance is listed in column 2, under the relevant heritage place name

CITY OF GLEN EIRA

MURRUMBEENA & CARNEGIE (PART) HERITAGE REVIEW (VOLUME TWO)



PREPARED FOR: Glen Eira City Council
DATE: 21 April 2026
FILE: 2025-036

PROJECT TEAM

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Cover page image: Houses in Koornang Road Precinct, Carnegie (GJM Heritage, September 2025)

ACKNOWLEDGEMENTS

We would like to acknowledge the valuable assistance provided by Glen Eira City Council in undertaking this heritage review. Our gratitude goes to Anne Kilpatrick of the Glen Eira Historical Society for their assistance.

The study area forms part of the traditional lands of the Bunurong/Boonwurrung people of the Eastern Kulin Nation People, who are represented by the Bunurong Land Council Aboriginal Corporation. This heritage review is limited in its scope to consideration of post-contact cultural heritage and does not specifically address Aboriginal cultural heritage significance. Nonetheless, we acknowledge the Traditional Owners of the land and pay our respects to their Elders past, present and emerging. For more information, please visit <https://www.bunuronglc.org/>.

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1.2	Precincts recommended for inclusion in the Heritage Overlay	2
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1 INTRODUCTION

Volume 2 contains the heritage citations and Statements of Significance for those places and precincts recommended for inclusion in the Heritage Overlay of the Glen Eira Planning Scheme and the updated Statement of Significance and Background Information document for one precinct currently included in the Heritage Overlay (HO12).

1.1 Individual Places recommended for inclusion in the Heritage Overlay

NAME	ADDRESS	PAGE NO.
CARNEGIE		
St Peter's Anglican Church	371A Neerim Road, Carnegie	4
MURRUMBEENA		
'Woodbine'	18 Adelaide Street, Murrumbeena	25
'Belwood'	21 Brisbane Street, Murrumbeena	38
'Corballis'	29 Murrumbeena Road, Murrumbeena	50
House & Former Surgery	31 Murrumbeena Road, Murrumbeena	64
'Lansdowne Flats'	Units 1-4/49 Murrumbeena Road, Murrumbeena & Carnegie	76
'Bondi'	107 Murrumbeena Road, Murrumbeena	89
St Giles' Presbyterian Church Complex	115 Murrumbeena Rd, Murrumbeena	102
St Patrick's Catholic Church	234 Murrumbeena Road (part), Murrumbeena	125
'Gladysholm'	491 Neerim Road, Murrumbeena	139
'Brunston'	29 Omama Road, Murrumbeena	153
Former Holy Nativity Anglican Church	253 Poath Road, Murrumbeena	166
'Gnortsmra'	4 Sydney Street, Murrumbeena	181
'Braemar'	29 Weeroona Road, Murrumbeena	193

1.2 Precincts recommended for inclusion in the Heritage Overlay

NAME	ADDRESS	PAGE NO.
CARNEGIE		
Koornang Road Precinct	301-319 (odd nos.) & 314-332 (even nos.) Koornang Road, Carnegie	205
MURRUMBEENA		
Ardyne Estate Precinct	33-43 (odd nos.) Ardyne Street, 1-16 (odd and even nos.) Ariadne Avenue, 1-19 (odd nos.) Burns Avenue, 2-20 (even nos.) Innellan Road & 138-162 (even nos.) Murrumbeena Road, Murrumbeena	223
Astolat Avenue Precinct	2-6 (even) & 5-9 (odd) Astolat Avenue and 22-30 (even only) Omama Road, Murrumbeena	244
Corinan Estate Precinct	514-516A (even nos.) Neerim Road, Murrumbeena	267
Lindsay Avenue Precinct	1-39 (odd and even nos.) Lindsay Avenue & 214-220 (even nos.) Murrumbeena Road, Murrumbeena	281

1.3 Existing precinct included in the Heritage Overlay

NAME	ADDRESS	PAGE NO.
MURRUMBEENA		
Beauville Estate Precinct (HO12)	1-39 (odd and even) Beauville Avenue; 1 (part), 5-17R, 5-5A & 7-25 (odd only) Dalny Road; 1-6 (odd and even) Gloucester Court; 40-44 (even only) Lindsay Avenue; 222-232 (even only) & 229-233 (odds only) Murrumbeena Road, Murrumbeena	299



2 CITATIONS AND STATEMENTS OF SIGNIFICANCE



HERITAGE CITATION

ST PETER'S ANGLICAN CHURCH
371A NEERIM ROAD, CARNEGIE



Figure 1. 371A Neerim Road, Carnegie (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Church	Architect: Louis R Williams
Construction Date: 1924-25, 1958-59	Builder: R J Werner (1924-25)
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent shown at Figure 28

Place History

St Peter’s Church of England, on the south side of Neerim Road, underwent various stages of development from the early twentieth century onwards.

A large site on Neerim Road was acquired by the Anglican church in 1905 (Reid 1999:1). In 1907 a timber building – originally constructed in Ormond to serve as a Church of England – was relocated to the subject site and opened for worship on 20 October 1907 (evident at Figure 2). In 1920 this building was relocated to the southern end of the property to serve as a kindergarten (evident at Figure 7), and was demolished in the 1970s when the southern portion of the property was sold (Reid 1999:2, 15).

A second timber building was relocated to the site in 1914 and refurbished to serve as the new church (evident at Figure 2). The two early timber buildings that presented to Neerim Road are evident in a 1917 photograph (Figure 3). The second timber building was demolished in stages during the construction of the present brick church (Reid 199:6). The present church was constructed in stages in 1924-25 and 1958-59, to designs by architect Louis R Williams (PROV, PB File).

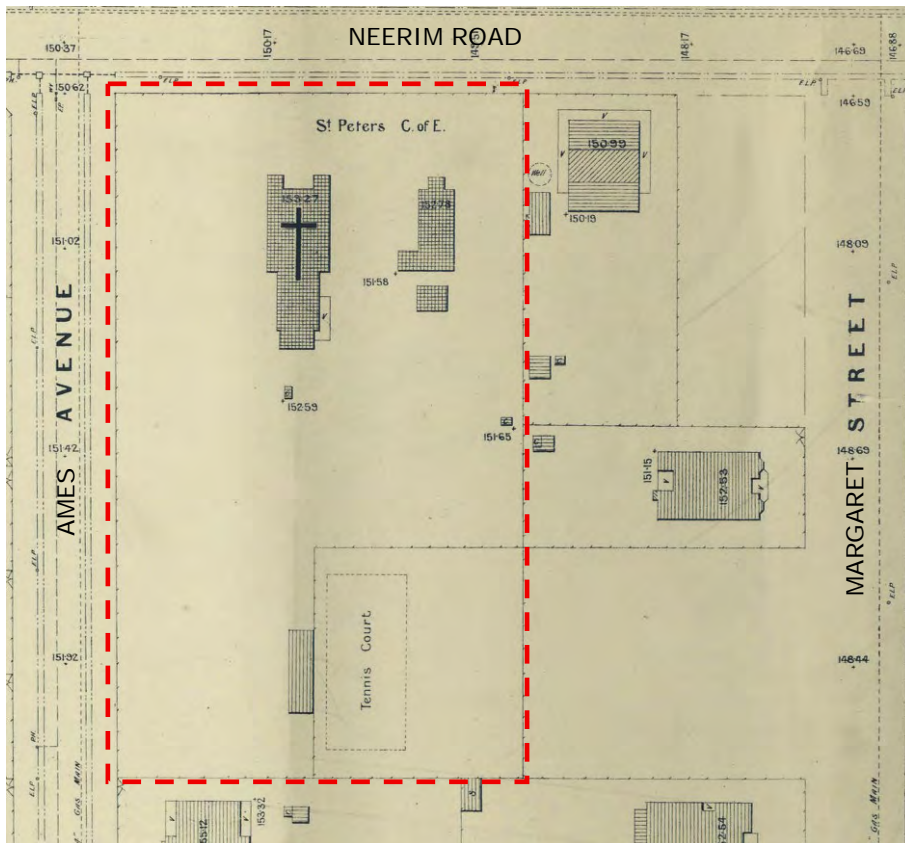


Figure 2. Melbourne and Metropolitan Board of Works Detail Plan No. 2848, dated 1917, showing the early extent of the church holdings (highlighted in red). The first timber building relocated to the site in 1907 is at right. The second timber building relocated to the site in 1914 is at left, which served as the new church. A tennis pavilion and courts are located at the south end of the site (Source: SLV)



Figure 3. The two early timber buildings at the site, 1917 (both since demolished). The first timber building on the site in 1907 is at left. The second timber building on the site in 1914 is at right (Source: Reid 1999:8)

A school building was constructed southeast of the church in 1918 and extended to the north in 1920-21 and 1945 (evident at Figure 4, Figure 7 and Figure 16; since demolished) (Reid 1999:10, 34).



Figure 4. The early extent of the timber school building, southeast of the church, 1920s (since demolished) (Source: Reid 1999:12)

Tennis courts and a tennis pavilion were established at the south end of the original extent of the site during this period (Figure 2); these were rebuilt in 1963 but have since been removed. The lot to the west of the church site, on the corner of Ames Avenue, was acquired in 1918 for the construction of the first purpose-built vicarage for St Peter's (Reid 1999:10). This was replaced in 1973-74, with the construction of the present vicarage (at the current 371 Neerim Road) (Reid 1999:66).

In the 1920s architect Louis R Williams was approached to design a new church for the site; his proposed design, dated 1924, is shown at Figure 5. The plan was to build the church in four stages, the first stage being the "west end" (a narthex to replace the entrance porches of the existing timber church), which was built as per the 1924 design (Reid 1999:15-6).

Figure 5. Architect Louis R Williams' original design for the church, dated 1924
 (Source: Organ Historical Trust Australia)



The brick narthex was completed in 1925 (Figure 6 - Figure 8) and presented a new facade to Neerim Road while retaining the earlier timber building to the rear (PROV PB File). The foundation stone to the 1925 narthex notes that it was laid by "Harrington Clare Archbishop of Melbourne on Whitsun Eve A.D. 1924" and notes the architect as Louis R Williams and builder as R J Werner. A small timber entrance porch was added to the east side of the brick narthex in the late 1920s (Figure 9; since replaced) (Reid 1999:22).

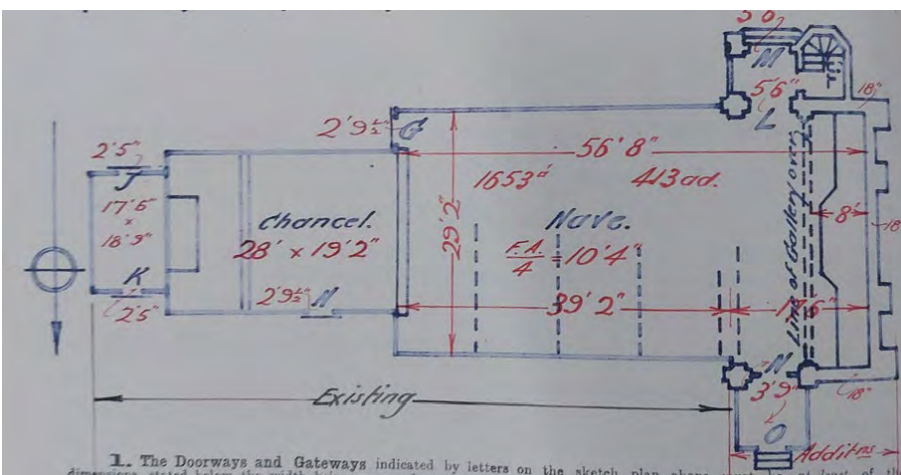


Figure 6. Plan showing the new brick narthex (at right) to the existing timber church (at left), plan dated March 1925
 (Source: PROV, PB File)

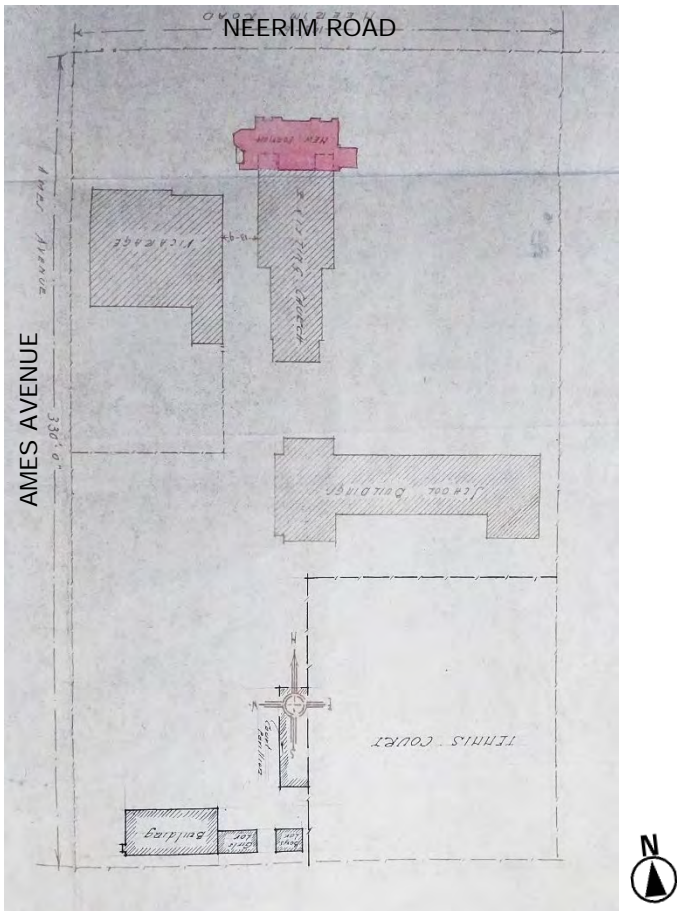


Figure 7. Site plan, c1925. Coloured red is the narthex to the existing timber church. The plan also shows the earlier vicarage to the west, the early extent of the school building to the immediate south, and the tennis pavilion and kindergarten building at the far south end of the site (all of which have been removed) (Source: PROV, PB File)



Figure 8. The newly constructed brick narthex, c1925. The timber body of the church remained (Source: Reid 1999:18)



Figure 9. The church with the side timber entrance porch (since replaced), c1929 (Source: Reid 1999:22)



Figure 10. Aerial photograph of the subject site, 1945. The brick narthex is evident facing Neerim Road, north of the earlier timber portions of the church. The earlier, larger extent of the church property is indicated in red (Source: Landata Victoria)

In 1958 Louis R Williams designed “the completion of St Peter’s,” the design different to what was envisaged in the 1924 drawing (Figure 5) owing to a smaller budget than anticipated. The design proposed the replacement of the earlier timber portions of the church with a steel and brick structure to extend south of the 1925 narthex which was to also undergo external alterations. In 1958, the timber body of the church was demolished and the foundation stone of the new section of the church laid on 1 November 1958 (PROV PB file; Reid 1999:44). Architectural drawings

by Williams (Figure 11 - Figure 15) illustrate the new form, comprising a main entrance porch (off the east elevation of the 1925 narthex), a secondary porch at the centre of the east elevation, a nave, chapel, chancel, sanctuary and vestries, establishing the church's present form. Williams' redesign of the 1925 narthex altered the pitched roof and gable end to a rectangular, parapeted form (PROV PB File; Reid 1999:36). The church was dedicated on 6 June 1959. In 1963 a swinging bell was installed in the belfry (PROV PB File).

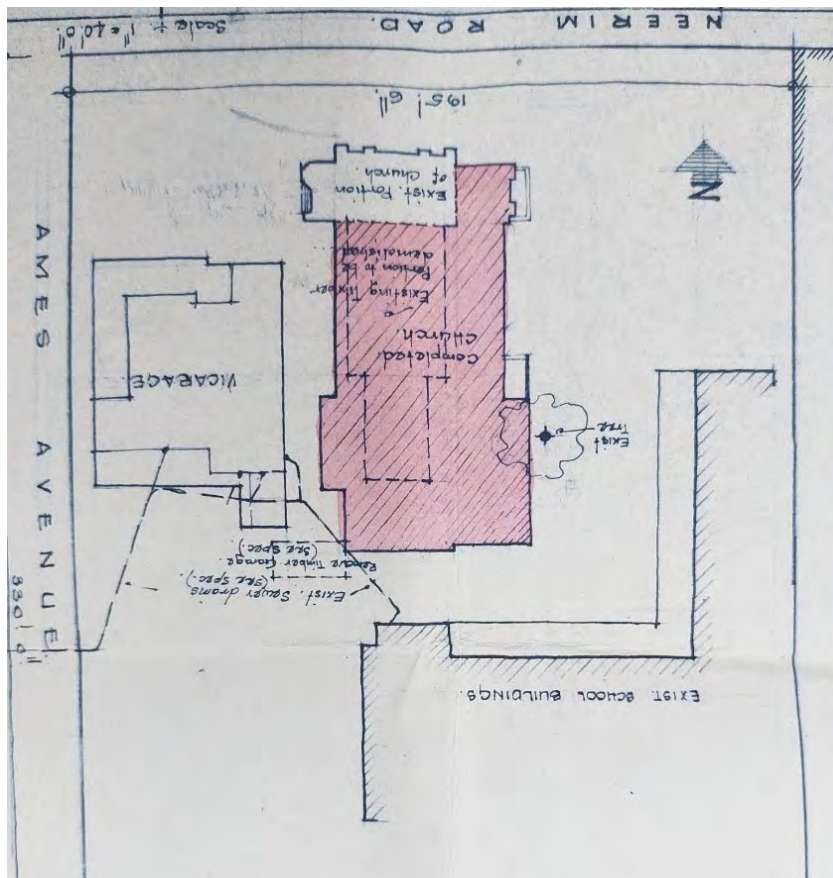


Figure 11. Site plan, 1958, by architect L R Williams. Coloured red is the proposed works for the completion of the church, replacing the earlier timber body (Source: PROV, PB File)

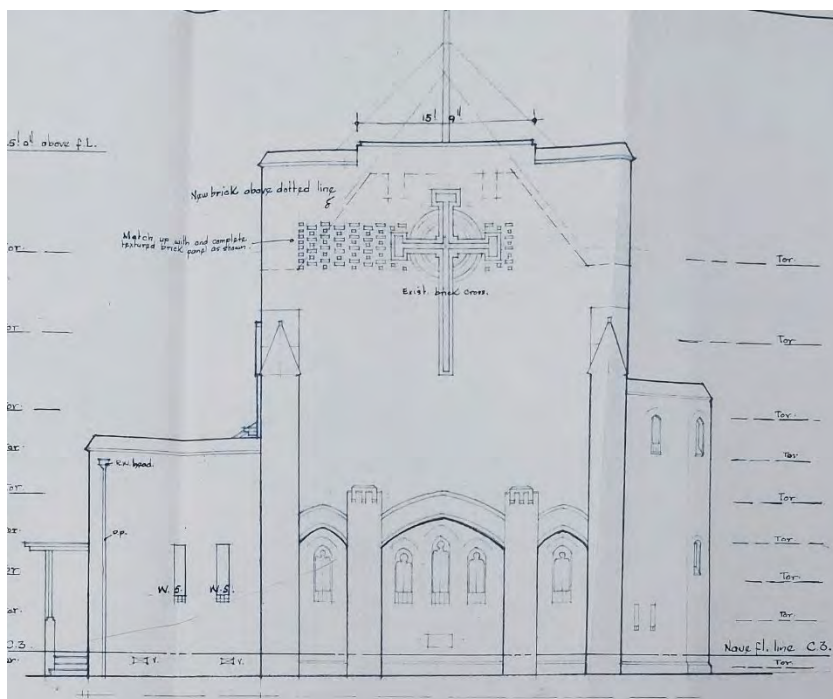


Figure 12. North elevation drawing, 1958, showing the redesign of the 1920s narthex – the earlier gabled form shown with dotted lines. Drawings by Louis R Williams (Source: PROV, PB File)

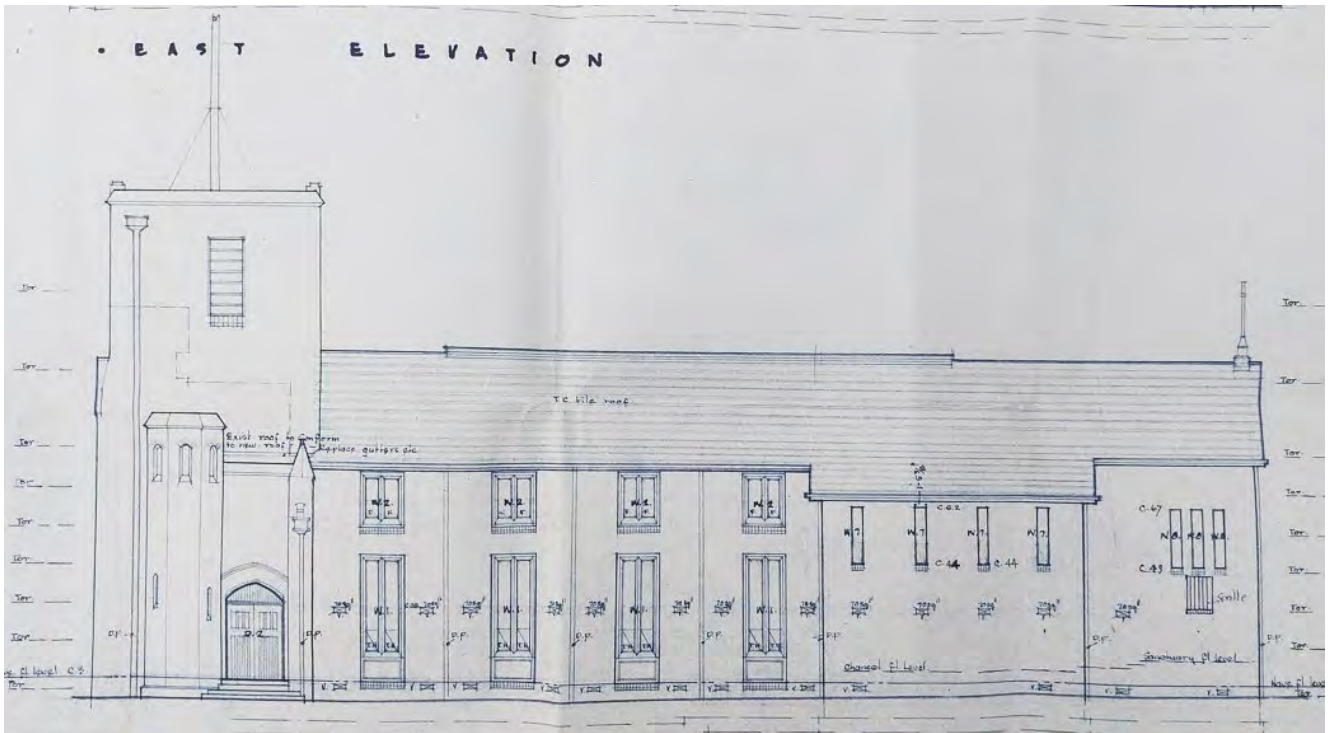


Figure 13. West elevation drawing, 1958, also showing the redesign of the 1920s narthex – the earlier form shown with dotted lines. Drawing by Louis R Williams (Source: PROV PB File)

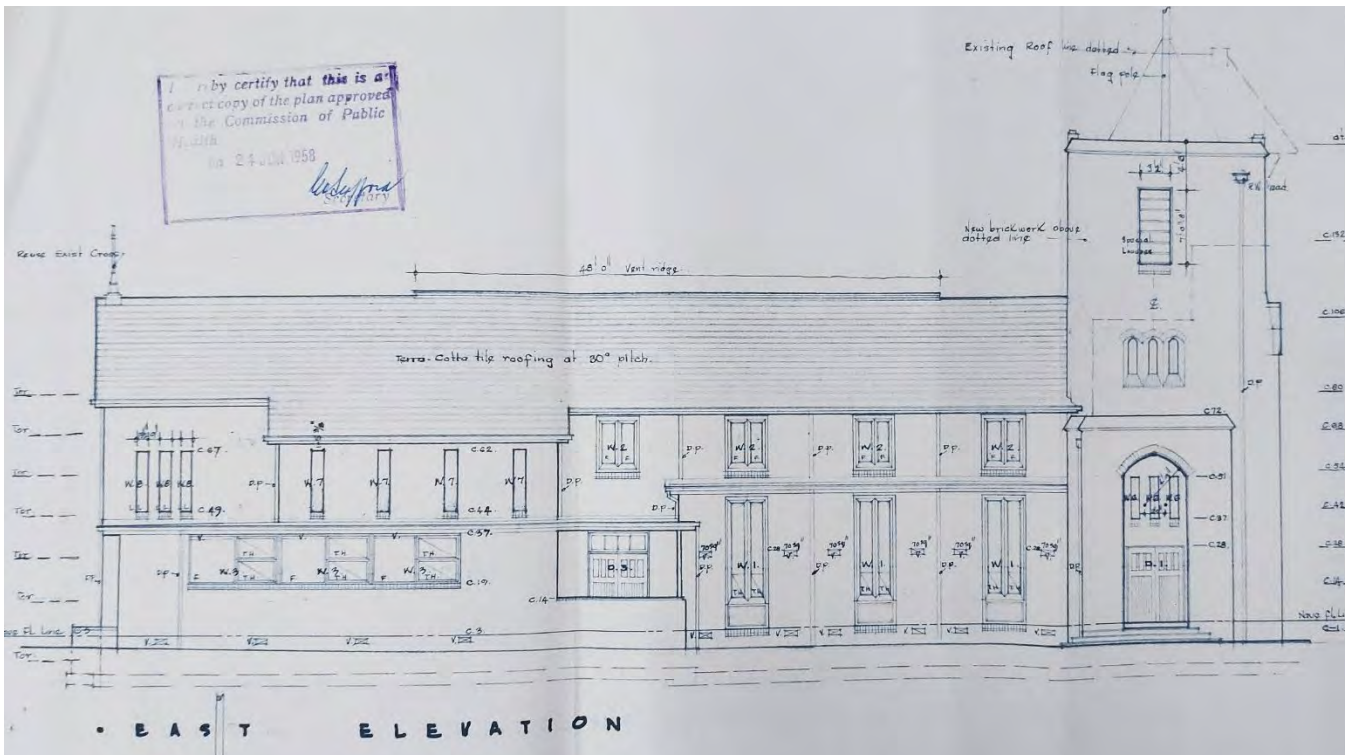


Figure 14. East elevation drawing, 1958, by Louis R Williams (Source: PROV PB File)

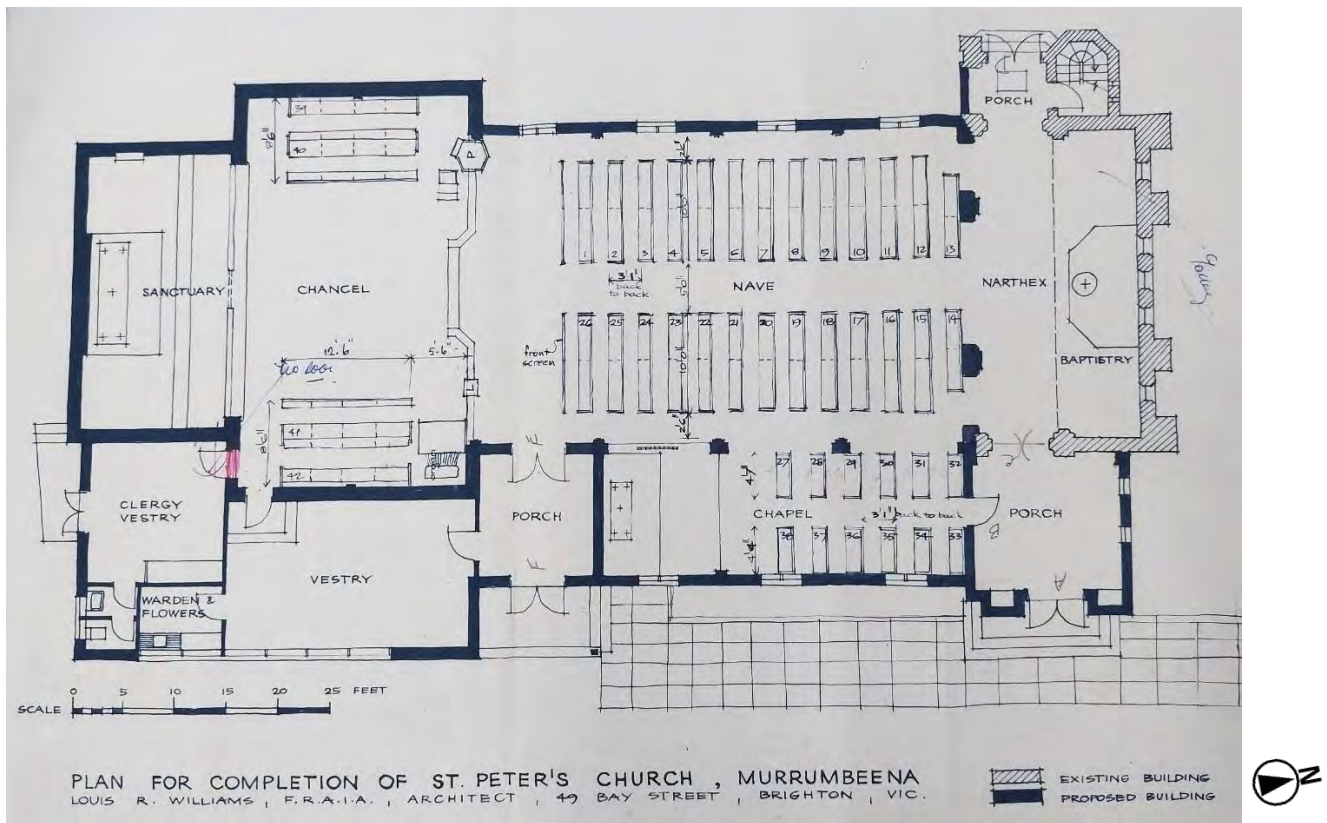


Figure 15. A c1958 floor plan, showing the existing building (walls hatched) and proposed building (walls coloured solid), by Louis R Williams (Source: PROV PB File)

A 1969 aerial photograph (Figure 16) shows the completed church, the earlier manse to the west (since replaced), the earlier school building to the southeast of the church (replaced with the present brick-veneered hall in c1976) (Reid 1999:67) and the kindergarten and tennis pavilion at the southern end of the site (demolished).



Figure 16. Aerial photograph, 1969, showing the completed church. The earlier, larger extent of the property is indicated in red. All of the other buildings at the property have been replaced or removed (Source: Landata Victoria)

In 1976, the southern portion of the church's holdings (comprising the kindergarten hall, tennis pavilion and tennis courts; shown at Figure 16) was subdivided and sold to Caulfield City Council to develop this site. The sale provided funds for the church to construct the new vicarage and improve the school building (PROV PB File; Reid 1999:67).

The church holds an Andreas Svensson Pipe Organ which is suggested to be the only known example of an instrument built by Melbourne cabinet maker Svensson, possibly originally for his own home (NTAV).

In 2026 the church continues to serve as St Peter's Anglican Church.

Louis R Williams, architect

Louis Reginald Williams (1890-1980) was born in Hobart, Tasmania, and was articled to architect Frank Heyward in 1910 before he transferred to Alexander North in Launceston c1912. He partnered with North in Melbourne between 1913 and 1920, practising as North and Williams, with a focus on church projects and an adherence to an Arts and Crafts philosophy.

Williams became one of Australia's most prominent ecclesiastical architects in the 1920s and 1930s, with his designs constructed all over Australia. He was also appointed diocesan architect to the Anglican dioceses of Bathurst and Grafton in New South Wales. His preferred material was brick with the occasional use of reinforced concrete. His

work often included a tiled roof, tower, a facade with a masonry cross, generous internal planning, and a focus on quality materials, finishes and workmanship. Maidment notes that Williams “...developed a clearly identifiable Free Gothic synthesis, characterised by overall simplicity and unencumbered surfaces, comparable with the works of British contemporaries such as Sir Edward Maufe” (Maidment 2012:765).

Williams designed more than 130 churches throughout Australia for various denominations, primarily during the interwar period, and continued to practice into the 1960s (Maidment 2012:766).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

8 Building community life

- 8.1 Maintaining spiritual life

Description

St Peter’s Anglican Church is located on the south side of Neerim Road, south-west of the main intersection of Dandenong Road and Murrumbeena Road. The church is located to the west of the property, with the principal elevation to Neerim Road. The street boundary is unfenced and the setback is grassed, with a broad concrete path providing pedestrian access to the church and carpark at the rear.

The red brick church building is of a rectangular form with a parapeted narthex and flanking porches to the principal elevation, tile-clad gabled roof nave to the rear (south) with the roof extending to the east and west to suggest shallow transepts, and two flat-roofed sections to the east side. A massive narthex, with restrained brick detailing, dominates the principal elevation and exhibits restrained characteristics of the Gothic Revival style. Two unadorned buttresses with gablets frame the narthex and above is a large centrally placed brick cross, set in front of a broad horizontal band of raised brickwork. At ground level two broad piers divide a shallow arcade of pointed arches which contain lancet windows with deep sills and leadlight glass. Large rectangular openings with louvres are set high into the east and west faces of the narthex and three openings are set into the south (rear) elevation. The prominent eastern porch is cuboid in form with a plain angled parapet, two narrow rectangular windows with leadlighting to the principal elevation and a large, pointed arch-headed recess to the east elevation with a pair of timber entry doors and narrow rectangular openings above. In contrast, the secondary western porch and stair tower presents as a tall polygonal form with narrow window openings to the principal elevation and porch entrance set to the south. Both the gabled-roof nave and the flat-roofed section at the northern end of the east elevation are lined with large pairs of unadorned rectangular windows with smaller pairs of windows above. The lower flat-roofed section at the southern end of the east elevation contains a porch and a continuous set of rectangular windows lines the east side.

Key Features

- Red brick church in a restrained Gothic Revival style, constructed in two stages in the interwar and postwar periods
- Dominant parapeted central narthex with side porches to the principal elevation
- Tile-clad gabled roof with shallow eaves to the rear
- Restrained brick detailing to the central narthex including buttresses with gablets, shallow arcade of pointed arches divided by broad piers, and a centrally placed cross set in front of a broad horizontal band of raised brickwork
- Restrained Gothic Revival detailing including pointed arch-headed openings, lancet windows with leadlight glazing and polygonal stair tower
- Pairs of unadorned rectangular windows with smaller pairs of windows above.



Figure 17. Aerial photograph of the subject site (indicated in red), December 2025. To the southeast is the c1976 hall (part of 371A Neerim Road; outside the subject site), to the west is the associated vicarage (371 Neerim Road; outside the subject site) (Source: Nearmap)



Figure 18. St Peter's Church at 371A Neerim Road, Carnegie. At left is the brick hall (outside the subject site) (Source: GJM Heritage, September 2025)



Figure 19. St Peter's Church at 371A Neerim Road, Carnegie. At right is the manse at 371 Neerim Road (outside the subject site) (Source: GJM Heritage, September 2025)

Intactness/Integrity

St Peter's Anglican Church at 371A Neerim Road, Carnegie, remains highly intact to its 1959 completion date, in fabric, form and detail. The place retains a high degree of integrity as a church constructed in two stages during the interwar and postwar periods, in a restrained Gothic Revival style.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

In response to substantial residential growth in the municipality of Glen Eira in the twentieth century, and particularly in the interwar and postwar periods in the central and southern suburbs of the municipality, including the suburbs of Carnegie and Murrumbeena, a significant number of churches were established, replaced or expanded to service the rapidly growing population. This included new churches for Catholic, Presbyterian, Methodist, Anglican and Church of Christ congregations.

St Peter's Anglican Church, Carnegie, was constructed in two stages to designs by architect Louis R Williams, whose design concept evolved between the construction of the first stage in the interwar period, and the completion of the church in the postwar period. While there are no direct comparators given the staging of construction, churches designed in a similar restrained revival style in the interwar or postwar period, and which are included, or recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme include:

St Agnes Anglican Church and Vicarage, 114-116 Booran Road, Glen Huntly, 1924 (HO96)



Figure 20. 114-116 Booran Road, Glen Huntly (Source: VHD)

St Aloysius Catholic Church, 233 Balaclava Road, Caulfield North, 1923-1924 (HO77)



Figure 21. 233 Balaclava Road, Caulfield North (Source: VHD)

St Andrew's Presbyterian Church, 237 North Road, Caulfield South, 1933 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 22. 237 North Road, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review (Volume Two), 2024)

St Paul's Church and School, 122 Jasper Road, Bentleigh, 1960-61 (HO120)



Figure 23. 122 Jasper Road, Bentleigh (Source: Google Street View)

In addition, the following churches within the City of Glen Eira were designed by Louis R Williams and reflect his body of work within the municipality:

Christ Church Anglican Church, 436 North Road, Ormond, 1937 (part of HO75)



Figure 24. 436 North Road, Ormond (Source: VHD)

St Paul's Anglican Church, 530 Dandenong Road, Caulfield North, 1938 with 1996 additions (part of HO14)



Figure 25. 530 Dandenong Road, Caulfield North (Source: Google Street View)

St Giles' Presbyterian Church, 115 Murrumbeena Rd, Murrumbeena, 1934 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 26. 115 Murrumbeena Rd, Murrumbeena (Source: GJM Heritage, Murrumbeena and Carnegie (part) Heritage Review, 2026)

Ormond Uniting Church, 419 North Road, Ormond, 1937 (not included in the Heritage Overlay of the Glen Eira Planning Scheme)



Figure 27. 419 North Road, Ormond (Source: Google Street View)

Like St Peter's Anglican Church, Carnegie, the above churches were constructed during the interwar or postwar periods and exhibit a range of characteristics of the Gothic or Romanesque revival styles. They are all of brick construction with tile-clad gabled roofs, dominant towers or facades presenting to the street, and hall-type forms. Like St Paul's Church in Bentleigh and St Andrew's Presbyterian Church in Caulfield South, and other churches within the municipality designed by architect Louis R Williams, the completed St Peter's Anglican Church adopts restrained revivalist detailing to its dominant principal facade. It is noted that St Paul's Anglican Church, Caulfield North and Ormond Uniting Church, Ormond – both designed by Williams – have been adversely impacted by the installation of telecommunications infrastructure to their towers and other unsympathetic alterations.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

St Peter's Anglican Church, Carnegie has strong associations with the extensive interwar and postwar development phase of the central and southern portions of the municipality, when the area was comprehensively transformed from a predominantly pastoral and agricultural one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the

area and a large number of churches were constructed, replaced or expanded at this time to service the spiritual needs of the rapidly expanding population. St Peter’s Anglican Church, Carnegie remains highly intact to its 1959 completion date to clearly demonstrate the interwar and postwar development in the City of Glen Eira and the importance of religious institutions to the growing population at the time.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

St Peter’s Anglican Church, Carnegie is a fine and highly intact representative example of the restrained Gothic Revival style of the early-mid twentieth century. The church displays principal characteristics of the style, including a tile-clad gabled roof, red-brick construction, rectangular form, a dominant façade with restrained detailing, pointed arch-headed openings, rectangular windows and lancet windows with leadlight glazing.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

St Peter’s Anglican Church, Carnegie is a well-considered and finely executed example of the restrained Gothic Revival style, applied over two stages of construction during the interwar and postwar periods, to a design by noted ecclesiastical architect Louis R Williams. The refined detailing – including a dominant and monumentally proportioned central narthex with side porches to the principal elevation, restrained brick detailing to the narthex including buttresses with gablets and a shallow arcade of pointed arches divided by broad piers, below a centrally placed cross set in front of a broad horizontal band of raised brickwork, pointed arch-headed openings, lancet windows with leadlight glazing and a polygonal stair tower – presents a restrained and elegant expression of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the polygon shown in Figure 28 below. The recommended extent of the Heritage Overlay follows the north and west property boundaries, the southern extent follows the alignment of the neighbouring property's rear boundary, and the eastern extent provides a 4 metre buffer from the eastern-most elevation of the church.



Figure 28. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Coleman, Ian & Roslyn Coleman, *Twentieth Century Churches in Victoria*, 1996.

Landata Victoria (LV), Central Plan Office, Historical Aerial Photography.

Maidment, John (2012), "Louis R. Williams" in Philip Goad & Julie Willis's (Eds.) (2012), *The Encyclopedia of Australian Architecture*, Port Melbourne, pp 765-766.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No. 2848, dated 1917.

National Trust of Australia, Victoria (NTAV), Victorian Heritage Database record for "Andreas Svensson Pipe Organ - St Peter's Anglican Church, 371 Neerim Road, Murrumbidgee", Place ID 65097.

Nearmap ©.

Organ Historical Trust Australia, 'St Peter's Anglican Church, Neerim Road, Murrumbidgee', <<https://www.ohat.org.au/organs/organs/MurrumbidgeeAng.html>>, accessed 3 December 2025.

Public Records Office Victoria (PROV), Public Building (PB) Files, "St Peter's Church of England", VPRS 7882, P1, Units 1004 & 1005.

Reid, Alex, *Feeding Christ's Sheep: A History of St. Peter's Murrumbeena with Holy Nativity Hughesdale*, Murrumbeena, 1999.

State Library of Victoria (SLV), images and plans as cited.

St Peter's Anglican Church, 371A Neerim Road, Carnegie Statement of Significance

Heritage Place: St Peter's Anglican Church, 371A Neerim Road, Carnegie	PS ref no: HOXX
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What is significant?

St Peter's Anglican Church at 371A Neerim Road, Carnegie, constructed in 1924-25 and 1958-59.

Elements that contribute to the significance of the place include:

- Red brick church in a restrained Gothic Revival style, constructed in two stages in the interwar and postwar periods
- Dominant parapeted central narthex with side porches to the principal elevation
- Tile-clad gabled roof with shallow eaves to the rear
- Restrained brick detailing to the central narthex including buttresses with gablets, shallow arcade of pointed arches divided by broad piers, and a centrally placed cross set in front of a broad horizontal band of raised brickwork
- Restrained Gothic Revival detailing including pointed arch-headed openings, lancet windows with leadlight glazing and polygonal stair tower
- Pairs of unadorned rectangular windows with smaller pairs of windows above.

Features that do not contribute to the significance of this place include later asphalt surfaces and carparking to the rear, and hard landscaping.

How is it significant?

St Peter's Anglican Church at 371A Neerim Road, Carnegie, is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

St Peter's Anglican Church, Carnegie has strong associations with the extensive interwar and postwar development phase of the central and southern portions of the municipality, when the area was comprehensively transformed from a predominantly pastoral and agricultural one to an almost exclusively residential one by the

early postwar period. This period of development transformed the built environment and social and economic character of the area and a large number of churches were constructed, replaced or expanded at this time to service the spiritual needs of the rapidly expanding population. St Peter's Anglican Church, Carnegie remains highly intact to its 1959 completion date to clearly demonstrate the interwar and postwar development in the City of Glen Eira and the importance of religious institutions to the growing population at the time. (Criterion A)

St Peter's Anglican Church, Carnegie is a fine and highly intact representative example of the restrained Gothic Revival style of the early-mid twentieth century. The church displays principal characteristics of the style, including a tile-clad gabled roof, red-brick construction, rectangular form, a dominant façade with restrained detailing, pointed arch-headed openings, rectangular windows and lancet windows with leadlight glazing. (Criterion D)

St Peter's Anglican Church, Carnegie is a well-considered and finely executed example of the restrained Gothic Revival style, applied over two stages of construction during the interwar and postwar periods, to a design by noted ecclesiastical architect Louis R Williams. The refined detailing – including a dominant and monumentally proportioned central narthex with side porches to the principal elevation, restrained brick detailing to the narthex including buttresses with gablets and a shallow arcade of pointed arches divided by broad piers below a centrally placed cross set in front of a broad horizontal band of raised brickwork, pointed arch-headed openings, lancet windows with leadlight glazing and a polygonal stair tower – presents a restrained and elegant expression of this architectural style. (Criterion E)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'WOODBINE', 18 ADELAIDE STREET, MURRUMBEENA



Figure 1. 18 Adelaide Street, Murrumbena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: 1892-1893	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 18 Adelaide Street, Murrumbeena was constructed in 1892-1893 as a brick house with seven rooms, for James C Rice (RB). The property was Lot 71 of the Murrumbeena Reserve Estate which was subdivided c1887 (Figure 2).



Figure 2. Auction notice for Murrumbeena Reserve, dated c1887. The subject site is indicated in red (Source: SLV ID 998299273607636)

The lots within the estate located between Adelaide and Brisbane streets were acquired and individually on-sold by Albert, Walter and Arthur Wiseman, “warehousemen” in December 1890 (LV:V1986/020). Lot 71 was purchased by Ernest James Rice, also a warehouseman, in the same month (LV:V2321/F165). The Rice family were drapers in England and migrated to Melbourne in 1870 (Solomon 1989:55).

A 1918 Melbourne and Metropolitan Board of Works (MMBW) plan (Figure 3) shows a footprint of the house with a return verandah, a narrow timber addition along the rear (north) elevation (since replaced) and a small outbuilding along the rear boundary (since removed). The 1918 plan also notes that the house was named ‘Woodpine’, however, family notices published in local newspapers called the house ‘Woodbine’ (*Argus*, 27 Jan 1933:1).

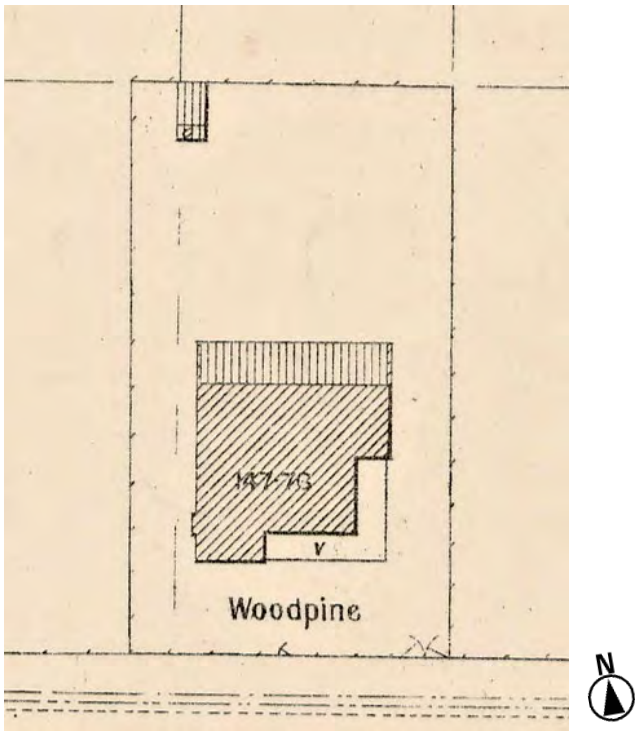


Figure 3. MMBW Detail Plan No 2562 showing a footprint of the house at 18 Adelaide Street, 1918. Diagonal hatching indicates a brick or stone structure, straight hatching indicates a timber structure (Source: SLV)

Following Ernest J Rice's death in 1937 (at which time he was described as an importer), the property remained within the Rice family until the late 1970s (LV:V2321/F166).

The extent of the house is shown in 1945 and 1969 aerial photographs (Figure 4 & Figure 5). A photograph of the house dated c1972 (Figure 6) shows the principal elevation of the house, the return verandah and its cast iron posts and details.

Additions were constructed to the rear (north) of the house in c1993 (PP) and post-1993. A later outbuilding was built along the eastern boundary (part of the present shed/garage may be evident in 1945 as per Figure 4).



Figure 4. Aerial photograph dated 1945, the subject site indicated in red; the rear (north) verandah and central part of the main roof form (likely the dormer which remains in 2025) appears to be clad in metal sheets (Source: Landata Victoria)



Figure 5. Aerial photograph dated 1969, the subject site indicated in red (Source: Landata Victoria)



Figure 6. Photograph of the house dated c1972, labelled 'Woodbine' (Source: Glen Eira Historical Society via Victorian Collections, Id 2101A-004, <<https://victoriancollections.net.au/>>)



Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6 Building towns, cities and the garden state

- 6.3 Shaping the suburbs
- 6.7 Making homes for Victorians

Description

The house at 18 Adelaide Street is located on the north side of Adelaide Street, south-east of the main intersection of Dandenong Road and Murrumbeena Road and north of the Murrumbeena Railway Station. The rectangular lot is accessed via a driveway at the eastern end of the street boundary. The house has a small garden setback from the front boundary.

The single-storey house is constructed of polychromatic brickwork and is asymmetrical in form with a projecting rectangular bay at the west end of the principal elevation. Roofs are hipped, with the visible south and east faces clad in slate and north and west faces in corrugated sheet metal. Three tall polychromatic brick chimneys, with rendered corniced capping and terracotta chimney pots, are located at either side of the front roof and a simpler chimney is located towards the rear of the house. Below the eaves are repeating pairs of brackets. A bullnose verandah, clad in corrugated sheet metal, extends across the principal elevation from the projecting front bay and returns to a side projecting bay at the east side. Supported on cast iron posts with decorative capitals, the timber-floored verandah is decorated with a cast iron frieze and brackets. The projecting front bay contains a large cream brick arch, set on a slim moulded impost band, and a pair of rectangular timber-framed sash windows. The front entrance is centrally placed, flanked by the bay and a pair of rectangular timber-framed sash windows. The west side of the house has been rendered and painted and contains two windows with metal-clad hoods supported on timber brackets.

Additions are located to the north (rear) of the house. A later timber picket fence, with vehicular gates to the east and central pedestrian gates, extends across the front boundary.

Key Features:

- Single-storey polychromatic brick house in the Italianate style of the late Victorian period
- Slate-clad (partial) hipped roof
- Asymmetrical front elevation with projecting front and side bay
- Bullnose return verandah, clad in corrugated sheet metal, with timber floor, cast iron posts with decorative capitals and decorative cast iron frieze and brackets
- Decorative detailing including paired eaves brackets and large cream brick arch with moulded impost band to projecting front bay
- Rectangular timber-framed sash windows
- Bracketed metal-clad hoods to side windows
- Tall polychromatic brick chimneys with rendered corniced capping and terracotta chimney pots.



Figure 7. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 8. 18 Adelaide Street, Murrumbena (Source: GJM Heritage, September 2025)



Figure 9. 18 Adelaide Street, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 10. 18 Adelaide Street, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 18 Adelaide Street, Murrumbeena remains substantially intact to its period of construction. Despite single-storey rear additions, the replacement of some slate-clad roof planes with corrugated sheet metal, and the rendering of the western elevation, the place retains a high degree of integrity as a late Victorian residence constructed in the Italianate style.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – were the first to undergo residential development, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. Residential development of the central suburbs – including Murrumbeena, Carnegie and Caulfield South – occurred later than in the north of the municipality, and share a similar developmental history. The southern portion of the municipality,

south of North Road – including McKinnon, Bentleigh and Bentleigh East – previously formed part of the municipality of Moorabbin, and retained a predominantly agricultural character into the early twentieth century, before undergoing major residential development in the interwar and postwar periods.

In the central and southern portions of the municipality, nineteenth century residential development was tentative and housing was generally limited to a number of speculative subdivisions, commonly located in the vicinity of transport routes.

A small number of largely intact Victorian-era dwellings from the central and southern portions of the municipality are comparable to 18 Adelaide Street, Murrumbeena and are included in the Heritage Overlay of the Glen Eira Planning Scheme. They include:

32 Murray Street, Elsternwick, c1893 (HO130)



Figure 11. 32 Murray Street, Elsternwick (Source: VHD)

234 Neerim Road, Carnegie, c1890s (HO175)



Figure 12. 234 Neerim Road, Carnegie (Source: VHD)

133 Tucker Road, Bentleigh, 1889 (HO215)



Figure 13. 133 Tucker Road, Bentleigh (Source: Built Heritage, City of Glen Eira Heritage Review, 2020)

19 Hopetoun Street, Elsternwick, c1890 (HO203)



Figure 14. 19 Hopetoun Street, Elsternwick (Source: Google Street View)

19 Blanche Street, Elsternwick, 1887 (HO92)



Figure 15. 19 Blanche Street, Elsternwick (Source: VHD)

18 Poplar Grove, Carnegie, 1889 (HO80)

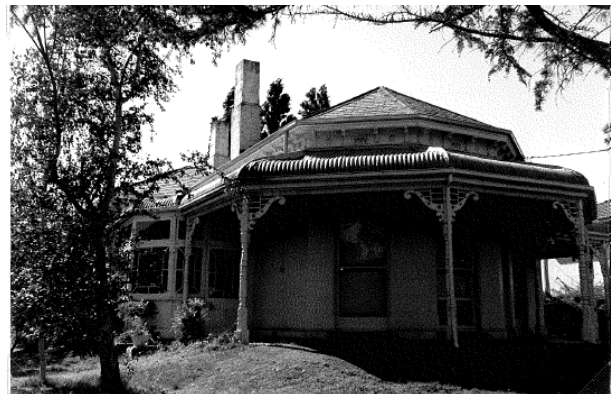


Figure 16. 18 Poplar Grove, Carnegie (Source: VHD)

Like the house at 18 Adelaide Street, Murrumbeena, the above houses were constructed in what is now the City of Glen Eira in the late nineteenth century. Constructed in brick, these houses exhibit a range of characteristics representative of Italianate-style housing of the late Victorian period, including single-storey hipped roof forms, asymmetrical forms and front elevations, decorative verandahs, bracketed eaves, timber-framed sash windows, and decorative brick chimneys. Like the above examples, 18 Adelaide Street, Murrumbeena retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the characteristics of the Victorian Italianate style.

Similar to the Victorian Italianate houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 18 Adelaide Street, Murrumbeena clearly illustrates an important and early phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Woodbine' at 18 Adelaide Street, Murrumbeena has strong associations with the early development of Murrumbeena, when land was first subdivided and sold for residential development in the late nineteenth century. It is one of a small number of substantially intact houses remaining in the suburb to clearly demonstrate this early phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

'Woodbine' at 18 Adelaide Street, Murrumbeena is a fine and substantially intact representative example of a late Victorian villa. It displays principal characteristics of the Italianate style of the late Victorian period, including a partially slate-clad hipped roof, polychromatic brickwork, prominent front bay with a large cream brick arch with moulded impost band forming an asymmetrical front elevation, a bullnose return verandah clad in corrugated sheet metal with a timber floor, cast iron posts with decorative capitals and decorative cast iron frieze and brackets, repeating paired eaves brackets, timber-framed sash windows, bracketed metal-clad hoods to side windows and tall polychromatic brick chimneys with rendered corniced capping and terracotta chimney pots.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 17 below.



Figure 17. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Glen Eira Historical Society via Victorian Collections, Id 2101A-004, <<https://victoriancollections.net.au/>>, accessed October 2025.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No 2562, dated 1918.

Nearmap ©.

Permit plans (PP), provided by Glen Eira City Council.

Rate Books (RB), Shire of Caulfield, Eastern Riding: 1892, entry 865; 1893 entry 3640.

Solomon, Dr Geulah, *Caulfield's Heritage, Volume 1, Caulfield's Building Heritage*, 1989.

State Library of Victoria (SLV), images as cited.

The Argus.

'Woodbine', 18 Adelaide Street, Murrumbeena Statement of Significance

Heritage Place: 'Woodbine', 18 Adelaide Street, Murrumbeena	PS ref no: HOXX
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What is significant?

'Woodbine' at 18 Adelaide Street, Murrumbeena, constructed in 1892-1893.

Elements that contribute to the significance of the place include:

- Single-storey polychromatic brick house in the Italianate style of the late Victorian period
- Slate-clad (partial) hipped roof
- Asymmetrical front elevation with projecting front and side bay
- Bullnose return verandah, clad in corrugated sheet metal, with timber floor, cast iron posts with decorative capitals and decorative cast iron frieze and brackets
- Decorative detailing including paired eaves brackets and large cream brick arch with moulded impost band to projecting front bay
- Rectangular timber-framed sash windows
- Bracketed metal-clad hoods to side windows
- Tall polychromatic brick chimneys with rendered corniced capping and terracotta chimney pots.

Features that do not contribute to the significance of this place include non-original additions to the north (rear) of the house, later outbuildings to the north (rear) of the property, and the later timber fence to the street frontage.

How is it significant?

'Woodbine' at 18 Adelaide Street, Murrumbeena is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Woodbine' at 18 Adelaide Street, Murrumbeena has strong associations with the early development of Murrumbeena, when land was first subdivided and sold for residential development in the late nineteenth century. It is one of a small number of substantially intact houses remaining in the suburb to clearly demonstrate this early phase of development in the City of Glen Eira. (Criterion A)

'Woodbine' at 18 Adelaide Street, Murrumbeena is a fine and substantially intact representative example of a late Victorian villa. It displays principal characteristics of the Italianate style of the late Victorian period, including a partially slate-clad hipped roof, polychromatic brickwork, prominent front bay with a large cream brick arch with moulded impost band forming an asymmetrical front elevation, a bullnose return verandah clad in corrugated sheet metal with a timber floor, cast iron posts with decorative capitals and decorative cast iron frieze and brackets, repeating paired eaves brackets, timber-framed sash windows, bracketed metal-clad hoods to side windows and tall polychromatic brick chimneys with rendered corniced capping and terracotta chimney pots. (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'BELWOOD', 21 BRISBANE STREET, MURRUMBEENA



Figure 1. 21 Brisbane Street, Murrumbena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: 1890	Builder: William G Godfrey
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 21 Brisbane Street, Murrumbeena, was constructed in 1890 as a weatherboard house with five rooms for (and likely by) William G Godfrey, carpenter (RB). The property was Lot 28 of the Murrumbeena Reserve Estate which was subdivided c1887 (Figure 2).



Figure 2. Auction notice for Murrumbeena Reserve, dated c1887. The subject site is indicated in red (Source: SLV ID 998299273607636)

Lot 28 was purchased by William George Godfrey, a Prahran carpenter, in August 1889. Research has not been able to determine details of Godfrey’s work or career. In April 1897 Godfrey sold the property to Lizzie Dunn, “wife of Charles Dunn of Bowen Street, Windsor, Dairy Produce Merchant”. The Duns also owned lots to the south fronting Perth Street. The Duns sold the property to Arthur Stephens in February 1916. The property had various subsequent owners (LV:V2644/637; V2184/F774).

A 1918 Melbourne and Metropolitan Board of Works (MMBW) plan (Figure 3) shows a footprint of the house, with an early arrangement at the rear southwest corner (since altered) and a combined outbuilding and stable at the rear of the property (since removed). A 1920 drainage plan (Figure 4) noted the name “Belwood,” and shows that small additions including a verandah had been constructed at the rear southeast corner of the house (since replaced).

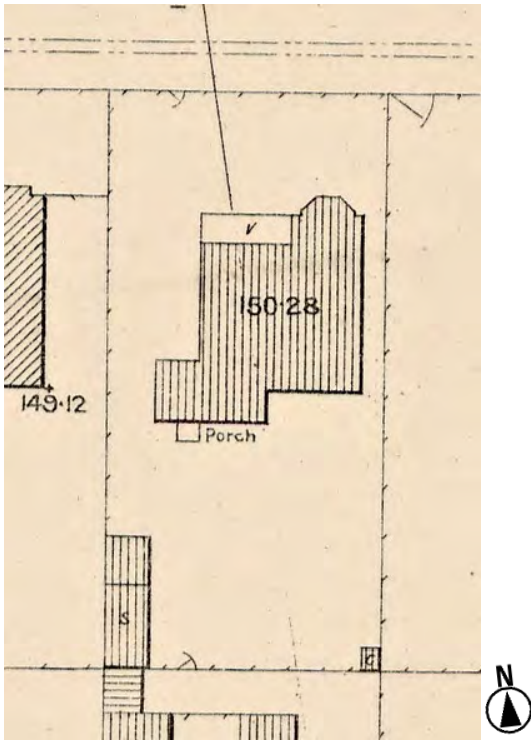


Figure 3. MMBW Detail Plan No 2562 showing the footprint of the house and outbuildings at 21 Brisbane Street, 1918. "S" indicates a stable (Source: SLV)

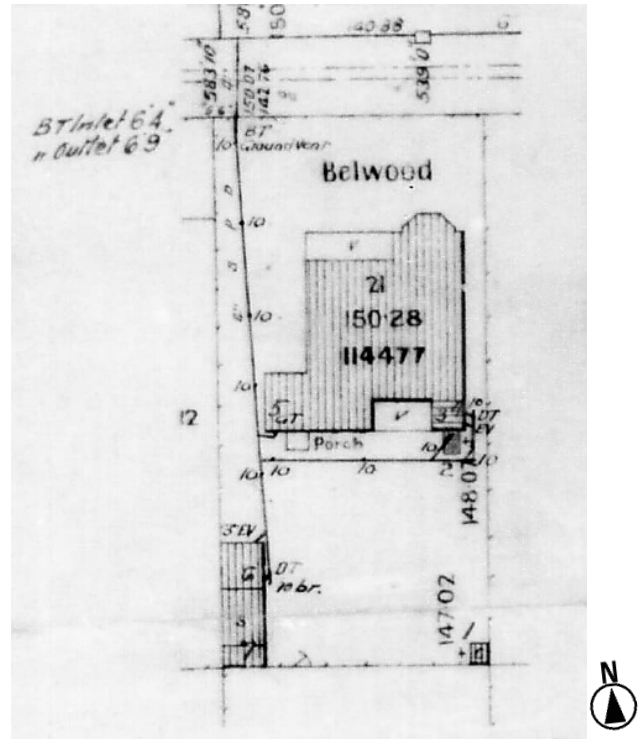


Figure 4. Drainage Plan of the subject site dated November 1920, showing a footprint of the house and outbuildings, annotated with sewerage works (Source: SEW, Drainage Plan No. 114477)

The extent of the house is evident on 1945 and 1969 aerial photographs (Figure 5 & Figure 6).

The verandah to the principal elevation was later replaced (date note confirmed). In c1995, an addition was constructed off the rear (south) elevation, replacing the earlier rear sections of the house, and a carport constructed to the west of the house (PP).

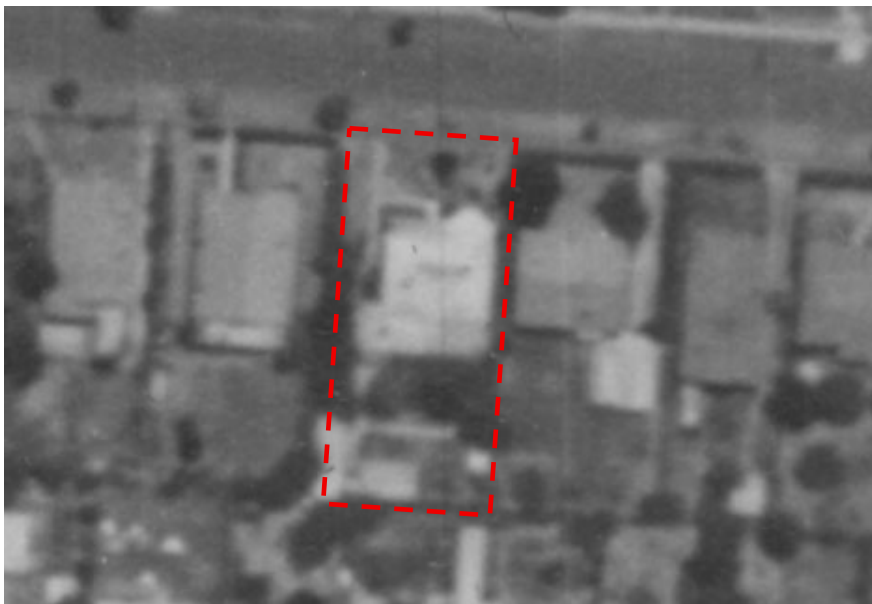


Figure 5. Aerial photograph dated 1945, the subject site indicated in red (Source: Landata Victoria)



Figure 6. Aerial photograph dated 1969, the subject site indicated in red (Source: Landata Victoria)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians

Description

The house at 21 Brisbane Street is located on the south side of Brisbane Street, south-east of the main intersection of Dandenong Road and Murrumbeena Road and north of the Murrumbeena Railway Station. The rectangular lot is accessed via a driveway at the western end of the street boundary. The house has a small garden setback from the front boundary.

The single-storey house is constructed of timber with a block-fronted principal elevation and hipped corrugated sheet metal-clad roof. Two polychromatic brick chimneys are located behind the front ridgeline. The principal elevation is asymmetrical with a projecting hipped-roof bay at the east end of the principal elevation. Below the eaves are pairs of repeating decorative timber brackets with alternating raised rectangular panels. A later flat-roofed verandah extends across the principal elevation, westward from the projecting front bay. The polygonal front bay contains three segmental-arched timber-framed windows, with moulded architraves and imposts and incised decorative panels below. The front entrance, with sidelights and highlight, is centrally placed, flanked by the bay and a pair of timber-framed sash windows with segmental-arched heads and moulded architraves and imposts.

A later carport, with a brick-paved driveway, is located to the west of the house and an addition is located to the south (rear) of the house. A later timber picket fence, with vehicular gates to the west, extends across the front boundary.

Key Features:

- Single-storey timber house in the Italianate style of the late Victorian period
- Block-fronted timber principal elevation
- Corrugated sheet metal-clad hipped roof
- Asymmetrical front elevation with projecting hipped-roof polygonal side bay
- Detailing including paired decorative timber eaves brackets with alternating raised rectangular panels and incised decorative panels to the polygonal window bay
- Segmental-arched timber-framed windows with moulded architraves and impost
- Timber panelled front door with sidelights and highlight
- Two polychromatic brick chimneys behind the front ridgeline.



Figure 7. Aerial photograph of the subject site, December 2025 (Source: Nearmap)





Figure 8. 21 Brisbane Street, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 21 Brisbane Street, Murrumbeena remains substantially intact to its period of construction. Despite a single-storey rear addition and later front verandah constructed in a broadly appropriate style, the place retains a high degree of integrity as a modestly-scaled, late Victorian residence constructed in the Italianate style.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – were the first to undergo residential development, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. Residential development of the central suburbs – including Murrumbeena, Carnegie and Caulfield South – occurred later than in the north of the municipality, and share a similar developmental history. The southern portion of the municipality, south of North Road – including McKinnon, Bentleigh and Bentleigh East – previously formed part of the municipality of Moorabbin, and retained a predominantly agricultural character into the early twentieth century, before undergoing major residential development in the interwar and postwar periods.

In the central and southern portions of the municipality, nineteenth century residential development was tentative and housing was generally limited to a number of speculative subdivisions, commonly located in the vicinity of transport routes.

A small number of largely intact Victorian-era dwellings from the central and southern portions of the municipality are comparable to 21 Brisbane Street, Murrumbeena and are included – or have been recommended for inclusion – in the Heritage Overlay of the Glen Eira Planning Scheme. They include:

22 Brady Road, Bentleigh East, 1889 (HO97)



Figure 9. 22 Brady Road, Bentleigh East (Source: VHD)

9 Vickery Street, Bentleigh, 1895 (HO142)



Figure 10. 9 Vickery Street, Bentleigh (Source: Realestate.com.au, image dated 2026)

19 Leopold Street, Caulfield South, 1890
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 11. 19 Leopold Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)

2 Glen Orme Avenue, McKinnon, 1887
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 12. 2 Glen Orme Avenue, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

40 Wheatley Road, McKinnon, 1892 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 13. 40 Wheatley Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

Like the house at 21 Brisbane Street, Murrumbeena, the above houses were all constructed in what is now the City of Glen Eira in the late nineteenth century. Constructed in timber, these houses exhibit a range of characteristics representative of housing of the late Victorian period, including single-storey hipped roof forms, timber block fronted principal elevations (with the exception of 2 Glen Orme Avenue), decorative front verandahs, bracketed eaves, and decorative brick chimneys. Like the above examples, 21 Brisbane Street, Murrumbeena retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the principal characteristics of late Victorian residential architecture.

Similar to the Victorian houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 21 Brisbane Street, Murrumbeena clearly illustrates an important and early phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Belwood' at 21 Brisbane Street, Murrumbeena has strong associations with the early development of Murrumbeena, when land was first subdivided and sold for residential development in the late nineteenth century. It is one of a small number of substantially intact houses remaining in the suburb to clearly demonstrate this early phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

'Belwood' at 21 Brisbane Street, Murrumbeena is a fine and substantially intact representative example of a late Victorian villa. It displays characteristics illustrative of the Italianate style of the late Victorian period, including a block-fronted timber principal elevation, a corrugated sheet metal-clad hipped roof, paired decorative timber eaves brackets with alternating raised rectangular panels, prominent polygonal bay forming an asymmetrical front elevation, segmental-arched timber-framed windows with moulded architraves and imposts, and a pair of polychromatic brick chimneys.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 14 below.



Figure 14. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Electoral Rolls: 1903, Division of Kooyong, Subdivision of Murrumbeena; 1914, Division of Henty, Subdivision of Oakleigh.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works Detail Plan No 2562, dated 1918.

Nearmap ©.

Permit plans (PP), provided by Glen Eira City Council.

Rate Books (RB), Shire of Caulfield, Eastern Riding: 1889-90, entry 2855; 1891, entry 3618.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

State Library of Victoria (SLV), images as cited.

'Belwood', 21 Brisbane Street, Murrumbeena Statement of Significance

Heritage Place: 'Belwood', 21 Brisbane Street, Murrumbeena

PS ref no: HOXX



What is significant?

'Belwood' at 21 Brisbane Street, Murrumbeena, constructed in 1890.

Elements that contribute to the significance of the place include:

- Single-storey timber house in the Italianate style of the late Victorian period
- Block-fronted timber principal elevation
- Corrugated sheet metal-clad hipped roof
- Asymmetrical front elevation with projecting hipped-roof polygonal side bay
- Detailing including paired decorative timber eaves brackets with alternating raised rectangular panels and incised decorative panels to the polygonal window bay
- Segmental-arched timber-framed windows with moulded architraves and imposts
- Timber panelled front door with sidelights and highlight
- Two polychromatic brick chimneys behind the front ridgeline.

Features that do not contribute to the significance of this place include non-original additions to the south (rear) of the house, later carport and later timber fence to the street frontage. The front verandah is not original but has been constructed in a broadly appropriate style.

How is it significant?

'Belwood' at 21 Brisbane Street, Murrumbeena, is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Belwood' at 21 Brisbane Street, Murrumbeena has strong associations with the early development of Murrumbeena, when land was first subdivided and sold for residential development in the late nineteenth century. It is one of a small number of substantially intact houses remaining in the suburb to clearly demonstrate this early phase of development in the City of Glen Eira. (Criterion A)

'Belwood' at 21 Brisbane Street, Murrumbeena is a fine and substantially intact representative example of a late Victorian villa. It displays characteristics illustrative of the Italianate style of the late Victorian period, including a block-fronted timber principal elevation, a corrugated sheet metal-clad hipped roof, paired decorative timber eaves brackets with alternating raised rectangular panels, prominent polygonal bay forming an asymmetrical front elevation, segmental-arched timber-framed windows with moulded architraves and impost, and a pair of polychromatic brick chimneys. (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'CORBALLIS', 29 MURRUMBEENA ROAD, MURRUMBEENA



Figure 1. 29 Murrumbeena Road, Murrumbeena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: 1913	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 29 Murrumbeena Road was built in 1913, described in the rate books as a weatherboard and roughcast render house with seven rooms and attics. It was constructed for Thomas G Newton and was named 'Corballis' (RB).

The property was Lot 19 of a residential subdivision of Crown Portion 103 (Murrumbeena, Parish of Prahran) on the southwest corner of Dandenong and Murrumbeena roads, with lots sold from 1912 (LV:V2857/F364). Thomas George Newton, Oakleigh auctioneer, purchased Lot 19 of the subdivision in September 1913 (LV:V3726/F158), and had the house constructed soon after. Family members subsequently occupied the house (RB). Newton practised as T G Newton & Co and was a prominent local auctioneer and real estate agent from the late nineteenth century (History Monash).

Newton sold the property in 1917 (LV:V3726/F158; SM). In the 1920s the house was occupied by physicians, who likely practised from the property (RB; SM).

The 1918 Melbourne and Metropolitan Board of Works (MMBW) plan notes the name 'Corballis' and shows an early footprint of the house and early outbuildings (outbuildings since removed). The 1918 plan and aerial photographs dated 1930s to 1960s indicate that originally the main roof form extended just past the (eastern-most) gabled bay to the south-facing roof, and a narrow structure with a lower roof form extended along the rear (west) elevation, projecting at the southern end.

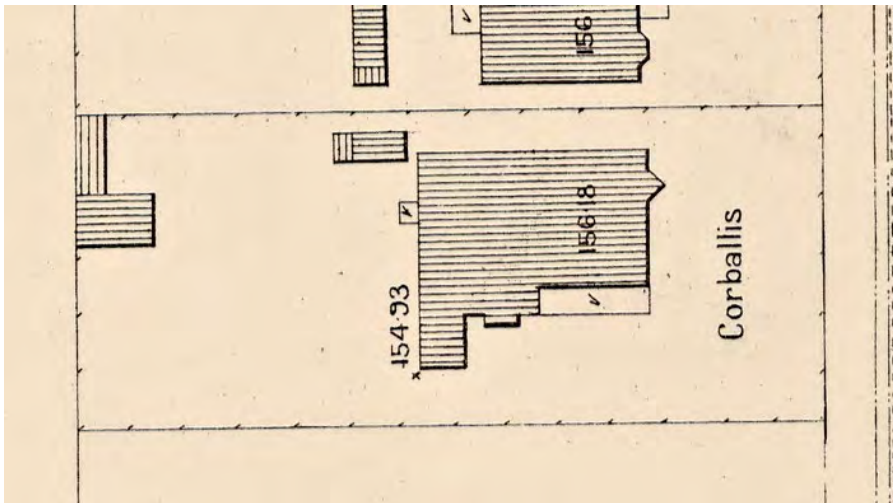


Figure 2. MMBW Detail Plan No 2553 showing the footprint of the house at 29 Murrumbeena Road, 1918 (Source: SLV)

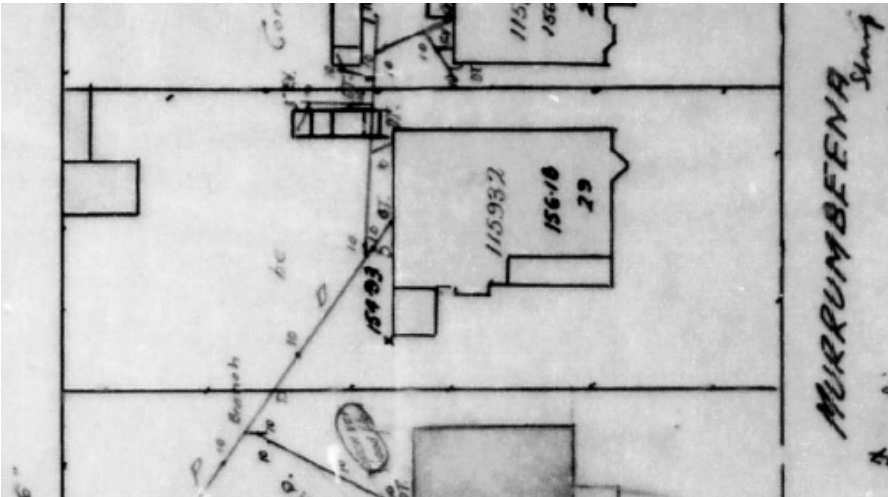


Figure 3. Plan of the subject site dated August 1928, showing a footprint of the house and outbuildings, annotated with sewerage works (Source: SEW, Drainage Plan No. 115966)

In 1940 the property was advertised for sale in *The Age*, described with a weatherboard and rough-cast rendered house with a tiled roof, seven rooms and two attic rooms and garages (*The Age*, 31 Jan 1940:2). The extent of the house during this period is shown on a 1945 aerial photograph (Figure 4), and a later 1969 aerial photograph (Figure 5).

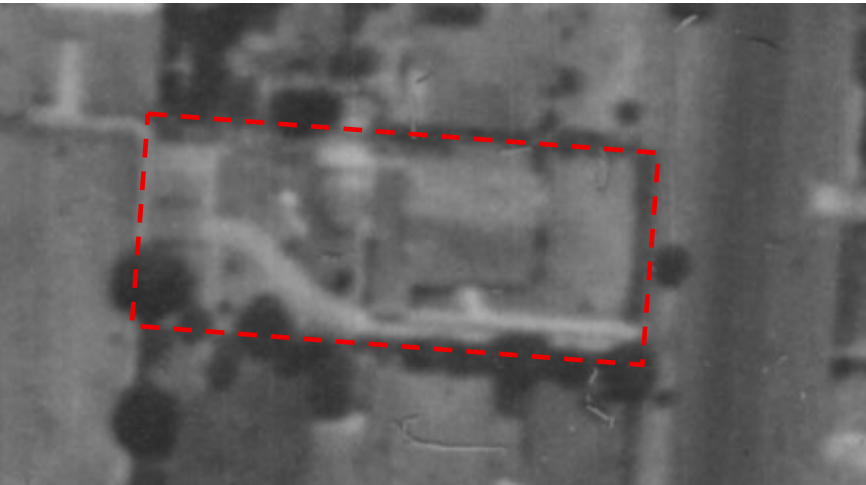


Figure 4. A 1945 photograph showing the house and outbuildings at the subject site (Source: Landata Victoria)



Figure 5. Detail of a 1969 photograph showing the house and outbuildings at the subject site (Source: Landata Victoria)

Later alterations and additions comprise changes to the rear of the property, including the extension of the main gabled roof form to the west (rear), addition of the flat-roofed (metal-clad) section to the west, addition of the south-west gabled bay form, addition of the western-most gabled dormer to the north-facing roof and the possible enlargement of the eastern-most gabled dormer (a smaller dormer appears to be evident at Figure 5). The carport appears to have been constructed between 2007 and 2009 (Google Street View; Nearmap).

The masonry and timber fence to the front boundary was constructed post-1969 (not evident at Figure 5).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History*

[Refresh] 2020:

- 6 Building towns, cities and the garden state
- 6.3 Shaping the suburbs
- 6.7 Making homes for Victorians

Description

29 Murrumbeena Road is located on the west side of Murrumbeena Road, south of the main intersection of Murrumbeena Road and Dandenong Road and north of the railway line at Murrumbeena. The rectangular lot is accessed via a driveway at the southern end of the street boundary. The house has a deep garden setback from the front boundary which contains a row of three tall eucalypts (*Eucalyptus sp.*).

Designed in the Arts and Crafts style of the late Federation period, the attic-storey house is a timber and roughcast render dwelling with dominant longitudinal gabled roof, two projecting gabled bays to the west and two gabled dormers to the north-facing roof. Roofs are tile-clad with terracotta cresting and scrolled finials to ridgelines and exposed rafter ends at the eaves. Four rough-cast rendered chimneys, with contrasting smooth capping and terracotta chimney pots, rise above the main gabled roof. Walls are of lapped timber boards to a moulded stringline and the upper walls are of roughcast render. At the south-east corner of the house, a verandah is formed by the extension of the southern roof plane at a lower pitch. Running from the principal (east) elevation to the south-eastern gabled bay, this verandah is supported on timber posts and decorated with timber fretwork. The main entrance with highlight and sidelights is placed at the western end of the verandah with an adjacent round window set into the east-facing wall of the gabled bay. The overhanging gable end of this gabled bay is supported on timber brackets, above a rectangular bay window with a shallow hipped roof. The principal (east) elevation comprises an asymmetrical composition of windows, including a large projecting triangular bay window to the north, a corner bay window to the south and a small oriel window at the apex of the gable – all with hipped-roof hoods. A small window, adjacent to the bay at the south-east corner, has an applied frame with pointed-head. A number of the windows contain decorative leadlight. Large brackets support the overhanging gable ends to this elevation.

A large addition to the west (rear) of the house includes the extension of the original main gabled roof (incorporating a gabled dormer to the northern roof plane), a flat-roofed section to the west, and the addition of gabled bays at the south-west corner. A tile-clad gabled roof carport has been added to the south-west. A later fence, with sections of curved masonry wall with vertical timber panels above, set between large tapered masonry piers crowned with balls, extends across the front boundary with vehicular and pedestrian gates at the south end.

Key Features:

- Attic-storey house in the Arts and Crafts style of the late Federation period
- Timber house with lapped timber boards and roughcast render to upper walls
- Tile-clad roof with terracotta cresting and scrolled finials to ridgelines

- Asymmetrical form and principal elevation
- Verandah at south-east corner of the house formed by the extension of the south gable at a lower pitch, supported on timber posts and decorated with timber fretwork
- Exposed rafter ends
- Timber brackets to main gable end and gable-ended bay
- Variety of window forms including rectangular bays, triangular bay, oriel window, window with a pointed-head and round window
- Decorative leadlighting to some windows
- Four rough-cast rendered chimneys, with contrasting smooth capping and terracotta chimney pots.



Figure 6. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 7. 29 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 8. Fence at 29 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 29 Murrumbeena Road remains substantially intact to its period of construction. Despite additions to the rear – including the extension of the main gabled roof form to the west (rear) incorporating a new gabled dormer, the addition of a flat-roofed section to the west and single-storey gabled bays and carport to the south-east – along with the likely enlargement of eastern-most dormer, the place retains a high degree of integrity as an Arts and Crafts style house built in the late-Federation period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – were the first to undergo residential development, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. Residential development of the central suburbs – including Murrumbeena, Carnegie and Caulfield South – occurred later than in the north of the municipality, and share a similar developmental history. The southern portion of the municipality, south of North Road – including McKinnon, Bentleigh and Bentleigh East – previously formed part of the municipality of Moorabbin, and retained a predominantly agricultural character into the early twentieth century, before undergoing major residential development in the interwar and postwar periods.

Growth was greatly impacted by the 1890s Depression, and it was not until after the turn of the century that land sales and residential development resumed in Murrumbeena and Carnegie and the surrounding area. In the central and southern portions of the municipality, early twentieth century housing was generally limited to speculative subdivisions, commonly located in the vicinity of transport routes, and development remained slow relative to the northern part of the City of Glen Eira.

The house at 29 Murrumbeena Road, Murrumbeena was designed in the Arts and Crafts style of the late Federation period. As a timber attic-storey house with a dominant longitudinal gabled roof and asymmetrical composition of variously shaped windows to the principal elevation, this stylistic expression is not common within the municipality. The following house has been identified as the closest comparator in the Heritage Overlay of the Glen Eira Planning Scheme, although it is not an attic-storey dwelling. It is noted that it is a contributory building within a precinct; buildings in heritage precincts in Glen Eira are only graded 'Contributory' and 'Not Contributory' and individual

buildings have not been identified as 'Significant' or considered as to whether they potentially meet the local threshold in their own right.

83 Normanby Road, Caulfield North (part of HO152, Normanby Road and Environs Precinct)



Figure 9. 83 Normanby Road, Caulfield North (Source: Realestate.com.au, photograph dated 2011)

In addition, a small number of Federation Arts and Crafts houses are found in the northern portions of the municipality; however these are of masonry construction, as follows:

88 Shoobra Road, Elsternwick, 1910-11 (HO63)



Figure 10. 88 Shoobra Road, Elsternwick (Source: VHD)

17 Wyuna Road, Caulfield North, 1915 (HO83)



Figure 11. 17 Wyuna Road, Caulfield North (Source: VHD)

35 Labassa Grove, Caulfield North, 1917 (HO209)



Figure 12. 35 Labassa Grove, Caulfield North (Source: VHD)

In addition, several examples of Federation-era dwellings from the central and southern portions of the municipality, including those of the more common Queen Anne style, are included in the Heritage Overlay. Those included, or recommended for inclusion, in the Heritage Overlay on a site-specific basis include:

24 Elliott Ave, Carnegie, 1913-14 (HO172)



Figure 13. 24 Elliott Ave, Carnegie (Source: RBA Architects & Conservation Consultants, Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas [Residential], 2019)

330 McKinnon Road, McKinnon, 1909-14
(recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 14. 330 McKinnon Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

36 Murray Road, McKinnon, c1911 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 15. 36 Murray Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

15 Lees Street, McKinnon, 1917 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 16. 15 Lees Street, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

230 Jasper Road, McKinnon, 1915-17 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 17. 230 Jasper Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

123 McKinnon Road, McKinnon, c1913
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 18. 123 McKinnon Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

Like the house at 29 Murrumbeena Road, the above houses are all constructed in the Federation period of the early twentieth century. Similar to the Federation Queen Anne style examples, the house at 29 Murrumbeena Road is constructed of timber, exhibits an asymmetrical form and principal elevation, incorporates a gable-ended bay, and has tall chimneys, timber fretwork and timber-framed windows. However, the house at 29 Murrumbeena Road, Murrumbeena is distinguished by its Federation Arts and Crafts characteristics. Similar to the masonry Arts and Crafts examples above, 29 Murrumbeena Road comprises an attic-storey, a substantial tile-clad gabled roof, a dominant gable end to the street frontage, prominent chimneys and variety of window forms. Most comparable is the single-storey house at 83 Normanby Road, Caulfield North, which is of timber construction with lapped timber boards and rough-cast render finish, in addition to having a tile-clad gabled roof, gable end to the street frontage, prominent chimneys and variety of window forms.

Notwithstanding some shared features with the places above, 29 Murrumbeena Road is an unusual timber expression of the Arts and Craft Federation style in the municipality and has no direct identified comparators.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

‘Corballis’ at 29 Murrumbeena Road, Murrumbeena has strong associations with the development of Murrumbeena in the first part of the twentieth century when vacant land began to be developed following the hiatus caused by the 1890s Depression. ‘Corballis’ is one of a small number of substantially intact houses from the early twentieth century remaining in the suburb to clearly demonstrate this early phase of development in the central and southern portion of the City of Glen Eira.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

‘Corballis’ at 29 Murrumbeena Road, Murrumbeena is a well-considered and finely executed example of a Federation Arts and Crafts style house. The refined detailing, including the asymmetrical plan-form, dominant gabled end to the principal elevation, prominent tile-clad roof form with terracotta cresting, scrolled finials and decorative chimneys, verandah decorated with timber fretwork, and the variety of window types including rectangular bays, triangular bay, oriel window, window with a pointed-head and round window, present an unusual and expressive composition of this architectural style. The use of lapped timber boards, roughcast render and decorative leadlight glazing adds to the picturesque character of the design.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 19 below.



Figure 19. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Google Street View.

History Monash, 'T. G. Newton Real Estate Collection Exhibition', via <<https://www.historymonash.org.au/>> accessed 24 November 2025.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No 2553, dated 1918.

Nearmap ©.

Rate Books (RB), Town/City of Caulfield, East Ward: 1912-13, entry 6978; 1913-14, entry 8087.

Sands and McDougall (SM) Directory.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plans.

State Library of Victoria (SLV), images and plans as cited.

The Age.

'Corballis', 29 Murrumbeena Road, Murrumbeena Statement of Significance

Heritage Place: 'Corballis', 29 Murrumbeena Road, Murrumbeena	PS ref no: HOXX
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What is significant?

'Corballis' at 29 Murrumbeena Road, Murrumbeena, constructed in 1913.

Elements that contribute to the significance of the place include:

- Attic-storey house in the Arts and Crafts style of the late Federation period
- Timber house with lapped timber boards and roughcast render to upper walls
- Tile-clad roof with terracotta cresting and scrolled finials to ridgelines
- Asymmetrical form and principal elevation
- Verandah at south-east corner of the house formed by the extension of the south gable at a lower pitch, supported on timber posts and decorated with timber fretwork
- Exposed rafter ends
- Timber brackets to main gable end and gable-ended bay
- Variety of window forms including rectangular bays, triangular bay, oriel window, window with a pointed-head and round window
- Decorative leadlighting to some windows
- Four rough-cast rendered chimneys, with contrasting smooth capping and terracotta chimney pots.

Features that do not contribute to the significance of this place include non-original additions to the west and south-west (rear) of the house and to the north-facing roof plane, the later carport and later masonry fence to the street frontage.

How is it significant?

'Corballis' at 29 Murrumbeena Road, Murrumbeena, is of local historical and aesthetic significance to the City of Glen Eira.

Why is it significant?

'Corballis' at 29 Murrumbeena Road, Murrumbeena has strong associations with the development of Murrumbeena in the first part of the twentieth century when vacant land began to be developed following the hiatus caused by the 1890s Depression. 'Corballis' is one of a small number of substantially intact houses from the early twentieth century remaining in the suburb to clearly demonstrate this early phase of development in the central and southern portion of the City of Glen Eira. (Criterion A)

'Corballis' at 29 Murrumbeena Road, Murrumbeena is a well-considered and finely executed example of a Federation Arts and Crafts style house. The refined detailing, including the asymmetrical plan-form, dominant gabled end to the principal elevation, prominent tile-clad roof form with terracotta cresting, scrolled finials and decorative chimneys, verandah decorated with timber fretwork, and the variety of window types including rectangular bays, triangular bay, oriel window, window with a pointed-head and round window, present an unusual and expressive composition of this architectural style. The use of lapped timber boards, roughcast render and decorative leadlight glazing adds to the picturesque character of the design. (Criterion E)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

HOUSE & FORMER SURGERY, 31 MURRUMBEENA ROAD, MURRUMBEENA



Figure 1. 31 Murrumbeena Road, Murrumbeena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential, Doctor's Surgery	Architect: Harry J Little
Construction Date: 1928	Builder: C W Lucas
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 31 Murrumbeena Road, Murrumbeena was built in 1928 as a brick house with 13 rooms for Dr William E Tulloh and Everina (Rena) Tulloh, to serve as a house and medical practice (RB). The house was designed by architect Harry J Little (SEW; PP).

The property was Lot 18 of a residential subdivision of Crown Portion 103 (Murrumbeena, Parish of Prahran) on the southwest corner of Dandenong and Murrumbeena roads, with lots sold from 1912 (LV:V2857/F364). Lot 18 was first acquired in 1916 and had two separate owners before it was purchased by Everina Tulloh, married woman "of 29 Murrumbeena Road, Murrumbeena" (adjacent lot) in July 1927 (LV:V3964/F678).

Prior to acquiring the subject site, Everina and Dr William Tulloh had occupied the neighbouring house (current 29 Murrumbeena Road), with Dr Tulloh appearing to have practised as a physician from the property in the 1920s (RB; SM).

The house at 31 Murrumbeena Road was designed by Melbourne architect Harry J Little and constructed by builder C W Lucas of Glen Iris (PP; SEW). A drainage plan for the subject site dated August 1928 (Figure 2) shows the original footprint of the house and garage (the latter since removed) (SEW).

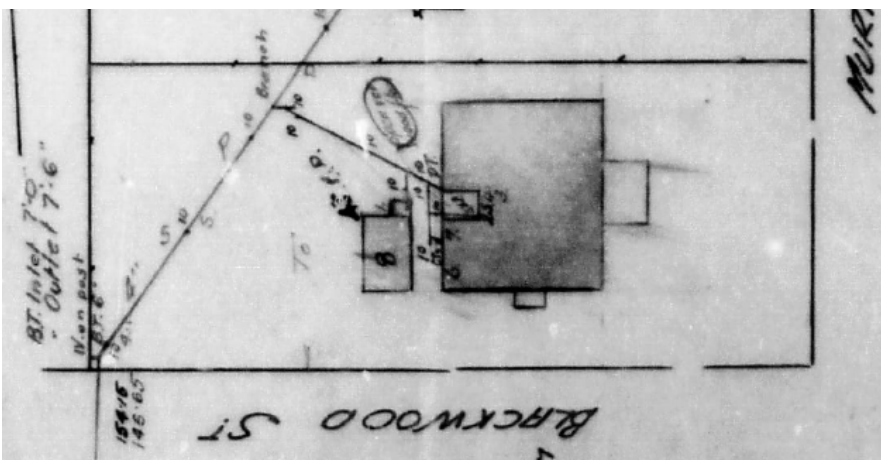


Figure 2. Plan of the subject site dated August 1928, with a footprint of the house and garage, annotated with sewerage works (Source: SEW, Drainage Plan No. 115966)

Architectural drawings of the proposed residence by Little (c1928; permit plans submitted to Council) show the two-storey residence with a narrow single-storey section along the rear (west) elevation. The principal (east) elevation comprised the central entrance porch, below an open, recessed "sleeping porch" to the first floor (since enclosed with windows), shutters to the windows (if installed, have since been removed), and the square-motif glazing bars to the top sash of each window. At the south elevation was a secondary entrance porch (the surgery entrance), and an open, recessed "sleeping porch" to the first floor (also since enclosed with windows). A timber and fibro-cement garage was located just west of the house, accessed off Blackwood Street (since removed) (PP).

An aerial photograph shows the extent of the house in 1945 (Figure 3).

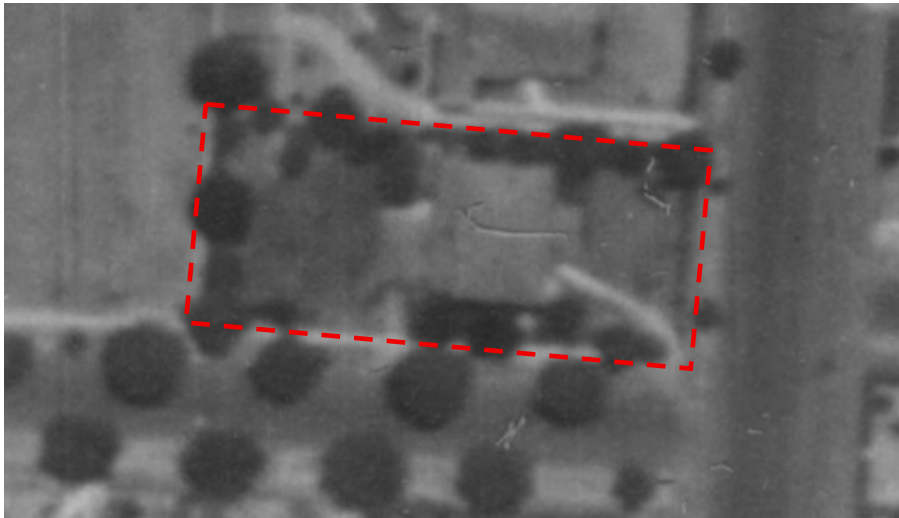


Figure 3. Aerial photograph showing the subject site, 1945. A garage is located immediately west of the house (Source: Landata Victoria)

Dr William Edward Tulloh ran his medical practice from the property until the Tullohs sold the property in 1945 (SM; *Argus*, 5 Aug 1944:2; 9 Jul 1945:4). Subsequent owners included Dr Moses Snow (owner 1945-49) and Dr “Martin Martin” (owner 1952 to 1987) (LV:V3964/F678). Contemporary directories and newspaper notices confirm that the property served as a medical practice from its construction in 1928 until at least the 1970s (SM; *Argus* 20 Sep 1945:2; *Ausn Jewish News*, 20 Nov 1959:19).

Architectural drawings (no date, likely date to the mid-20th century) show a small hipped-roof addition to the south elevation (at the east end), replacing the original surgery entrance porch and providing a new entrance and waiting room (the entrance door and window to the south elevation of this addition have since been infilled) (PP). A 1953 drainage plan (Figure 4) may suggest works to the south elevation at the site of this addition. The addition is evident on a 1969 aerial photograph (Figure 5).

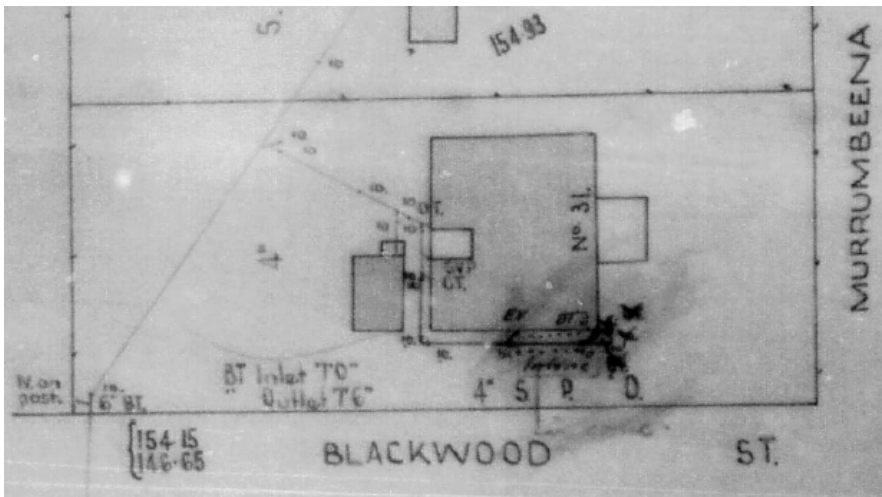


Figure 4. Drainage plan of the subject site dated June 1953, with a footprint of the house and outbuildings, annotated with sewerage works (Source: SEW, Drainage Plan No. 115966)





Figure 5. Aerial photograph showing the subject site, 1969. A garage is located immediately west of the house (Source: Landata Victoria)

In 1986 the property was advertised for sale, described as an “8 room mansion and 4 room surgery” (*Age*, 1 Mar 1986:12).

Later additions to the house included the single-storey additions off the west (rear) and southern elevations, constructed c2007. At the same date, a hipped roof garage was constructed at the west end of the property (Google Street View).

Harry J Little, architect

Harry J Little practised in the interwar and postwar periods. Newspaper notices indicate that his work encompassed residential, commercial and industrial projects in greater Melbourne, regional locations such as Wangaratta, and New South Wales (*Argus*, 21 Apr 1923:27; 2 Aug 1924:10, 24 Nov 1934:12; *Age*, 15 Oct 1938:9, 28 Jun 1939:16)

Examples of his residential work include ‘Kingsley Court’ flats, 4-6 Kingsley Street, Elwood (1934) (HO175, Port Phillip) and ‘Landfall’ house, 15 Castle Road, North Warrandyte (1938) (HO334, Nillumbik). He is known to have designed the Collingwood United Masonic Temple at 141 Gipps Street, Abbotsford (1929) (HO10, Yarra), Central Hotel in Deniliquin (NSW; 1940) (*Age*, 6 Feb 1940:6), Barooga Hotel (NSW; 1940) (*Age*, 25 Jun 1940:10), alterations to the Loyal Studley Hotel (Former) at 53 Burnley Street, Richmond (1940s), and additions to the Maryborough Town Hall, 71 Clarendon Street, Maryborough (1939).

Following service during World War II, Little took over the practice of the late Frank Vibert in 1947 and continued in his place as hospital architect to Mooroopna Hospital (*Shepparton Advertiser*, 23 May 1947:7). In the late 1940s Little advertised himself as an architect and town planner with a main office at 239 Collins Street, Melbourne, and branches at Shepparton, Wangaratta and Deniliquin (NSW) (*Cobram Courier*, 27 Jun 1947:6).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians
- 8 Building community life
 - 8.3 Providing health and welfare services

Description

31 Murrumbeena Road is located on the west side of Murrumbeena Road, south of the main intersection of Murrumbeena Road and Dandenong Road and north of the railway line at Murrumbeena. Located at the north corner with Blackwood Street, the rectangular lot is accessed via a vehicular gate at the western end of the Blackwood Street boundary and pedestrian gate at the eastern end. The house has a deep garden setback from the front boundary.

Designed in the Georgian Revival style of the interwar period, the house is a two-storey roughcast rendered brick dwelling with a large transverse tile-clad hipped roof with timber-lined eaves. Two roughcast rendered chimneys, with cornice and vertical strapwork, are located to the north and west. A small single-storey section to the south side, and later single-storey additions to the west (rear) elevation, are rendered and have tile-clad hipped roofs. The principal (east) elevation of the two-storey house is symmetrical with a prominent central portico entrance with a broad tile-clad hipped roof supported on pairs of short columns with Classical Ionic-style capitals and set on a rendered balustrade. Above the portico is the sleeping porch (now enclosed with a set of triple multi-paned sash windows), with the former opening denoted by a curved stringline and flanking recessed columns with Classical Ionic-style capitals. Sets of triple multi-paned sash windows flank the central elements and a broad horizontal band of smooth render delineates the first-floor level. A similar pair of windows are set into the east elevation of the single-storey section to the south, the south elevation at the first floor and at the addition at the western end of the south elevation.

Later additions to the south (rear) are rendered to match the original house and all hipped roofs are clad with similar tiles. Similarly, a later brick garage at the western end of the southern boundary is finished in roughcast render with a tile-clad hipped roof. A later high timber fence has been constructed across both boundaries, with metal ripple iron panels to the east boundary and eastern end of the southern boundary, and vehicular and pedestrian gates to the southern boundary.

Key Features

- Substantial two-storey house and former surgery in the Georgian Revival style of the interwar period
- Roughcast rendered brick house with smooth rendered band at first floor level
- Tile-clad hipped roof with timber-lined eaves
- Symmetrical principal elevation with large transverse hipped roof
- Prominent central front portico entrance with broad tile-clad hipped roof, pairs of short columns with Classical Ionic-style capitals and rendered balustrade
- Former open porches to the principal and southern elevations (now enclosed) delineated by curved a stringline and flanking recessed columns with Classical Ionic-style capitals to the principal elevation
- Sets of triple multi-paned sash windows at both levels of the principal elevation and sets of sash windows to upper-levels on secondary elevations
- Two roughcast rendered chimneys, with cornice and vertical strapwork.



Figure 6. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 7. South elevation of 31 Murrumbeena Road, Murrumbeena (GJM Heritage, January 2026)

Intactness/Integrity

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena remains substantially intact to its period of construction. Despite the single-storey additions to the south and west (rear) elevations of the house and infill of the recessed porches to the first floor of the east and south elevations with glazing, the place retains a high degree of integrity as an Interwar Georgian Revival style house.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Arts and Crafts styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included in the Heritage Overlay of the Glen Eira Planning Scheme.

The house at 31 Murrumbeena Road, Murrumbeena was purpose-built as a residence and doctor's surgery and designed in the Georgian Revival style of the interwar period. As a substantial two-storey roughcast rendered brick dwelling with a large transverse tile-clad hipped roof and a symmetrical principal elevation in the Georgian Revival style, this stylistic expression is not common within the municipality.

A small number of Interwar Georgian Revival dwellings in the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme on an individual basis or as part of a precinct. It is noted that buildings are only graded 'Contributory' and 'Not Contributory' within heritage precincts and that individual buildings have not been identified as 'Significant' or considered as to whether they potentially meet the local threshold in their own right.

Those places comparable to 31 Murrumbeena Road, Murrumbeena and which are included – or recommended for inclusion – in the Heritage Overlay of the Glen Eira Planning Scheme include:

'The Pines' Doctor's Residence and Surgery (former),
181 Koornang Road, Carnegie, c1938 (HO173)



Figure 8. 181 Koornang Road, Carnegie (Source: VHD)

30 Elizabeth Street, Elsternwick, 1937 (part of HO72,
Elsternwick Estate and Environs Precinct)



Figure 9. 30 Elizabeth Street, Elsternwick (Source: VHD)

10 Findon Avenue, Caulfield North, c1938-41 (part of HO240, Findon Avenue Precinct)



Figure 10. 10 Findon Avenue, Caulfield North (Source: Google Street View)

12 Pental Road, Caulfield North, c1931-35 (recommended for inclusion in the HO on an individual basis, Glen Eira Planning Scheme)



Figure 11. 12 Pental Road, Caulfield North (Source: Extent Heritage, Caulfield North Heritage Review, 2023)

Like 31 Murrumbeena Road, Murrumbeena the above houses were constructed in the Georgian Revival style of the interwar period. Constructed of brick with tile or slate-clad roofs, these two-storey houses exhibit a range of characteristics representative of housing built in this style, including a symmetrical principal elevation with a large transverse hipped or gabled roof, prominent central front portico entrance, restrained Classical details applied to an otherwise simple exterior, multi-paned sash windows, and roughcast or smooth render finishes and details. Like the above examples, 31 Murrumbeena Road, Murrumbeena retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the Georgian Revival style. Like 181 Koornang Road, Carnegie, the house at 31 Murrumbeena Road, Murrumbeena was purpose-built as a residence and doctor's surgery.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena has strong associations with the extensive interwar development phase of the suburb of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena also has strong associations with the provision of local medical care, establishing during a phase of substantial residential growth and operating as a doctor's surgery for in

excess of 40 years. The House and Former Surgery remains substantially intact to clearly demonstrate these historic themes in Murrumbeena within the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena is a fine and substantially intact representative example of an Interwar Georgian Revival house. It displays characteristics illustrative of this style, including a symmetrical principal elevation, a large transverse-hipped tile-clad roof, brick construction with a render finish, roughcast rendered chimneys, a prominent central front portico entrance with a broad tile-clad hipped roof, columns with Classical Ionic-style capitals to the porch and first floor, and multi-paned sash windows. It is one of a small number of substantially intact examples of this architectural style within the municipality.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena is a well-considered and finely executed example of the Interwar Georgian Revival style, constructed to a design by architect Harry J Little. The refined detailing, including the restrained Classical details applied to a simple exterior, including the columns with Classical Ionic-style capitals, the two-storey form and symmetrical principal elevation with a prominent central portico, render finish and multi-paned sash windows, present a highly resolved example of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No



Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 12 below.



Figure 12. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Cobram Courier.

Google Street View.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Nearmap ©.

Permit plans (PP) provided by Glen Eira City Council.

Rate Books (RB), City of Caulfield, East Ward: 1926-27, entry 704; 1927-28, entry 707; 1928-29, entry 709.

Sands and McDougall (SM) Directory.

Shepparton Advertiser.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

The Age.

The Argus.

The Australian Jewish News.

House & Former Surgery, 31 Murrumbeena Road, Murrumbeena Statement of Significance

Heritage Place: House & Former Surgery, 31 Murrumbeena Road, Murrumbeena	PS ref no: HOXX
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What is significant?

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena, constructed in 1928.

Elements that contribute to the significance of the place include:

- Substantial two-storey house and former surgery in the Georgian Revival style of the interwar period
- Roughcast rendered brick house with smooth rendered band at first floor level
- Tile-clad hipped roof with timber-lined eaves
- Symmetrical principal elevation with large transverse hipped roof
- Prominent central front portico entrance with broad tile-clad hipped roof, pairs of short columns with Classical Ionic-style capitals and rendered balustrade
- Former open porches to the principal and southern elevations (now enclosed) delineated by curved a stringline and flanking recessed columns with Classical Ionic-style capitals to the principal elevation
- Sets of triple multi-paned sash windows at both levels of the principal elevation and sets of sash windows to upper-levels on secondary elevations
- Two roughcast rendered chimneys, with cornice and vertical strapwork.

Features that do not contribute to the significance of this place include non-original additions to the south and west (rear) of the house, later glazed infill to the former balconies to the first floor, and later outbuildings to the property.

How is it significant?

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena, is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena has strong associations with the extensive interwar development phase of the suburb of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena also has strong associations with the provision of local medical care, establishing during a phase of substantial residential growth and operating as a doctor's surgery for in excess of 40 years. The House and Former Surgery remains substantially intact to clearly demonstrate these historic themes in Murrumbeena within the City of Glen Eira. (Criterion A)

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena is a fine and substantially intact representative example of an Interwar Georgian Revival house. It displays characteristics illustrative of this style, including a symmetrical principal elevation, a large transverse-hipped tile-clad roof, brick construction with a render finish, roughcast rendered chimneys, a prominent central front portico entrance with a broad tile-clad hipped roof, columns with Classical Ionic-style capitals to the porch and first floor, and multi-paned sash windows. It is one of a small number of substantially intact examples of this architectural style within the municipality. (Criterion D)

The House and Former Surgery at 31 Murrumbeena Road, Murrumbeena is a well-considered and finely executed example of the Interwar Georgian Revival style, constructed to a design by architect Harry J Little. The refined detailing, including the restrained Classical details applied to a simple exterior, including the columns with Classical Ionic-style capitals, the two-storey form and symmetrical principal elevation with a prominent central portico, render finish and multi-paned sash windows, present a highly resolved example of this architectural style. (Criterion E)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'LANSDOWNE FLATS', UNITS 1-4/49 MURRUMBEENA ROAD,
MURRUMBEENA & CARNEGIE



Figure 1. 49 Murrumbeena Road, Murrumbeena & Carnegie (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: 1939	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

‘Lansdowne Flats’ at 49 Murrumbeena Road, Murrumbeena and Carnegie was built in 1939 for Dr Frank G Donavon (RB).

The subject site was formerly occupied by ‘Landsdowne’ house, also built for Dr Donavon, which appeared in the 1921 *Real Property Annual* (1921:7) as a “recently completed” building constructed by local builder Samuel D Page. The subject site was officially owned by Elizabeth Birtchnell and formed part of the larger Oakdene property, which Birtchnell subdivided to form Oakdene Estate c1918 (LV:V4073/F526). A 1918 Melbourne and Metropolitan Board of Works plan (Figure 2) shows the newly established Oakdene Crescent as part of the estate, ‘Oakdene’ house near the current 41 Murrumbeena Road and the earlier ‘Lansdowne’ house at the subject site.

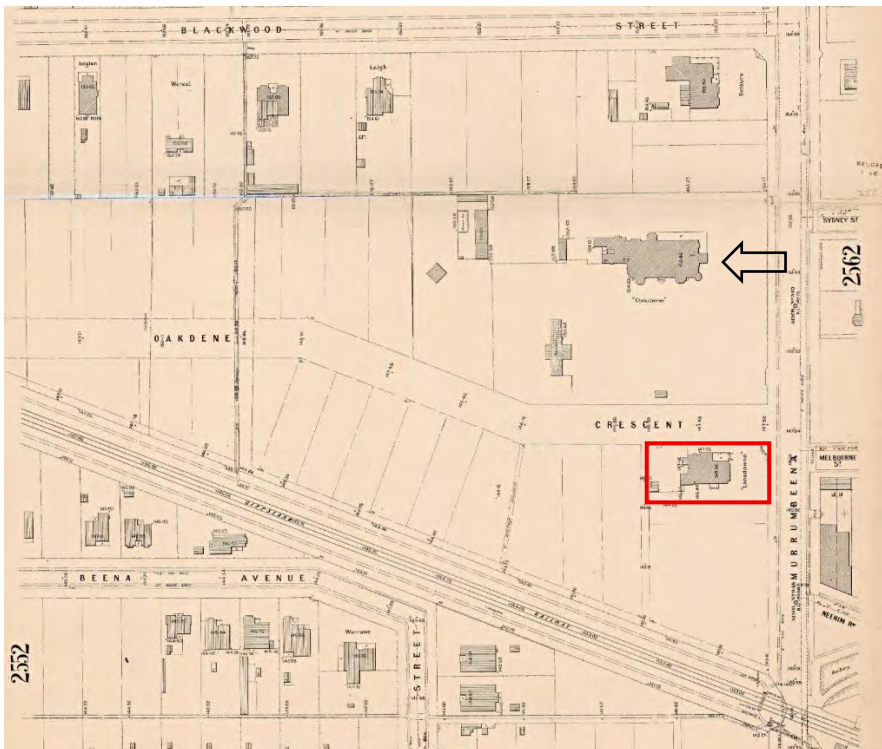


Figure 2. Melbourne and Metropolitan Board of Works Detail Plan No. 2553, showing the earlier “Lansdowne” house at the subject site (approximated in red), 1918. ‘Oakdene’ house is indicated by the arrow (Source: SLV)

The subject site became Lot 2 of the Oakdene Estate subdivision. In 1922, the remaining “24 Grand Villa Allotments” within Oakdene Estate, Murrumbeena were advertised for sale in Melbourne newspapers (*Argus*, 11 Nov 1922:3). Grace Donovan, spinster “of ‘Lansdowne’, Murrumbeena Road, Murrumbeena” officially purchased Lot 2 of Oakdene Estate in March 1918, comprising Lansdowne House. In May 1919, Donavon also acquired part of Lot 1 to the south (providing the subject site with an additional 6m frontage to Murrumbeena Road). In July 1921, the property (Lot 2 and part of Lot 1) was transferred to Francis G Donavon, medical practitioner of ‘Lansdowne’ Murrumbeena Road, Murrumbeena (LV: V4147/F240; V4209/697).

In 1939, ‘Lansdowne’ house was demolished and four brick flats, each with five rooms, were built at 49 Murrumbeena Road for owner Dr Frank G Donavon (RB). A drainage plan dated October 1939 shows a footprint of the block of flats and its attached and freestanding garages (Figure 3). Donavon called the new development ‘Lansdowne Flats’ (*Herald*, 13 May 1946:6; RB).

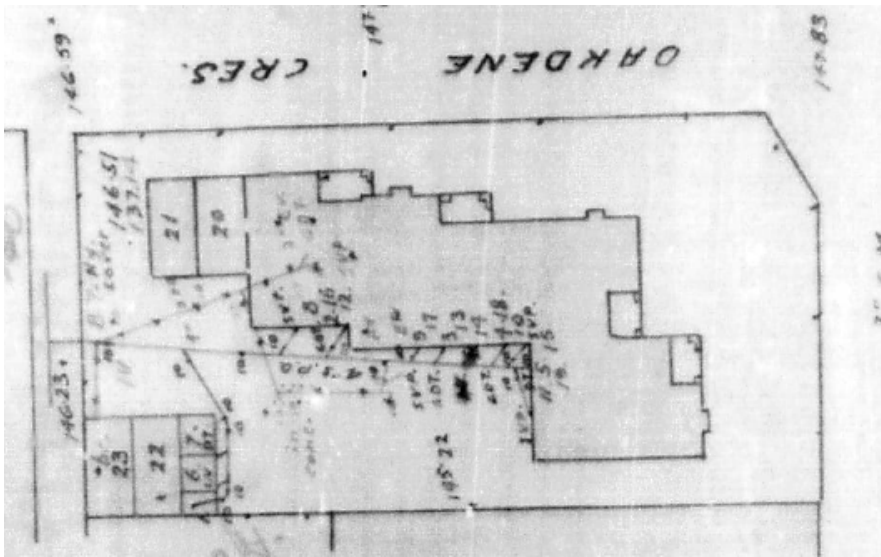


Figure 3. Drainage plan of the subject site dated October 1939, showing a footprint of the block of flats and attached and detached garages, annotated with sewerage works (Source: SEW, Drainage Plan No. 115929)

Aerial photographs dating to 1945 and 1969 shows the block of flats through the mid and later twentieth century (Figure 4 - Figure 5). The 1969 aerial photograph also more clearly shows the garages, adjoining the west elevation and at the southwest corner of the property.

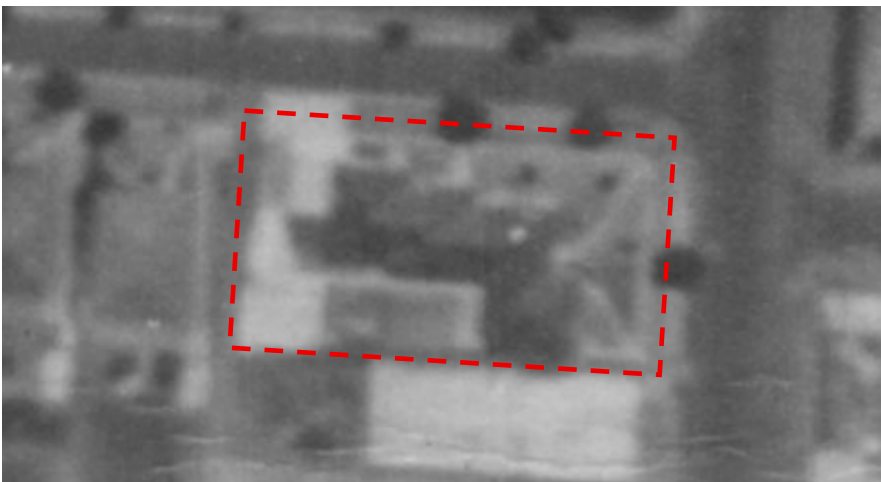


Figure 4. Aerial photograph of the subject site, 1945 (Source: Landata Victoria)



Figure 5. Aerial photograph of the subject site, 1969 (Source: Landata Victoria)

In 1959, 'Lansdowne' at 49 Murrumbeena Road was advertised for sale, described as "Four fine maisonettes ... each ... offered as Home Unit with Separate Title," each with an entrance porch, three bedrooms and living spaces over two levels, and a brick garage, all with existing weekly tenancies (*Age*, 28 Nov 1959:33).

The property was retained by the Donavon family until 1963. The property remained in single ownership until at least 1985, when the block of flats was subdivided into individual freeholds (LV: V4147/F240; V4209/697).

A small addition was constructed off the rear (south) elevation of the western-most flat in 2012 (Google aerial photographs; since partially removed). Some original windows have been replaced (date not known).

The building serves as four units in 2025.

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6 Building towns, cities and the garden state

- 6.3 Shaping the suburbs

- 6.7 Making homes for Victorians

Description

49 Murrumbeena Road, Murrumbeena and Carnegie (two units addressed to each locality) is located on the west side of Murrumbeena Road, south of the main intersection of Murrumbeena Road and Dandenong Road and north of the railway line at Murrumbeena. Located at the south corner with Oakdene Crescent and with Merric Lane forming the western boundary, the rectangular lot has vehicular access at the western end of the Oakdene Crescent boundary and pedestrian access at Oakdene Crescent, at the north-east corner of the property and at the southern end of the Murrumbeena Road boundary. The building is setback from the front boundaries behind gardens.

Comprising four flats and designed in the Moderne style of the interwar period, the two-storey building is constructed of clinker brick with a series of offset tile-clad hipped roofs which progressively project to the north along Oakdene Crescent. Designed to appear as a single building, principal elevations to Oakdene Crescent and Murrumbeena Road are asymmetrical with broad horizontal bands of contrasting two-tone cream brickwork highlighting both the ground and first floor levels and the four rectangular chimney stacks which project from the west, north (two) and east elevations. Various sets of steel-framed windows, including corner windows, single narrow windows and sets of triple windows, are contained within the contrasting brick bands (some windows are later replacements). Four recessed entry porches at ground level provide access to the four units – two at the northern elevation and two at the eastern elevation. The lower brick wall continues to form two garages at the west end of the building and a further two garages are located to the rear, at the south-west corner of the property. All garages feature a broad band of contrasting brickwork matching that of the main building, and all garage doors are later replacements.

A low brick fence, with contrasting cream brick rail, tall plain brick piers and timber picket infill panels, lines the front boundaries. Detailed in a similar manner to the building, the lower brick fence may be original, however it appears that the original piers have been extended and timber panels inserted.

Key Features

- Two-storey flats in the Moderne style of the interwar period
- Clinker brick building with offset tile-clad hipped roofs
- Designed to appear as a single building

- Asymmetrical principal elevations
- Broad horizontal bands of contrasting two-tone cream brickwork highlighting
- Four projecting chimney stacks with contrasting brick detailing
- Sets of steel-framed windows, including corner windows, single narrow windows and sets of triple windows
- Recessed entry porches
- Pair of incorporated garages and pair of freestanding garages, with contrasting brickwork to match the main building
- Low brick fence with contrasting brickwork.

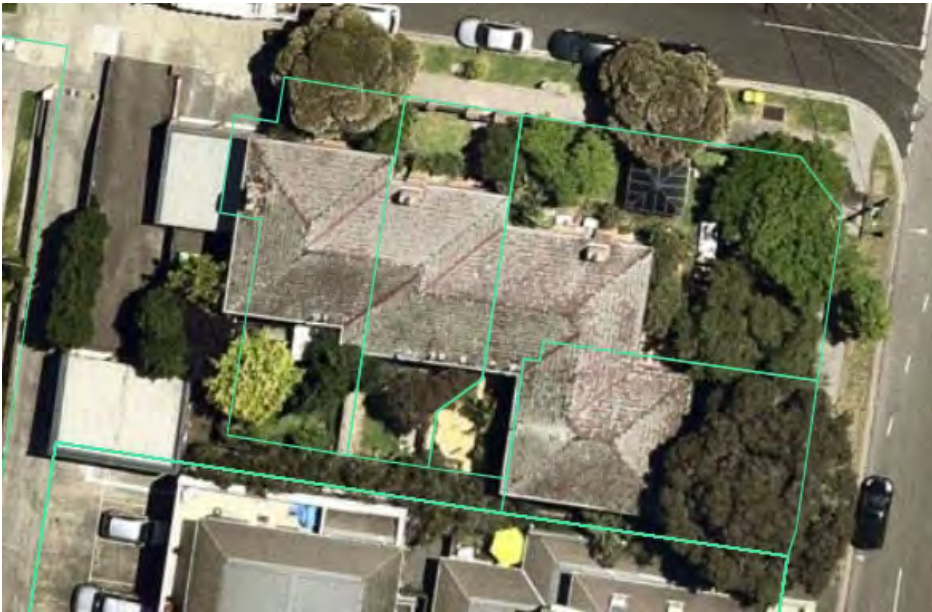


Figure 6. Aerial photograph of the subject site, December 2025 (Source: Nearmap).



Figure 7. 49 Murrumbeena Road, Murrumbeena & Carnegie (Source: GJM Heritage, September 2025)





Figure 8. 49 Murrumbeena Road, Murrumbeena & Carnegie (Source: GJM Heritage, September 2025)



Figure 9. 49 Murrumbeena Road, Murrumbeena & Carnegie (Source: GJM Heritage, September 2025)

Intactness/Integrity

The block of flats at 49 Murrumbeena Road, Murrumbeena & Carnegie remains highly intact to its period of construction. Despite the replacement of some original windows and later doors to the garages, the block of flats retains a high degree of integrity as a Moderne style residential building built in the interwar period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential

growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

Purpose-built flats appeared in the northern portion of the municipality by 1920. Two-storey residential flats subsequently spread throughout the municipality, including the central and southern portions in the 1930s. Flats constructed in the municipality during the interwar period often adopted popular styles, including the English Domestic Revival style and the Moderne style towards the later interwar period.

Interwar flats included, or recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme include:

Apartments, 466 Hawthorn Road & 2A-2B Sea View Street, Caulfield South, 1936 (HO114)



Figure 10. 6 Hawthorn Road & 2A-2B Sea View Street, Caulfield South (Source: VHD)

Gleniston Flats, 1012 Glenhuntly Road, Caulfield South, 1940 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 11. 1012 Glenhuntly Road, Caulfield South (Source: RBA Architects and Conservation Consultants, Glen Eira Heritage Review of Caulfield East & Glen Huntly 2023)

Power Flats and Kingston Court, 1088 and 1098 Glenhuntly Road, Glen Huntly, 1936 and 1940 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 12. 1088 Glenhuntly Road, Glen Huntly (Source: RBA Architects and Conservation Consultants, Glen Eira Heritage Review of Caulfield East & Glen Huntly, 2023)



Figure 13. 1098 Glenhuntly Road, Glen Huntly (Source: RBA Architects and Conservation Consultants, Glen Eira Heritage Review of Caulfield East & Glen Huntly, 2023)

Craigellachie flats, 273 Orrong Road, St Kilda East, 1934-37 (HO214)



Figure 14. 273 Orrong Road, St Kilda East (Source: VHD)

Olgita flats, 440 Dandenong Road, Caulfield North, 1940 (HO205)



Figure 15. 440 Dandenong Road, Caulfield North (Source: Google Street View)

Linden Flats, 575 Inkerman Road, Caulfield North, 1937 (HO208)



Figure 16. 575 Inkerman Road Caulfield North (Source: VHD)



Flats, 1 Lockerbie Court, St Kilda East, 1936-37
(HO210)



Figure 17. 1 Lockerbie Court, St Kilda East (Source: *Built Heritage, City of Glen Eira Post-war & Hidden Gems Heritage Review 2020, Stage 2: Citations, 2020*)

Rothesay Court Flats, 6 Sidwell Avenue, St Kilda East, 1931 (HO64)



Figure 18. 6 Sidwell Avenue, Elsternwick (Source: *Google Street View*)

Ellerslie Court, 76 Hawthorn Road, Caulfield North, c1938 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 19. 76 Hawthorn Road, Caulfield North (Source: *Extent Heritage, Caulfield North Heritage Review, 2023*)

Like 49 Murrumbeena Road the above blocks of flats are constructed in the interwar period and are two-storey brick buildings with tiled hipped roofs, often massed to appear as a single building. Like the most comparable flats at 1012 Glenhantly Road, Caulfield South and 1088 and 1098 Glenhantly Road, Glen Huntly, the block of flats at 49 Murrumbeena Road exhibits a range of characteristics representative of the Interwar Moderne style, including the use of various brick types, broad horizontal bands of contrasting two-tone brickwork, an off-set plan, asymmetrical principal elevations, prominent rectangular chimney stacks, and sets of steel-framed windows.

Like the above examples, 49 Murrumbeena Road, Murrumbeena & Carnegie retains a high degree of integrity to its period of construction and remains highly intact to demonstrate a range of characteristics of the Interwar Moderne style. Similar to the Interwar Moderne flats included in the Heritage Overlay of the Glen Eira Planning Scheme, 49

Murrumbeena Road clearly illustrates an important phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

‘Lansdowne Flats’ at 49 Murrumbeena Road, Murrumbeena and Carnegie has strong associations with the extensive interwar development phase of the suburbs of Murrumbeena and Carnegie, when the area was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The block of flats at 49 Murrumbeena Road remain highly intact to clearly demonstrate this major phase of development in the central and southern portions of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Lansdowne Flats’ at 49 Murrumbeena Road, Murrumbeena and Carnegie are a fine and substantially intact representative example of an interwar block of flats constructed in the Moderne style. The residential building displays characteristics illustrative of this style, including asymmetrical principal elevations designed to appear as a single building, offset tile-clad hipped roofs, clinker brick construction with broad horizontal bands of contrasting two-tone cream brickwork highlighting, prominent chimney stacks with contrasting brick detailing, and sets of steel-framed windows including corner windows. Incorporated and freestanding garages and an originally low brick fence with contrasting brickwork are constructed of materials and detailing to match the main building.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No



Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 20 below.



Figure 20. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No 2553, dated 1918.

Nearmap ©.

Rate books (RB), City of Caulfield, East Ward: 1937-38, entry 5830; 1938-39, entry 5884; 1939-40, entries 5918-5921; 1946-47, entries 6026-6029.

Real Property Annual.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

State Library of Victoria (SLV), images and plans as cited.

The Age.

The Argus.

The Herald.

'Lansdowne Flats', Units 1-4/ 49 Murrumbeena Road, Murrumbeena & Carnegie – Statement of Significance

Heritage Place: 'Lansdowne Flats', Units 1-4/ 49 Murrumbeena Road, Murrumbeena & Carnegie	PS ref no: HOXX
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What is significant?

'Lansdowne Flats', Units 1-4 at 49 Murrumbeena Road, Murrumbeena & Carnegie, constructed in 1939.

Elements that contribute to the significance of the place include:

- Two-storey flats in the Moderne style of the interwar period
- Clinker brick building with offset tile-clad hipped roofs
- Designed to appear as a single building
- Asymmetrical principal elevations
- Broad horizontal bands of contrasting two-tone cream brickwork highlighting
- Four projecting chimney stacks with contrasting brick detailing
- Sets of steel-framed windows, including corner windows, single narrow windows and sets of triple windows
- Recessed entry porches
- Pair of incorporated garages and pair of freestanding garages, with contrasting brickwork to match the main building
- Low brick fence with contrasting brickwork.

Features that do not contribute to the significance of this place include non-original additions to the south (rear) of the building, later windows to the building, later doors to the garages, and the non-original additions of the brick fence to the street boundaries.

How is it significant?

'Lansdowne Flats', Units 1-4 at 49 Murrumbeena Road, Murrumbeena & Carnegie, is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Lansdowne Flats' at 49 Murrumbeena Road, Murrumbeena and Carnegie has strong associations with the extensive interwar development phase of the suburbs of Murrumbeena and Carnegie, when the area was

transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The block of flats at 49 Murrumbeena Road remain highly intact to clearly demonstrate this major phase of development in the central and southern portions of the City of Glen Eira (Criterion A)

'Lansdowne Flats' at 49 Murrumbeena Road, Murrumbeena and Carnegie are a fine and substantially intact representative example of an interwar block of flats constructed in the Moderne style. The residential building displays characteristics illustrative of this style, including asymmetrical principal elevations designed to appear as a single building, offset tile-clad hipped roofs, clinker brick construction with broad horizontal bands of contrasting two-tone cream brickwork highlighting, prominent chimney stacks with contrasting brick detailing, and sets of steel-framed windows including corner windows. Incorporated and freestanding garages and an originally low brick fence with contrasting brickwork are constructed of materials and detailing to match the main building (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'BONDI', 107 MURRUMBEENA ROAD, MURRUMBEENA



Figure 1. 107 Murrumbena Road, Murrumbena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: None
Construction Date: 1907-08	Builder: Robert L Phillips
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent identified at Figure 13

Place History

The house at 107 Murrumbeena Road was built in 1907-08 by owner and master builder Robert L Phillips, for himself and his wife Emily Phillips. Named 'Bondi', the brick house of nine rooms was constructed on a lot measuring 132' x 263' (40.2m to Murrumbeena Road with a depth of 80.2m; larger than the current extent) (RB).

In February 1903, Phillips acquired just over five acres (approximately 2 hectares) of land on the west side of Murrumbeena Road, south of Neerim Road. In 1906 Phillips subdivided the land into residential allotments with frontages to Neerim and Murrumbeena roads. The lot upon which the subject house was built, was transferred to his wife Emily Phillips in March 1908. The two lots immediately north were also transferred to Emily Phillips the prior year, in September 1907 (LV:V3259/F638; V2919/F784).

The 1919 Melbourne and Metropolitan Board of Works plan (Figure 2) shows a footprint of the house with timber sections to the rear (west) elevation (since removed), and timber outbuildings (removed). An annotation to a 1920 drainage plan for the property (showing the same footprint as Figure 2) noted that the large outbuilding to the rear (also shown at Figure 2) no longer served its original use as a stable. The 1920 plan confirmed the occupant of the house continued to be R L Phillips (SEW).

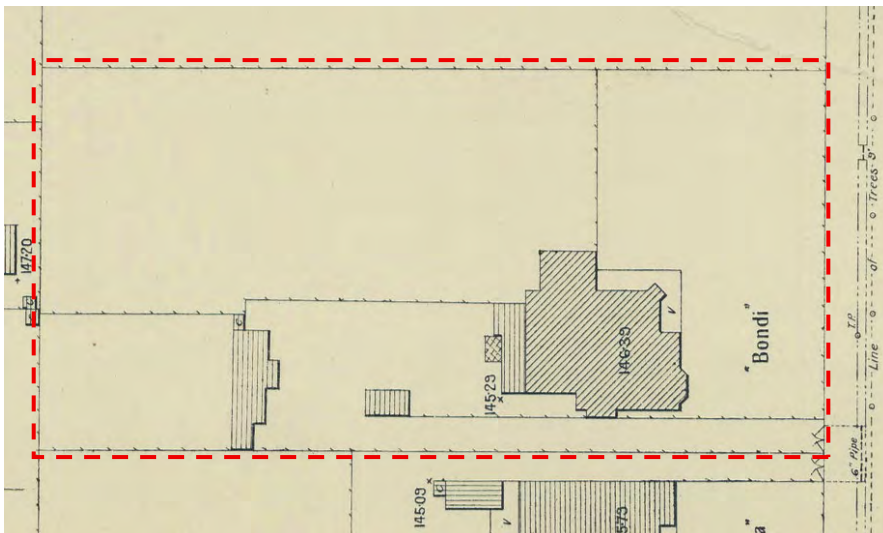


Figure 2. MMBW Detail Plan No 2850 showing the footprint of the house at 107 Murrumbeena Road, 1919. The diagonal hatching indicates a brick building, the vertical hatching indicates a timber building (Source: SLV)

Following Emily Phillips' death in 1926, the property was transferred to Robert Lawrence Phillips and their son Frank Joseph Phillips, "both of 'Bondi' Murrumbeena Road, Murrumbeena, Builders" (LV:V5226/F136).

The property boundary changed various times following the construction of the house. In 1926 the property measured 130' (39.6m) to Murrumbeena Road with a depth of 270' (82.3m) (larger than the current extent). In 1928 the northern portion of the house lot was subdivided and on-sold (LV:V8070/F231). In 1947 the rear (west) portion of the house lot was subdivided and on-sold (establishing the current western boundary) (LV:V6550/F836).

The house remained owned and occupied by the Phillips family until 1954 (LV:V6550/F836; SM). The house was advertised for sale in 1955, described as a solid brick home with a tiled roof, eight rooms and a garage (*Age*, 27 Apr 1955:19). A drainage plan dated 1957 (Figure 3) illustrates that the house remained the same extent as in 1919, and that the stables had been demolished. A 1969 aerial photograph shows the extent of the house and property at this later period (Figure 4).

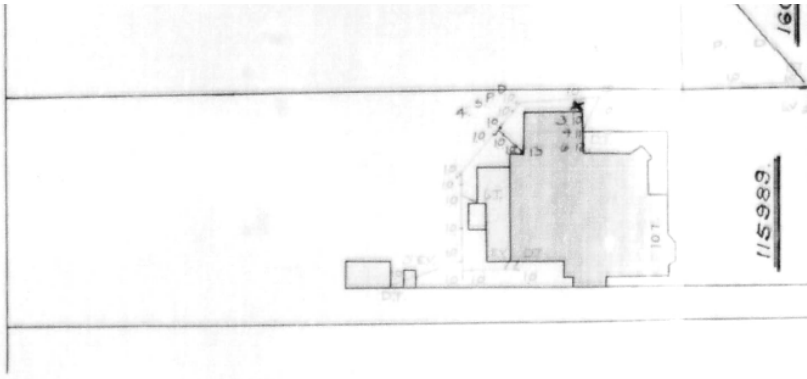


Figure 3. Plan of the subject site dated March 1957, showing a footprint of the house and outbuildings, annotated with sewerage works (Source: SEW, Drainage Plan No. 115989)



Figure 4. Aerial photograph of the subject site, 1969 (Source: Landata Victoria)



In 1993 the house property was transferred from private ownership to the Mayor, Councillors and Citizens of the City of Caulfield, and later Glen Eira City Council (LV:V8670/F231; V10430/F559). In 1997, the City of Glen Eira advertised for expressions of interest for architectural services to develop a childcare centre and integrated Maternal and Child Health and Occasional Care facility at the subject site (*Age*, 21 Jun 1997:86).

Major additions to the house were constructed in 1999 designed by architects Clarke Hopkins and Clarke, to establish the 'Murrumbeena Family Centre' (PP). The development also included the site to the immediate north of the house (earlier house demolished to enable the development). As per the architect's drawings, the additions to the 1908 house comprised a small addition off the rear (west) elevation, and a large addition extending off the northern gable-roof bay. As part of these works, the return verandah was extended east along the existing northern bay. The

drawings proposed red colourbond decking in “Tuscan red” to the roof of the entire addition, however during construction the central roof form of the addition was clad in tiles (matching the existing house) (PP).

In late 2025 minor exterior alterations were carried out to the north end of the 1999 additions (occupied by the kindergarten), to designs by Baso Architects (PP).

The building continues to serve as the Murrumbeena Maternal and Child Health Centre (southern portion including the 1908 house) and a kindergarten (northern portion, new building).

Robert L Phillips, master builder

Robert Lawrence Phillips (1866-1941) was a master builder and resident of Murrumbeena. Active in the Melbourne metropolitan area, he often worked on projects with prominent Melbourne architects, operating as R. L. Phillips from the 1880s, and as R. L. Phillips and Son from the late 1920s (*Age*, 15 Sep 1886:5; *Argus*, 29 Jan 1927:29).

Contemporary newspaper notices and building journals indicate that Phillips received commissions for a diverse range of projects, including residential, commercial, ecclesiastical, healthcare and educational developments. He received a high number of commissions from the Public Works Department and Commonwealth departments.

One of his earliest known projects was the Murrumbeena Railway Station buildings in 1887 (*Age*, 1 Feb 1887:7). His diversity is exemplified by the following known projects: a two-storey tea kiosk at Albert Park (1911) (*Record*, 28 Jan 1911:5), the City of Williamstown Municipal Offices and Town Hall on Ferguson Street (1919; HO124, Hobsons Bay) (*Williamstown Advertiser*, 4 Jan 1919:2), St Kilda Memorial Hall in Acland Street (1924; HO5, Port Phillip) (*Memo Music Hall*), a commercial block at the Serum Laboratories in Parkville (1933) (*Maryborough Chronicle*, 5 Jul 1933:3), a respiratory assessment building at the Maribyrnong Explosives Factory (1938) (*Construction*, 19 Oct 1938:20), a brick ward at the MacLeod Repatriation Sanatorium (1938) (*Commonwealth of Australia Gazette*, 13 Apr 1938:1305), additions to Larundel Mental Hospital (1940; HO111, Darebin) (*Construction*, 21 Aug 1940:15), and construction of Sandringham Court House (1942) (*Suns News-Pictorial*, 14 Feb 1942:2).

He is known to have constructed the first stages of Auburn South State School No. 4183 (1924; HO862, Boroondara), Mordialloc High School (1927; HO14, Kingston) (*Argus*, 29 Jan 1927:29) and Wales Street State School in Brunswick West (1928) (*Argus*, 20 Jul 1928:6). He constructed the Infant School building at Princess Hill State School No. 2955 (1923; HO329, Yarra), and additions at the following schools: Box Hill South State School No. 4138 (1925) (*Argus*, 2 Oct 1925:7), Oakleigh South State School (1929) (*Age*, 22 Mar 1929:14), Parkdale State School No. 4171 (1936) (*Age*, 31 Oct 1936:26), Coburg High School (1937) (*Age*, 29 May 1937:20), Richmond Technical School (1937), Flemington Girls School (1937) (*Argus*, 9 Jan 1937:24), Brighton Technical School (1939) (*Construction*, 19 Jul 1939:20) and Newport State School No. 113 (1939) (*Construction*, 2 Aug 1939:17).

Phillips was active in the local community as a member of the Caulfield State School board of advice, the Oakleigh Horticultural Society, and as president of the East Caulfield Cricket Club (*Brighton Southern Cross*, 11 May 1907:4). Within local government, Phillips was a Councillor for the municipality of Caulfield from 1894 to at least 1916, President of the Shire of Caulfield in 1899-1900, Mayor in 1908, and was appointed as local commissioner to the Melbourne and Metropolitan Board of Works (*Brighton Southern Cross*, 29 Jun 1912:7; 11 May 1907:4; 31 Jul 1909:7; *Moorabbin News*, 26 Aug 1916:1).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History*

[Refresh] 2020:

- 6 Building towns, cities and the garden state
- 6.3 Shaping the suburbs

Description

107 Murrumbeena Road is located on the west side of Murrumbeena Road, south of the main intersection of Murrumbeena Road and Neerim Road and the Murrumbeena Railway Station. The original house is situated at the southern end of a large rectangular lot, with a deep setback from the front boundary. Extensive additions have been made to the north of the house and the building currently operates as a Maternal and Child Health Centre and kindergarten. The large lot is accessed by asphalted driveways at the northern and southern ends of the street boundary with an associated asphalted roadway running across the front of the building, with carparks to the east of the additions and across the northern boundary of the property.

The original single-storey house is constructed of brick with roofs clad with terracotta tiles. The form of the house is asymmetrical with a main gabled-hip roof which extends at a lower pitch to form a return verandah at the north-east corner, a large gabled bay at the south end of the principal (east) elevation and a smaller gabled bay to the south elevation. Three red brick chimneys with render cornices, vertical strapping and capping and terracotta pots rise above the roof forms. Walls are of red brick with smooth rendered band (overpainted) at window sill level and upper walls of roughcast render above a moulded stringline. Rafter ends are exposed. The jettied gabled end of the gabled bay, supported on large timber brackets, is finished with roughcast render and vertical timber strapwork. Below is a shallow polygonal bay window with decorative leadlight to upper panes and diagonal strapwork above. An adjacent pair of windows to the north also contain decorative leadlight. The verandah is supported on turned timber posts and decorated with a timber fretwork frieze and a rectangular window bay is set diagonally across the north-east corner. A similar window bay is situated at a small bracketed gable end at the south elevation.

Additions to the north respond to original materials and detailing, including the use of terracotta roof cladding, brick walls, gabled roof forms and timber verandah detailing. Later wire fencing surrounds the original verandah and its extension to the north.

Key Features:

- Substantial single-storey brick house constructed in the Federation Queen Anne style
- Terracotta tile cladding to main gabled-hip roof and gable-ended bays
- Three red brick chimneys with render cornices, vertical strapping and capping and terracotta chimney pots
- Asymmetrical principal elevation with gable-ended bay to the east and south
- Return verandah at the north-east corner of the house, formed by the extension of the hipped roof at a lower pitch, and supported by turned timber posts with decorative timber fretwork frieze
- Red brick construction with smooth rendered band (overpainted) at window sill level and upper walls of roughcast render above a moulded stringline
- Exposed rafter ends
- Timber brackets to gable-ended bays
- Roughcast render and timber strapwork to jettied gable-end
- Shallow polygonal window bay with diagonal strapwork above and rectangular bay windows to the north-east front corner and south elevation
- Decorative leadlighting to windows.



Figure 5. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 6. 107 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The former house at 107 Murrumbeena Road, Murrumbeena remains substantially intact to its period of construction. Despite the single-storey additions to the west (rear) and north of the former house to accommodate a new child care use, the original house retains a high degree of integrity as a Queen Anne style house built in the Federation period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – were the first to undergo

residential development, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. Residential development of the central suburbs – including Murrumbeena, Carnegie and Caulfield South – occurred later than in the north of the municipality, and share a similar developmental history. The southern portion of the municipality, south of North Road – including McKinnon, Bentleigh and Bentleigh East – previously formed part of the municipality of Moorabbin, and retained a predominantly agricultural character into the early twentieth century, before undergoing major residential development in the interwar and postwar periods.

Growth was greatly impacted by the 1890s Depression, and it was not until after the turn of the century that land sales and residential development resumed in Murrumbeena and Carnegie and the surrounding area. In the central and southern portions of the municipality, early twentieth century housing was generally limited to speculative subdivisions, commonly located in the vicinity of transport routes, and development remained slow relative to the northern part of the City of Glen Eira.

A small number of more substantial and largely intact Federation Queen Anne dwellings from the central and southern portions of the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme on an individual basis. A number of simpler timber dwellings drawing on the Federation Queen Anne style are included in heritage precincts, although a smaller number of more substantial brick Federation Queen Anne dwellings are also found within intact precincts. It is noted that buildings are only graded ‘Contributory’ and ‘Not Contributory’ within heritage precincts in Glen Eira and that individual buildings have not been identified as ‘Significant’ or considered as to whether they potentially meet the local threshold in their own right.

Those places comparable to 107 Murrumbeena Road, Murrumbeena within the central and southern portions of the municipality and which are included – or have been recommended for inclusion – in the Heritage Overlay of the Glen Eira Planning Scheme include:

185 Koornang Road, Carnegie, c1914-15 (HO174)



Figure 7. 185 Koornang Road, Carnegie (Source: Realestate.com.au, image dated 2025)

22 Venus Street, Caulfield South, 1915
(recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 8. 22 Venus Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)

408 North Road, Ormond, c1909 (part of HO75, Ormond and Environs Precinct)



Figure 9. 408 North Road, Ormond (Source: Realestate.com.au)

56 Orrong Road, Elsternwick (part of HO72, Elsternwick Estate and Environs Precinct)



Figure 10. 56 Orrong Road, Elsternwick (Source: Google Street View)

33 Elizabeth Street, Elsternwick (part of HO72, Elsternwick Estate and Environs Precinct)



Figure 11. 33 Elizabeth Street, Elsternwick (Source: Realestate.com.au)

37 Elizabeth Street, Elsternwick (part of HO72, Elsternwick Estate and Environs Precinct)



Figure 12. 37 Elizabeth Street, Elsternwick (Source: VHD)

Like the house at 107 Murrumbeena Road, Murrumbeena, the above houses are all constructed in the Queen Anne style in the Federation period. Constructed of brick with generally tile or slate-clad roofs, these houses exhibit a range of characteristics representative of housing built in this style, including asymmetrical forms and principal elevations, diagonal emphasis, complex hipped and gabled roof forms, front gable-ended bays, tall chimneys, decorative half-timbering effect, timber fretwork and timber-framed windows. Like the above examples, 107 Murrumbeena Road, Murrumbeena retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the Queen Anne style.

Similar to the Federation Queen Anne houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 107 Murrumbeena Road, Murrumbeena clearly illustrates an important and early phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Bondi' at 107 Murrumbeena Road, Murrumbeena has strong associations with the development of Murrumbeena in the first part of the twentieth century when vacant land began to be developed following the hiatus caused by the 1890s Depression. Constructed by regarded master builder and prominent local community member, Robert L Phillips, as his own house, 'Bondi' is one of a small number of more substantial and largely intact houses remaining in the suburb to demonstrate this early phase of development.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

'Bondi' at 107 Murrumbeena Road, Murrumbeena is a fine and substantially intact representative example of a Federation Queen Anne style house of the early twentieth century. It displays characteristics illustrative of this style, including an asymmetrical principal elevation; terracotta tile-clad roof; decorative red brick chimneys with render cornices, vertical strapping and capping, and terracotta chimney pots; exposed rafter ends; red brick construction with smooth rendered band (overpainted) at window sill level and upper walls of roughcast render above a moulded stringline; gabled ends with timber brackets and roughcast render and timber strapwork; return verandah supported by turned timber posts and decorated with a timber fretwork frieze; rectangular bay windows; and decorative leadlight glazing.

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

'Bondi' at 107 Murrumbeena Road, Murrumbeena was built for and by master builder and prominent local community member Robert L Phillips. 'Bondi' remained owned and occupied by the Phillips family for over 45 years, from its construction in 1907-08 until 1954. As a master builder, Phillips worked on a diverse range of projects, often with prominent Melbourne architects, operating as R. L. Phillips from the 1880s, and as R. L. Phillips and Son from the late 1920s. He received a high number of commissions from the Public Works Department and Commonwealth departments. As a long-time resident of Murrumbeena, Phillips was active in the local community and within local government, as Councillor for the municipality of Caulfield from 1894 to at least 1916, President of the Shire of Caulfield in 1899-1900, Mayor in 1908 and local commissioner to the Melbourne and Metropolitan Board of Works.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the polygon as shown in Figure 13 below.



Figure 13. Recommended Extent of Heritage Overlay

References

Brighton Southern Cross.

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Moorabbin News.

Nearmap ©.

Permit plans (PP), provided by Glen Eira City Council.

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Record.

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The Argus.

The Sun's News-Pictorial [Melbourne, Vic.].

Williamstown Advertiser.

'Bondi', 107 Murrumbeena Road, Murrumbeena Statement of Significance

Heritage Place: 'Bondi', 107 Murrumbeena Road, Murrumbeena	PS ref no: HOXX
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What is significant?

'Bondi' at 107 Murrumbeena Road, Murrumbeena, constructed in 1907-08.

Elements that contribute to the significance of the place include:

- Substantial single-storey brick house constructed in the Federation Queen Anne style
- Terracotta tile cladding to main gabled-hip roof and gable-ended bays
- Three red brick chimneys with render cornices, vertical strapping and capping and terracotta chimney pots
- Asymmetrical principal elevation with gable-ended bay to the east and south
- Return verandah at the north-east corner of the house, formed by the extension of the hipped roof at a lower pitch, and supported by turned timber posts with decorative timber fretwork frieze
- Red brick construction with smooth rendered band (overpainted) at window sill level and upper walls of roughcast render above a moulded stringline
- Exposed rafter ends
- Timber brackets to gable-ended bays
- Roughcast render and timber strapwork to jettied gable-end
- Shallow polygonal window bay with diagonal strapwork above and rectangular bay windows to the north-east front corner and south elevation
- Decorative leadlighting to windows.

Features that do not contribute to the significance of this place include later asphalt surfaces, hard landscaping and later fences to the property. Additions to the north and west are not included within the heritage curtilage.

How is it significant?

"Bondi" (former) at 107 Murrumbeena Road, Murrumbeena, is of local historical, representative and associative significance to the City of Glen Eira.

Why is it significant?

'Bondi' at 107 Murrumbeena Road, Murrumbeena has strong associations with the development of Murrumbeena in the first part of the twentieth century when vacant land began to be developed following the hiatus caused by the 1890s Depression. Constructed by regarded master builder and prominent local community member, Robert L Phillips, as his own house, 'Bondi' is one of a small number of more substantial and largely intact houses remaining in the suburb to demonstrate this early phase of development. (Criterion A)

'Bondi' at 107 Murrumbeena Road, Murrumbeena is a fine and substantially intact representative example of a Federation Queen Anne style house of the early twentieth century. It displays characteristics illustrative of this style, including an asymmetrical principal elevation; terracotta tile-clad roof; decorative red brick chimneys with render cornices, vertical strapping and capping, and terracotta chimney pots; exposed rafter ends; red brick construction with smooth rendered band (overpainted) at window sill level and upper walls of roughcast render above a moulded stringline; gabled ends with timber brackets and roughcast render and timber strapwork; return verandah supported by turned timber posts and decorated with a timber fretwork frieze; rectangular bay windows; and decorative leadlight glazing. (Criterion D)

'Bondi' at 107 Murrumbeena Road, Murrumbeena was built for and by master builder and prominent local community member Robert L Phillips. 'Bondi' remained owned and occupied by the Phillips family for over 45 years, from its construction in 1907-08 until 1954. As a master builder, Phillips worked on a diverse range of projects, often with prominent Melbourne architects, operating as R. L. Phillips from the 1880s, and as R. L. Phillips and Son from the late 1920s. He received a high number of commissions from the Public Works Department and Commonwealth departments. As a long-time resident of Murrumbeena, Phillips was active in the local community and within local government, as Councillor for the municipality of Caulfield from 1894 to at least 1916, President of the Shire of Caulfield in 1899-1900, Mayor in 1908 and local commissioner to the Melbourne and Metropolitan Board of Works. (Criterion H)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

ST GILES' PRESBYTERIAN CHURCH COMPLEX, 115 MURRUMBEENA RD, MURRUMBEENA

(ALSO KNOWN AS KOORNANG UNITING CHURCH & MURRUMBEENA UNITING CHURCH)



Figure 1. 115 Murrumbeena Rd, Murrumbeena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Church, hall	Architect: Haddon & Henderson (1928 kindergarten hall); Louis R Williams (1934 church; 1954 Aeneas MacDonald Memorial Hall); Perrott, Lyon, Timbrock & Kesa (1968 hall);
Construction Date: 1928 (kindergarten hall); 1934, 2005 additions (church); 1954 (Aeneas MacDonald Memorial Hall); 1968 (hall).	Builder: N and S A Falconer (1928 kindergarten hall); T F Crabb (1934 church); T W Morris and Son Pty Ltd (1954 Aeneas MacDonald Memorial Hall).
Recommendation: Include in the Heritage Overlay	Extent of Overlay: As shown at Figure 33

Place History

St Giles' Presbyterian Church was constructed at 115 Murrumbeena Road, Murrumbeena in 1934 to a design by architect Louis R Williams (Coleman & Coleman 1996; PROV, PB File).

The first Presbyterian service was held in Murrumbeena in 1890 (St Giles 1955:12). In 1893 a small timber church was erected on leased land in Dunoon Street, before it was moved to an acquired site on the east side of Murrumbeena Road in 1903. This timber building was extended at various stages and served as a church and school into at least the 1950s (doesn't appear to remain in 2026) (MUC; St Giles 1958:4; St Giles 1955:12-14, 33). A manse was built on the west side of Murrumbeena Road (at no. 159) in 1914, and was replaced by a new manse on the site in 1958 (since demolished) (St Giles 1955:17; RB).

In c1912, the church acquired land on the west side of Murrumbeena Road (the current church site). Church histories note that land on the west side of Murrumbeena Road was purchased by the church in 1912 (St Giles, 1958:4), while the titles record that a group of trustees acquired the property in December 1914 (LV:V 3279/F747).

The first building erected at the new site was a kindergarten hall in 1928 (also referred to as a Sunday School). Architectural drawings indicate that the hall was designed by architects Haddon & Henderson (remains north of the church in 2026) (Figure 2 -Figure 5) (PROV, PB File). The hall was constructed by N and S A Falconer and opened on 22 April 1928 (St Giles 1955:23).

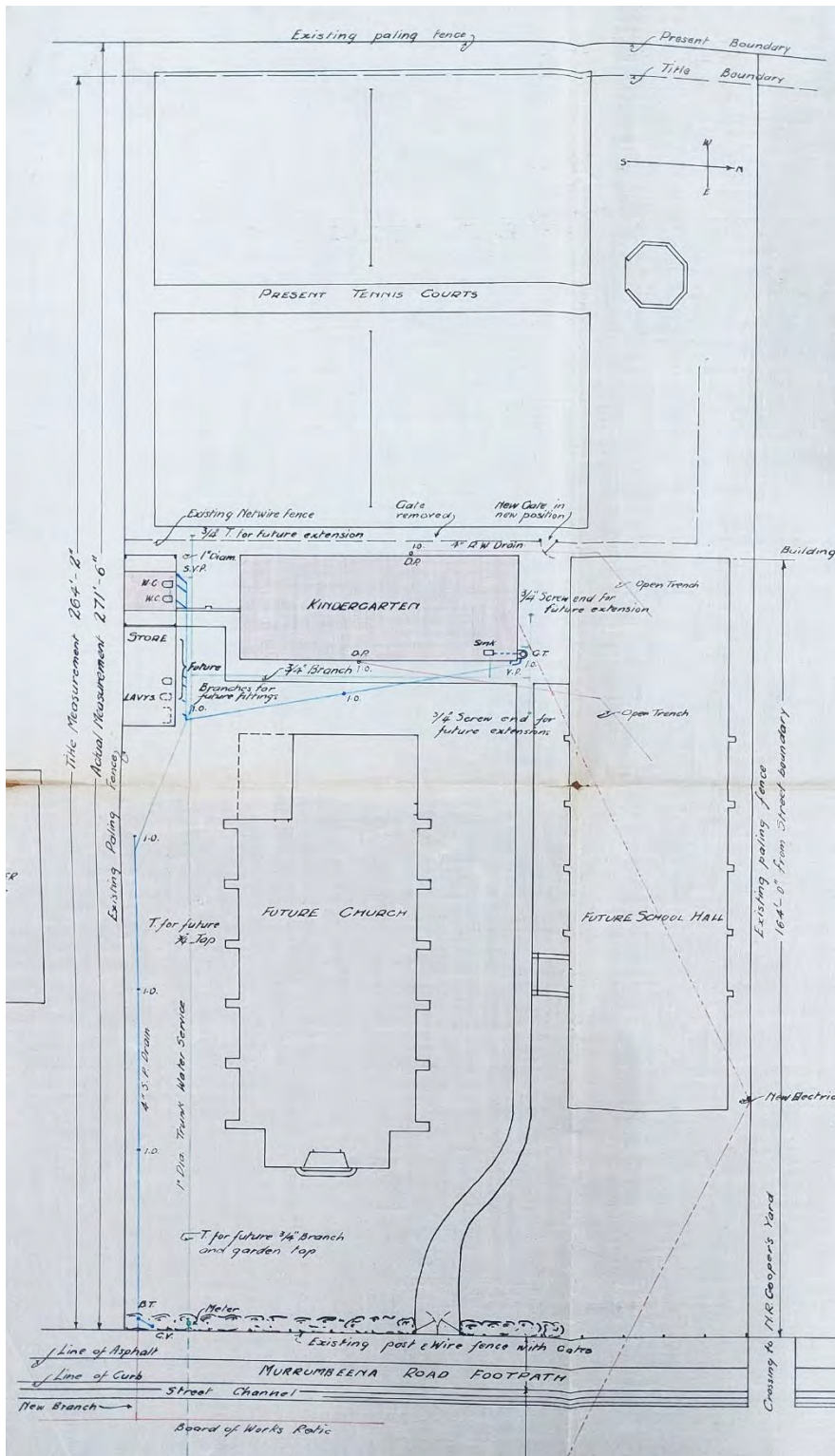


Figure 2. Site plan, October 1927, showing the proposed kindergarten hall (in red) and the footprints of proposed future buildings. Tennis courts existed at the west end of the site (top). Drawings by Haddon & Henderson (Source: PROV, PB File)



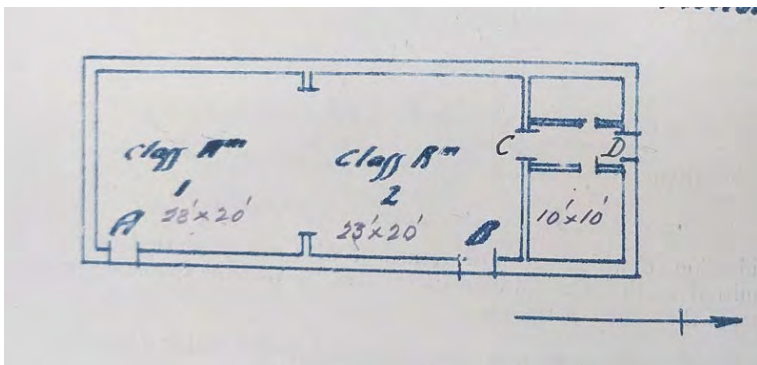


Figure 3. Plan of the proposed kindergarten hall, 1927
(Source: PROV, PB File)

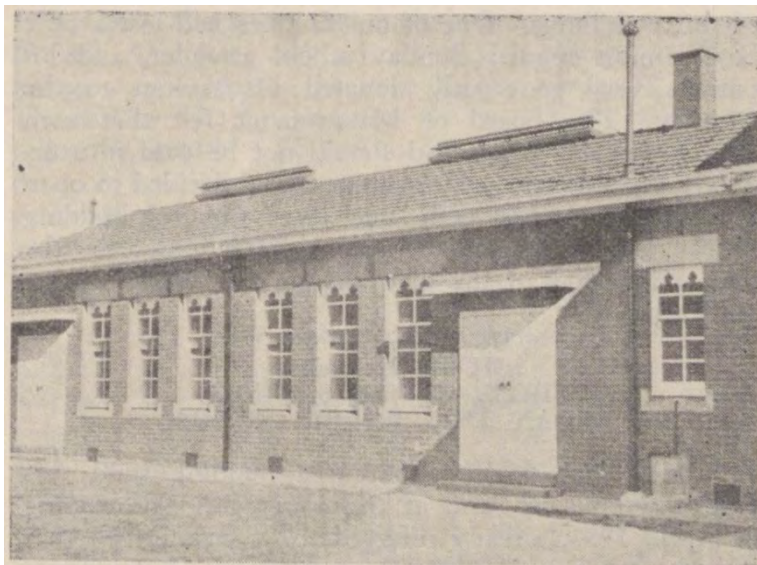


Figure 4. The newly constructed kindergarten hall, 1928 (St Giles 1955:23)



Figure 5. Aerial photograph of the subject site, 1931, showing the kindergarten hall and tennis courts to its west. The early extent of the subject site is indicated in red (Source: Landata Victoria)

The church was constructed at the subject site in 1934 (Figure 6 - Figure 8). The foundation stone notes that it was “laid by the very Rev. R. W. McLean MA on February 17th 1934,” and records the architect as Louis R Williams and the builder as T F Crabb. An article published in *The Herald* in February 1934 reported on the Presbyterian church that was under construction (14 Feb 1934:19). The article illustrated (Figure 7) and described the church, noting the central deeply-recessed entrance door below an arch with a shield with the badge of the Presbyterian church in mosaic, and noted that “unnecessary ornamentation has been avoided in external design, the architect relying on the obtaining of a pleasing proportion and outline with brickwork of a mellow tone. A corner tower will add a touch of distinction to the building.”

The church was opened on 19 May 1934 (Figure 8) (St Giles 1958:4). The church comprises a series of stained glass windows from the interwar and postwar periods, including windows designed by notable stained-glass artist David Taylor Kellock (1913-1988) (VHD; St Giles 1955:27). Kellock was an Edinburgh-trained stained-glass artist who immigrated to Australia before World War II, and is known to have worked with architect Louis R Williams on other ecclesiastical projects (e.g. HMAS Cerberus Flinders Naval Depot Anglican Chapel, Crib Point). The brick fence to the front boundary of the site was built between 1934 and 1955 (St Giles 1955:25).

Figure 6. Plan of the proposed church, December 1933 (Source: PROV, PB File)

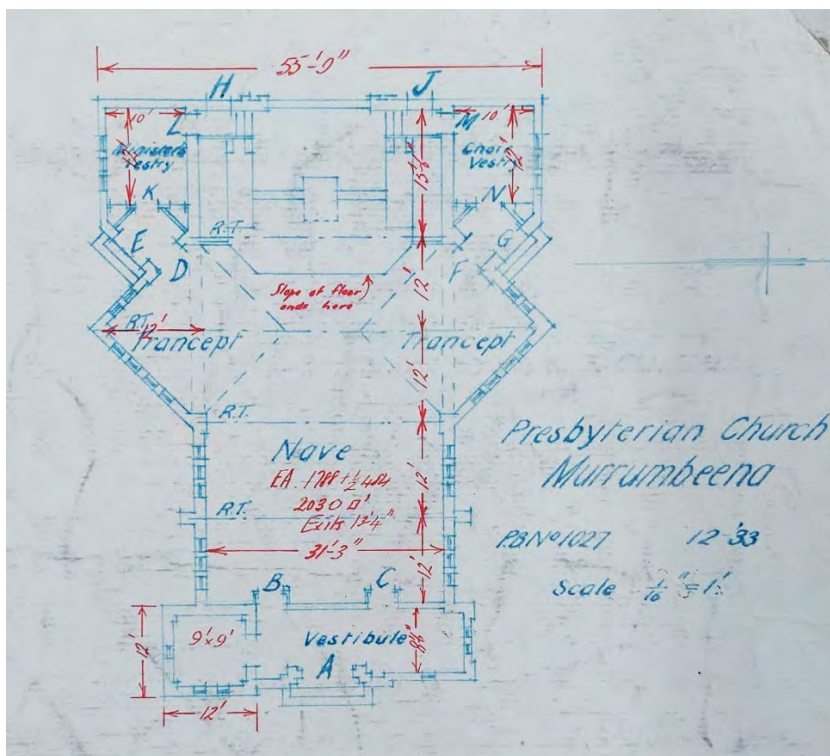


Figure 7. Article published in The Herald in 1934 illustrating the proposed church (Source: The Herald, 14 Feb 1934:19)

New Presbyterian Church For Murrumbidgee

THE foundation stone of the new St Giles's Presbyterian Church, Murrumbidgee, will be laid at 3 p.m. on Saturday by the Rev. R. W. McLean.

Although the cost of the church is not expected to exceed £2500, it has been planned to provide seating accommodation for 300 persons and all necessary offices.

up towards the choir, expanding at the transepts and converging therefrom. The interior of the building will be plastered with cream toned cement, finished to a sanded surface, with the exception of the vestibule and porches in which the wall surfaces will be of exposed brickwork. Provision is made for two ves-

The first Presbyterian services in Murrumbidgee were held in a private home and were furnished with suitable cupboards and other necessary articles. An architect will





Figure 8. Aerial photograph dated 1945, showing the church, kindergarten hall and tennis courts. Early extent of the subject site is indicated in red (Source: Source: University of Melbourne, 1945 photo-map 849c1b)

The Aeneas MacDonald Memorial Hall was constructed in 1954, adjoining the north elevation of the kindergarten hall (Figure 9 - Figure 12). The hall was constructed by T W Morris and Son Pty Ltd and designed by architect Louis R Williams. The design was intended to blend with the church architecture (St Giles 1955:33-34). Drawings show the parapet to the east elevation reading “The Aeneas MacDonald Memorial”, with six-paned windows to the east and west elevations flanked by brick piers. The east and south elevations were constructed of “smooth blue clinkers” while the west and north elevations were constructed of red brick. The eastern roof plane was clad with “choc brown manganese tiles (Marseilles)” to match the church, and the western roof plane with red Marseilles tiles. The existing smaller-scale kindergarten hall has extended to adjoin the new memorial hall and create an entrance lobby between the two buildings (PROV, PB File). The Memorial Hall was opened and dedicated on Sunday 9 May 1954, in memory of Rev. Aeneas Madonald, a Minister at St Giles’ from 1923 to 1945 (Age, 8 May 1954:17).

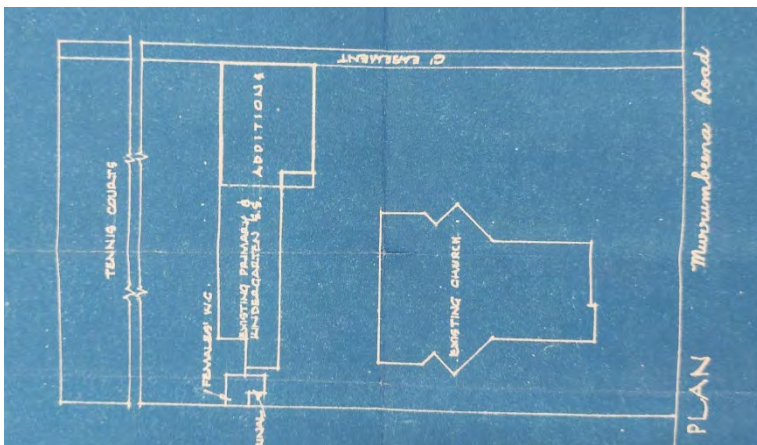


Figure 9. Site plan showing the proposed memorial hall to the north of the kindergarten hall, May 1953, by architect Louis R Williams (Source: PROV, PB File)

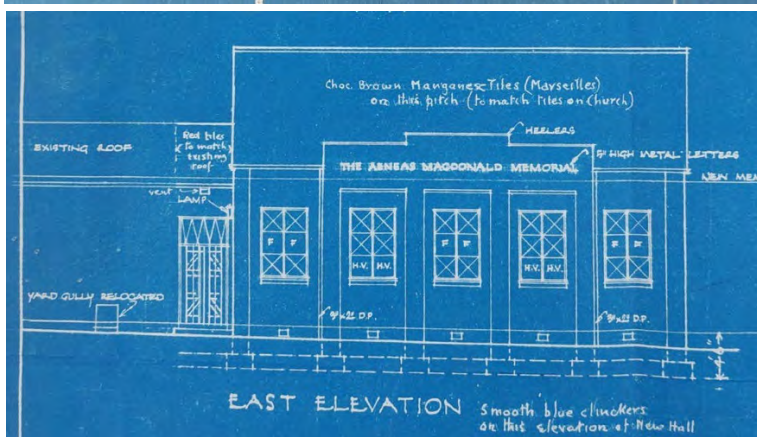


Figure 10. East elevation of the proposed Aeneas MacDonald Memorial Hall, May 1953, by architect Louis R Williams (Source: PROV, PB File)



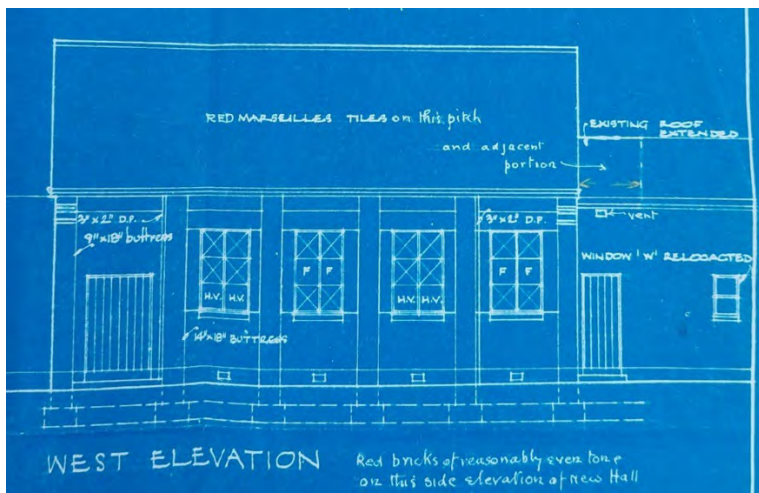


Figure 11. West elevation of the proposed memorial hall, May 1953, by architect Louis R Williams (Source: PROV, PB File)



Figure 12. The newly constructed Aeneas MacDonald Memorial Hall, 1954 (Source: St Giles' 1955:33)

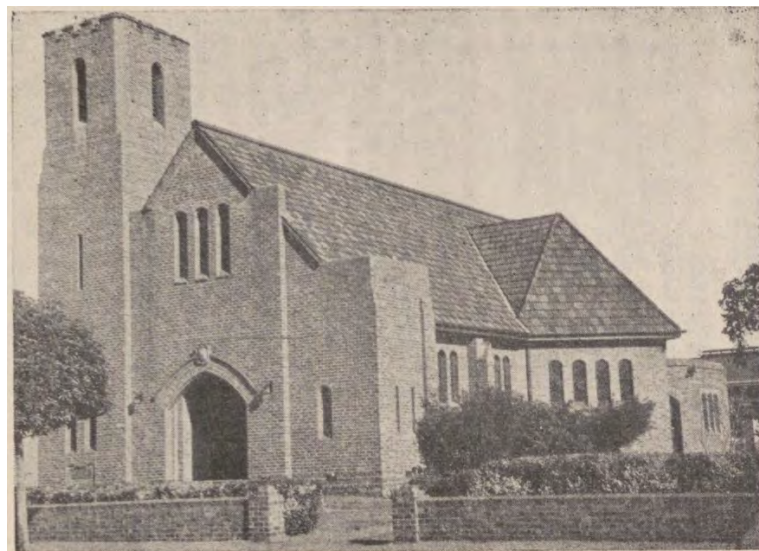


Figure 13. St Giles' Presbyterian Church, 1955 (Source: St Giles', 1955:4)

In 1968 a substantial hall and additions were constructed off the rear (south and west) elevations of the kindergarten hall and memorial hall. These works were designed by architects Perrott, Lyon, Timbrock & Kesa, and comprised a new hall with a stage, office, vestry, session room and facilities (Figure 14 - Figure 16) (PROV, PB File). An aerial photograph shows the extent of the church and associated buildings in 1969 (Figure 16). Land was acquired to the north of the church site for additional tennis courts in 1969.

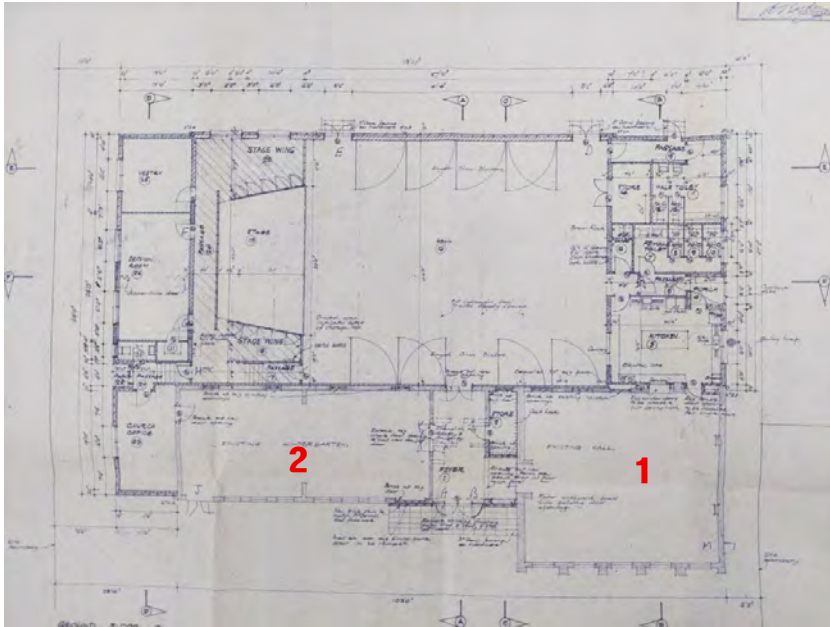


Figure 14. Plan dated 1966 showing the existing memorial hall ('1') and kindergarten hall ('2'), and the proposed hall and additions to the rear (south and west); additions comprised a hall with a stage, office, vestry, session room and facilities. Drawing by architects Perrott, Lyon, Timbrock & Kesa (Source: PROV, PB File)

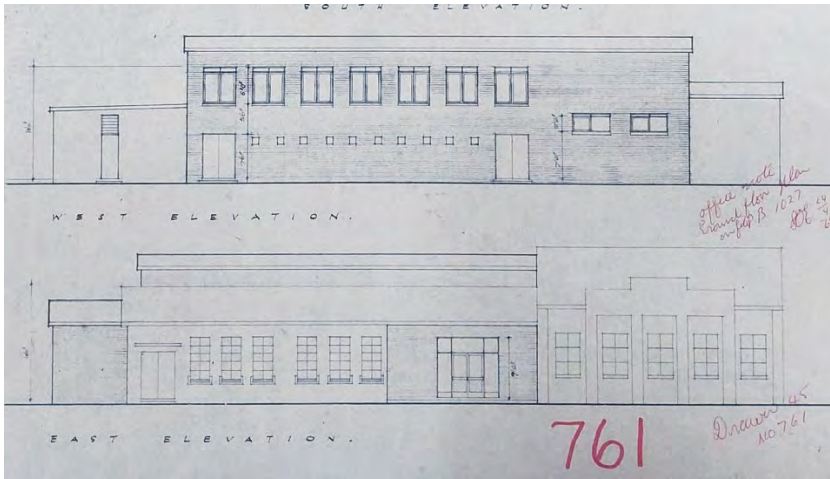


Figure 15. Elevation drawings dated December 1966, showing the additions (hatched) to the kindergarten hall and memorial hall, by architects Perrott, Lyon, Timbrock & Kesa (Source: PROV, PB File)

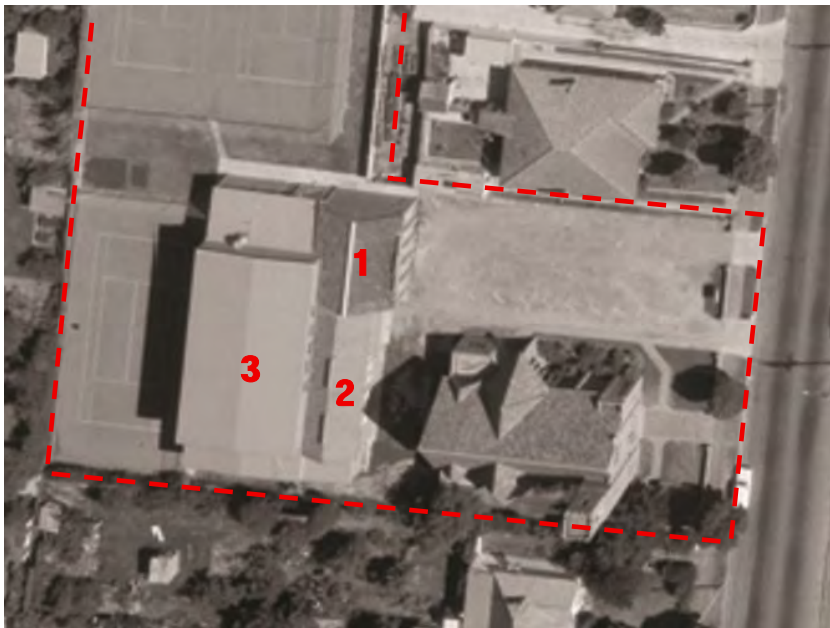


Figure 16. Aerial photograph of the subject site, 1969. Annotated are the memorial hall ('1') and kindergarten hall ('2'), with the additions to the south and west ('3'). Extent of church site is indicated in red (Source: Landata Victoria)

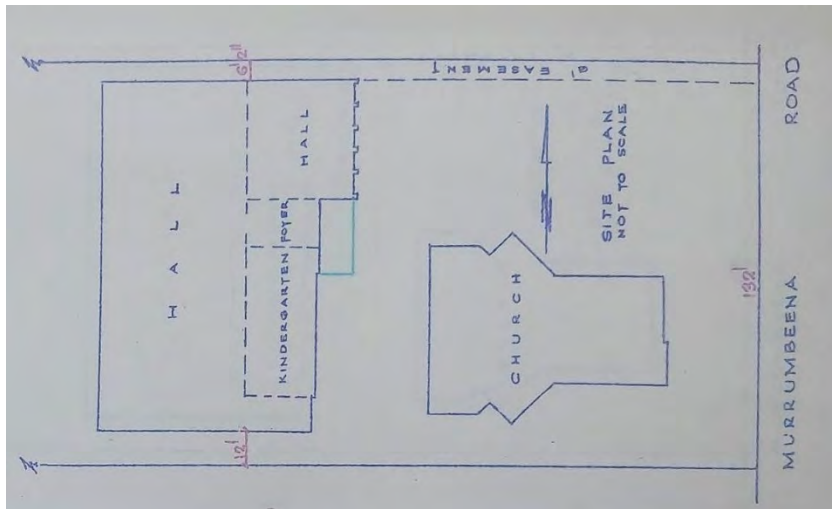


Figure 17. Site plan, June 1971
(Source: PROV, PB File)

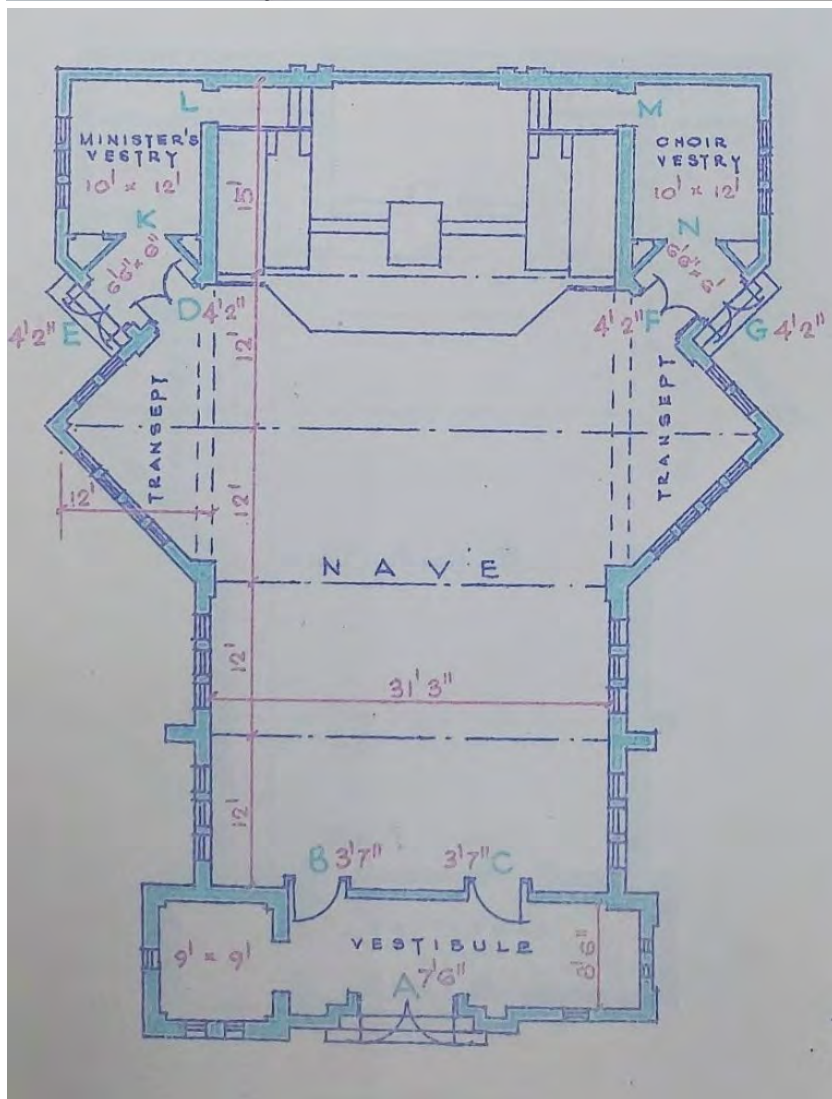


Figure 18. Plan of St Giles' church, June 1971 (Source: PROV, PB File)



In the mid-1970s the Presbyterians combined with the Methodist congregation and formed the Uniting Church. In July 1981 the subject site was transferred to the Uniting Church in Australia Pty Ltd (LV:V8831/F450). The church was called the Koornang Uniting Church in 2003, before it was renamed the Murrumbeena Uniting Church in 2017 (MUC).



Figure 19. St Giles' church, 1994, prior to the addition to the north elevation (Source: Coleman & Coleman 1996)

In 2005, alterations and additions were carried out at the site, designed by architects Collier and Reid (PP). The works included the removal of the original northern transept and vestry of the church and construction of a larger northern transept with a terracotta tiled roof to match the existing, and a pergola extending to the front boundary. As part of these works, new entrance doors were installed to the east elevation of the church, a bay window was constructed at the west elevation of the church, and the internal timber floor of the church was replaced. A low-scale linking building was constructed as part of these works, which connected the church to the halls. New entrance doors were added to the north elevation of the memorial hall (PP).

Louis R Williams, architect

Louis Reginald Williams (1890-1980) was born in Hobart, Tasmania, and was articled to architect Frank Heyward in 1910 before he transferred to Alexander North in Launceston c1912. He partnered with North in Melbourne between 1913 and 1920, practising as North and Williams, with a focus on church projects and an adherence to Arts and Crafts philosophy.

Williams became one of Australia's most prominent ecclesiastical architects in the 1920s and 1930s, with his designs constructed all over Australia. He was also appointed diocesan architect to the Anglican dioceses of Bathurst and Grafton in New South Wales. His preferred material was brick with the occasional use of reinforced concrete. His work often included a tiled roof, tower, a facade with a masonry cross, generous internal planning, and a focus on quality materials, finishes and workmanship. Maidment notes that Williams "...developed a clearly identifiable Free Gothic synthesis, characterised by overall simplicity and unencumbered surfaces, comparable with the works of British contemporaries such as Sir Edward Maufe" (Maidment 2012:765).

Williams designed more than 130 churches throughout Australia for various denominations, primarily during the interwar period, and continued to practice into the 1960s (Maidment 2012:766).

Haddon & Henderson, architects

Robert Joseph Haddon (1866-1929) was born in London. From 1881-84 he was articled as a surveyor to Francis (Frank) Templeman Mew before working with Thomas H. Watson until 1888. In 1889 Haddon arrived in Melbourne, finding work with Sydney Smith & Ogg, before moving to Tasmania in 1892 where he began practice in Hobart and took up a position as an architectural instructor at the Hobart Technical School. He moved to Adelaide in 1894, followed by Perth in 1896 where he worked for the Western Australian Public Works Department for two years. By 1899, Haddon had returned to Melbourne, working again for Sydney Smith & Ogg, before opening his own practice by 1901. He joined the Working Men's College in 1902, where he held the position of instructor-in-charge (later the Head) of architecture from 1903 to c1925 (Willis, 2012:306).

Haddon's firm was set up unlike any other operating in Melbourne at the time. Called the Central Drawing Office, it operated as an architectural consulting firm, producing perspective renderings and other services for architectural firms, including many prominent firms operating in Victoria. Haddon was strongly influenced by the Arts and Crafts movement and was the founding vice-president of the Arts and Crafts Society of Victoria, which began in 1908. Haddon had a reputation as a proto-Modernist, as proclaimed by architect Robin Boyd in *Victorian Modern* (1947), a view which was based on his refurbishment of the Fourth Victorian Building Society building, Melbourne (1912). Projects such as this 'demonstrated his combination of uncomplicated forms with carefully crafted and modulated decoration' (Willis, 2012:306-7).

Haddon expressed his extraordinary design abilities in residential designs, commercial buildings, churches and public buildings. His work included Milton House, Flinders Lane (1901 with Sydney Smith & Ogg, VHR H0582), his own house 'Anselm' at 4 Glenferrie Street, Caulfield (1906, VHR H1795), remodelling of the Fourth Victorian Building Society Office, Collins Street (1912, VHR H1542) and the Wharf Laborers' Building, Flinders Lane (1915-16, demolished), and three Presbyterian churches at Malvern (1906, VHR H2255), Caulfield (1926) and Oakleigh (1928).

William Alexander Henderson (a former student) joined Haddon in a partnership in 1919, forming Haddon & Henderson (Willis, 2012:306). By 1930, Haddon & Henderson was absorbed by GB & G Burridge Leith (later Leith & Bartlett).

Perrott, Lyon, Timbrock & Kesa, architects

Perrott Lyon Timlock & Kesa was established in 1971 from Leslie M Perrott & Partners, becoming Perrott Lyon Mathieson in 1976. Leslie Marsh Perrott was born in Gippsland, Victoria and studied architecture at the Melbourne Technical College. Following a stint in New York, he established his own Melbourne-based practice in 1914 and specialised in residential design, with a particular emphasis on reinforced concrete for domestic construction.

Perrott's son, Leslie Junior joined the firm following graduation in 1951 and set about expanding the office to capitalise on the postwar boom. One of their early works was the Southern Cross Hotel, in association with the American architect Welton-Becket, which opened in 1962 (demolished). They were also engaged on the Princes Gate Project (1963), which included the Gas & Fuel Buildings on Flinders Street, later demolished to make way for Federation Square (Statham 2012:537-8).

In 1971, the firm became Perrott Lyon Timlock and Kesa. Within central Melbourne, the firm designed the Bryson Centre at 174-192 Exhibition Street (1970-72, HO1332 Melbourne PS), Nauru House at 80 Collins Street (1972-77), MMBW House at 120 Spencer Street (1976) and the polygonal Ansett House at 501 Swanston Street (c1976-78). The firm was also responsible for the design of Museum underground station (now Melbourne Central) which formed part of the Melbourne City Loop rail project (Statham 2012:537-8).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

8 Building community life

- 8.1 Maintaining spiritual life

Description

St Giles' Presbyterian Church Complex is located on the west side of Murrumbeena Road, south of the main intersection of Murrumbeena Road and Neerim Road and the Murrumbeena Railway Station. The site comprises a church at the front (east) boundary, a complex of halls to the west which are connected to the church by a covered linking element, and a large car park to the north, behind properties fronting Murrumbeena Road. A driveway runs along the north of the church, accessed via Murrumbeena Road. Land to the west of the halls (rear of the site) is in

use as a community garden. Plantings surround the church building, including those associated with the pergola to the north of the church.

Built of clinker brick with a tile-clad roof, the church is of a rectangular form and comprises an east-west nave with a gable end to the principal elevation, a tower to the south-east corner, a compact angled transept to the south elevation and a (later) deep transept to the north elevation. Small north and south-facing gables are located to the west of the transepts, and a projecting single-storey room (vestry) with a flat metal-clad roof is concealed behind a parapet at the southwest corner. The principal elevation is asymmetrical with a central gable end flanked by a crenelated tower to the south and a simple buttressed rectangular tower base or return parapet to the north. Located centrally is a recessed entry porch with a pointed arch-head, flanked by a single lancet window to the north and a pair of lancet windows to the south. Above is a group of three lancet windows located below the apex of the central gable. The southern tower is of square form with crenelated parapet and single tall, slim window below. Contrasting brick, including red brick, panels of slim brick and rows of curved, shaped and brick ends, are used to highlight various elements across the principal elevation. Lead lighting to the upper windows, windows to the southern transept and the highlight to the main doors are of a distinctive fish scale pattern (the entrance doors are a later addition). To the north, a (later) transept extends beyond the nave, with glazed window walls and a tile-clad hipped roof.

To the rear of the church is a staged complex of hall forms, including a narrow brick hall orientated north-south across the rear of the church (kindergarten hall) and a shorter and broader brick hall to the north (memorial hall), both with tile-clad gabled roofs. The east-facing front elevation of the memorial hall, built of clinker bricks, displays metal lettering stating 'The Aeneas MacDonald Memorial' which is affixed to the parapet. Multi-paned, steel-framed windows set between brick piers are arranged below. To the west (rear) and south is a (later) large building containing another hall with stage and associated spaces, roofed with shallow-gabled and flat roofs clad with metal decking. A variety of square and horizontal format windows are arranged across the north and west (rear) elevations. A (later) single-storey structure with a flat roof clad with metal decking links the complex of halls to the rear of the northern transept of the church.

A low clinker brick fence, with brick piers and soldier course to the top rail, lines sections of the street boundary.

Key Features:

Church

- Clinker brick church in a restrained Gothic Revival style of the interwar period
- Tile-clad gabled roof to nave with two small north and south-facing gables at the west end, and tile-clad roof to the south transept
- Rectangular form with a gable end to the principal elevation and a compact angled transept to the south elevation
- Asymmetrical principal elevation with a crenelated tower to the south, simple buttressed rectangular tower base (or return parapet) to the north, recessed central entry porch with pointed arch-head, and an asymmetrical arrangement of lancet windows
- Contrasting brick highlights of red brick, panels of slim brick and rows of curved, shaped and brick ends to various elements across the principal elevation
- Lead lighting to windows including a distinctive fish scale pattern to various windows

Halls

- Narrow, north-south orientated brick hall of the interwar period with tile-clad gabled roof and multi-paned rectangular windows (kindergarten hall)
- Brick hall of the early postwar period with tile-clad gabled roof and principal (east) elevation displaying metal lettering stating 'The Aeneas MacDonald Memorial' affixed to the parapet and multi-paned steel-framed windows set between brick piers

- North-south oriented rectangular brick hall of the late postwar period with broad metal-clad gabled roof, flat roof sections to the north and south, and a variety of square and horizontal format windows to the north and west (rear) elevations.

Other

- Low clinker brick fence, with brick piers and soldier course to the top rail, lining sections of the street boundary.



Figure 20. Aerial photograph of the current extent of the church property, indicated in red, December 2025 (Source: Nearmap)



Figure 21. St Giles' Church at 115 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 22. North elevation of St Giles' Church, and the Memorial Hall to the rear (west) (Source: GJM Heritage, September 2025)



Figure 23. East elevation of the Aeneas MacDonald Memorial Hall (Source: GJM Heritage, January 2025)

Intactness/Integrity

The St Giles' Presbyterian Church Complex at 115 Murrumbena Rd, Murrumbena comprises a church and staged series of halls that remain substantially intact to their respective periods of construction. The recent (2005) alterations and additions to the church, including the northern transept, entrance doors to the principal elevation, bay window to the rear (west) elevation, and low-profile linking building to the halls to the rear (west), are nonetheless architecturally-accomplished and identifiable additions which allow the church and its associated halls to remain readily understood and appreciated as an interwar church in the Gothic Revival style and an interwar to postwar complex of halls which have undergone sensitive expansion to accommodate changing congregation needs.

Overall, the church complex retains a high degree of integrity as a twentieth century church complex.



Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

In response to substantial residential growth in the municipality of Glen Eira in the twentieth century, and particularly in the interwar and postwar periods in the central and southern suburbs of the municipality, including the suburbs of Carnegie and Murrumbeena, a significant number of churches were established, replaced or expanded to service the rapidly growing population. This included new churches for Catholic, Presbyterian, Methodist, Anglican and Church of Christ congregations.

A number of similarly styled churches are located throughout the City of Glen Eira and some of these are included, or recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme. Those that are comparable to St Giles' Presbyterian Church Complex include:

St Aloysius Catholic Church, 233 Balaclava Road, Caulfield North, 1923-1924 (HO77)



Figure 24. 233 Balaclava Road, Caulfield North (Source: VHD)

St Stephen's Church, 158 Balaclava Road, Caulfield North, 1926 (HO8)



Figure 25. 158 Balaclava Road, Caulfield North (Source: VHD)

St Agnes Anglican Church and Vicarage, 114-116
Booran Road, Glen Huntly, 1924 (HO96)



Figure 26. 114-116 Booran Road, Glen Huntly (Source: VHD)

Former Third Church of Christ Scientist Melbourne, 12 Ripon
Grove, Elsternwick, 1929-30 (HO138)



Figure 27. 12 Ripon Grove, Elsternwick (Source: VHD)

St Andrew's Presbyterian Church, 237 North Road, Caulfield
South, 1933 (recommended for inclusion in the HO, Glen
Eira Planning Scheme)



Figure 28. 237 North Road, Caulfield South (Source: GJM
Heritage, Caulfield South & Gardenvale Heritage Review,
Volume Two, 2024)

In addition, the following churches within the City of Glen Eira were designed by Louis R Williams and reflect his body of work within the municipality:

Christ Church Anglican Church, 436 North Road, Ormond, 1937 (part of HO75)



Figure 29. 436 North Road, Ormond (Source: VHD)

St Paul's Anglican Church, 530 Dandenong Road, Caulfield North, 1938 with 1996 additions (part of HO14)



Figure 30. 530 Dandenong Road, Caulfield North (Source: Google Street View)

St Peter's Anglican Church, 371A Neerim Road, Carnegie, 1924-25 & 1958-59 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 31. 371A Neerim Road, Carnegie (Source: GJM Heritage, Murrumbeena and Carnegie (part) Heritage Review, 2026)

Ormond Uniting Church, 419 North Road, Ormond, 1937
(not included in the Heritage Overlay of the Glen Eira
Planning Scheme)



Figure 32. 419 North Road, Ormond (Source: Google Street View)

Like St Giles' Presbyterian Church Complex, Murrumbeena, the above churches were constructed during the interwar period in various architectural revival styles (including Gothic and Romanesque Revival). Constructed of brick with tile-clad gabled roofs, dominant towers and hall-type forms, these churches exhibit the key characteristics of churches built in this period. Like St Andrew's Presbyterian Church in Caulfield and Christ Church Anglican Church in Ormond, and other churches within the municipality designed by architect Louis R Williams, St Giles' Presbyterian Church adopts a restrained approach to its exterior detailing.

Like the examples above, St Giles' Presbyterian Church retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of an Interwar Gothic Revival church. It is noted that St Paul's Anglican Church, Caulfield North and Ormond Uniting Church, Ormond – both designed by Williams – have been adversely impacted by the installation of telecommunications infrastructure to their towers and other unsympathetic alterations. Similar to St Agnes Anglican Church and Vicarage, Glen Huntly (HO96), St Giles' Presbyterian Church Complex – with church and hall structures – is a substantially intact example of a church complex which clearly demonstrates the operations of the church in the early twentieth century and its subsequent expansion to accommodate changing congregational needs.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

St Giles' Presbyterian Church Complex, Murrumbeena, has strong associations with the extensive interwar and postwar development phase of the central and southern portions of the municipality, when the area was comprehensively transformed from a predominantly pastoral and agricultural one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area and a large number of churches were constructed, replaced or expanded at this time to service the spiritual needs of the rapidly expanding population. St Giles' Presbyterian Church, together with the 1928 kindergarten hall, clearly demonstrates the interwar phase of development in the City of Glen Eira and the importance of religious institutions to the growing population at that time. The 1954 Aeneas MacDonald Memorial Hall and 1968 hall demonstrate the postwar growth of the church community and the changing needs of the congregation.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

St Giles’ Presbyterian Church, Murrumbeena, is a fine and substantially intact representative example of an Interwar Gothic Revival church. Designed by noted ecclesiastical architect Louis R Williams, the church displays principal characteristics of the Interwar Gothic Revival style, including tile-clad hipped and gabled roof forms, clinker brick construction with contrasting brick decorative highlights, simple rectangular form with transepts and a gable end to the principal elevation, asymmetrical principal elevation, crenelated tower, recessed central entry porch with a pointed arch-head, lancet windows, and leadlight to windows.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

St Giles’ Presbyterian Church Complex, Murrumbeena comprises a well-considered and finely executed example of a restrained Gothic Revival style church. Designed by noted ecclesiastical architect Louis R Williams, the refined detailing – including the use of simple forms, the asymmetrical principal elevation with crenelated tower to the south-east corner, the clinker brick construction with the use of various types of brickwork for decorative detail, and the pointed arch-headed openings and lancet windows, some with a distinctive fish scale leadlight pattern – presents a restrained and highly resolved expression of this architectural style. The hall structures – all designed by noted architects of the various periods – present as a cohesive church complex of the twentieth century, with consistent use of brick and gabled roof forms, creating a uniformity to the place. A low clinker brick fence with brick piers and a soldier course to the top rail lines sections of the street boundary adds to the setting of the place.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	Yes – front brick fence
Prohibited uses permitted?	No
Aboriginal heritage place?	No



Extent of the Recommended Heritage Overlay

To the extent of the polygon shown in Figure 33 below. The recommended extent excludes the northern carpark as this site was acquired in the later part of the twentieth century.



Figure 33. Recommended Extent of Heritage Overlay

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Murrumbeena Uniting Church (MUC), "Our Story" via <<https://www.murrumbeenauniting.org.au/our-story>>, accessed 5 December 2025.

Nearmap ©.

Permit plans (PP) provided by Glen Eira City Council.

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Rate books (RB), City of Caulfield, East Ward: 1953-54, entry 6133.

Reid, Alex, *Feeding Christ's Sheep: A History of St. Peter's Murrumbeena with Holy Nativity Hughesdale*, Murrumbeena, 1999.

Statham, John (2012), "Perrott, Leslie M" in Philip Goad & Julie Willis's (Eds.) (2012), *The Encyclopedia of Australian Architecture*, Port Melbourne.

St Giles Presbyterian Church publications:

Forward in fellowship for a greater St. Giles, Murrumbeena, 1958.

St. Giles' Presbyterian Church, Murrumbeena : an outline of sixty-five years of progress, 1890-1955 : celebrations, July 17th to July 24th, 1955.

St. Giles' Presbyterian Church, Murrumbeena : the continuing challenge of Christian stewardship, 1961.

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University of Melbourne, 1945 photo-map 849c1b.

Victorian Heritage Database (VHD), record for "Stained Glass Window at Murrumbeena Koornang [formerly St. Giles' Presbyterian] Uniting Church", record no. 196807.

Willis, Julie (2012), "Robert Haddon" in Philip Goad & Julie Willis (Eds.) *The Encyclopedia of Australian Architecture*, Port Melbourne.



St Giles' Presbyterian Church Complex, 115 Murrumbeena Rd, Murrumbeena – Statement of Significance

<p>Heritage Place: St Giles' Presbyterian Church Complex, 115 Murrumbeena Rd, Murrumbeena (also known as Koornang Uniting Church & Murrumbeena Uniting Church)</p>	<p>PS ref no: HOXX</p>
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What is significant?

St Giles' Presbyterian Church Complex at 115 Murrumbeena Rd, Murrumbeena, constructed in 1928 (kindergarten hall), 1934 (church), 1954 (Aeneas MacDonald Memorial Hall) and 1968 (hall expansion).

Church

- Clinker brick church in a restrained Gothic Revival style of the interwar period
- Tile-clad gabled roof to nave with two small north and south-facing gables at the west end, and tile-clad roof to the south transept
- Rectangular form with a gable end to the principal elevation and a compact angled transept to the south elevation
- Asymmetrical principal elevation with a crenellated tower to the south, simple buttressed rectangular tower base (or return parapet) to the north, recessed central entry porch with pointed arch-head, and an asymmetrical arrangement of lancet windows
- Contrasting brick highlights of red brick, panels of slim brick and rows of curved, shaped and brick ends to various elements across the principal elevation
- Lead lighting to windows including a distinctive fish scale pattern to various windows

Halls

- Narrow, north-south orientated brick hall of the interwar period with tile-clad gabled roof and multi-paned rectangular windows (kindergarten hall)
- Brick hall of the early postwar period with tile-clad gabled roof and principal (east) elevation displaying metal lettering stating 'The Aeneas MacDonald Memorial' affixed to the parapet and multi-paned steel-framed windows set between brick piers

- North-south oriented rectangular brick hall of the late postwar period with broad metal-clad gabled roof, flat roof sections to the north and south, and a variety of square and horizontal format windows to the north and west (rear) elevations.

Other

- Low clinker brick fence, with brick piers and soldier course to the top rail, lining sections of the street boundary.

Elements that do not contribute to the significance of the place include the 2005 alterations to the north transept, the link building between the church and the hall, and later asphalt surfaces and landscaping.

How is it significant?

St Giles' Presbyterian Church Complex at 115 Murrumbeena Rd, Murrumbeena, is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

St Giles' Presbyterian Church Complex, Murrumbeena, has strong associations with the extensive interwar and postwar development phase of the central and southern portions of the municipality, when the area was comprehensively transformed from a predominantly pastoral and agricultural one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area and a large number of churches were constructed, replaced or expanded at this time to service the spiritual needs of the rapidly expanding population. St Giles' Presbyterian Church, together with the 1928 kindergarten hall, clearly demonstrates the interwar phase of development in the City of Glen Eira and the importance of religious institutions to the growing population at that time. The 1954 Aeneas MacDonald Memorial Hall and 1968 hall demonstrate the postwar growth of the church community and the changing needs of the congregation. (Criterion A)

St Giles' Presbyterian Church, Murrumbeena, is a fine and substantially intact representative example of an Interwar Gothic Revival church. Designed by noted ecclesiastical architect Louis R Williams, the church displays principal characteristics of the Interwar Gothic Revival style, including tile-clad hipped and gabled roof forms, clinker brick construction with contrasting brick decorative highlights, simple rectangular form with transepts and a gable end to the principal elevation, asymmetrical principal elevation, crenelated tower, recessed central entry porch with a pointed arch-head, lancet windows, and leadlight to windows. (Criterion D)

St Giles' Presbyterian Church Complex, Murrumbeena comprises a well-considered and finely executed example of a restrained Gothic Revival style church. Designed by noted ecclesiastical architect Louis R Williams, the refined detailing – including the use of simple forms, the asymmetrical principal elevation with crenelated tower to the south-east corner, the clinker brick construction with the use of various types of brickwork for decorative detail, and the pointed arch-headed openings and lancet windows, some with a distinctive fish scale leadlight pattern – presents a restrained and highly resolved expression of this architectural style. The hall structures – all designed by noted architects of the various periods – present as a cohesive church complex of the twentieth century, with consistent use of brick and gabled roof forms, creating a uniformity to the place. A low clinker brick fence with brick piers and a soldier course to the top rail lines sections of the street boundary adds to the setting of the place. (Criterion E)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

ST PATRICK'S CATHOLIC CHURCH,
234 MURRUMBEENA ROAD (PART), MURRUMBEENA



Figure 1. 234 Murrumbeena Road, Murrumbeena (GJM Heritage, September 2025)

DATE: April 2026

Place type: Church	Architect: Robert O Ellis
Construction Date: 1963	Builder: M P Arbon & Co
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent shown at Figure 19

Place History

St Patrick’s Catholic Church at 234 Murrumbeena Road, Murrumbeena was constructed in 1963 to a design by architect Robert O Ellis (PROV, PB File).

The first building constructed at the site for the Catholic Church was a brick building fronting Dalny Road in c1929, to serve as a church and school. The building was designed by architects Schreiber & Jorgenson (see Figure 2 - Figure 3) (PROV, PB File). The school has undergone various stages of additions, including substantial additions undertaken in 1971 by architect Robert O Ellis (PROV, PB File; PP).

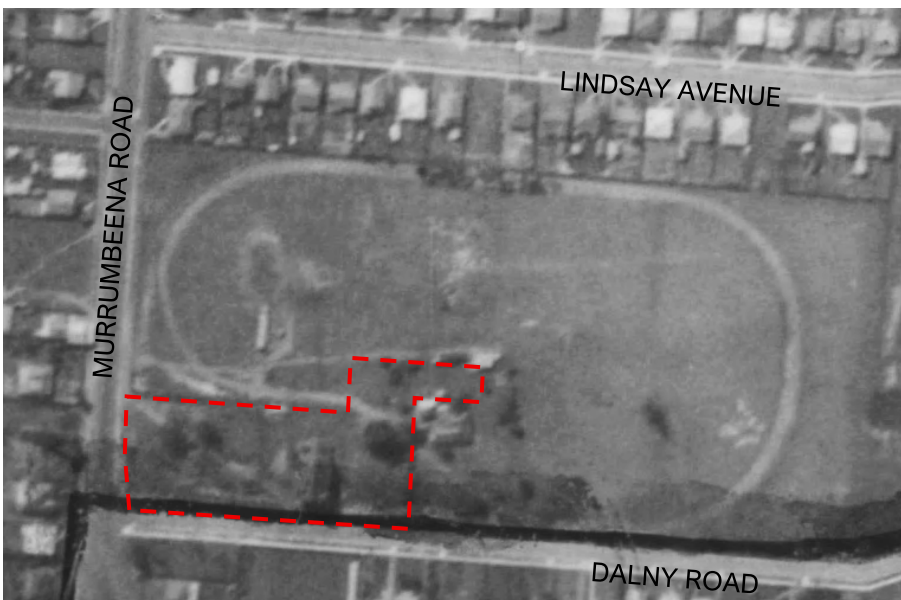


Figure 2. Aerial photograph dated 1931, the current extent of 234 Murrumbeena Road approximated in red. Evident is the first building constructed at the site for the church in c1929 (Source: Landata Victoria)

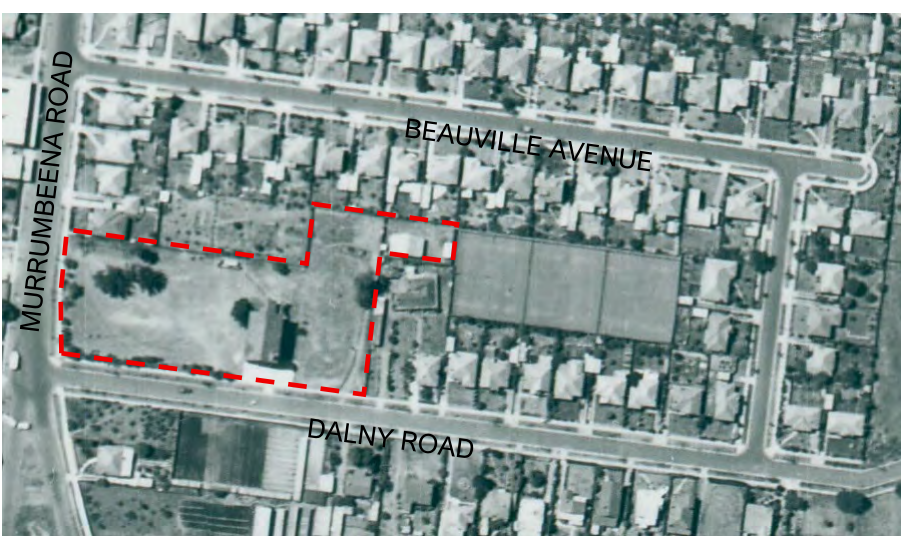


Figure 3. Aerial photograph dated 1945, the current extent of 234 Murrumbeena Road indicated (Source: Landata Victoria)

The present church was constructed at the subject site in 1963 by builders M P Arbon & Co to a design by architect Robert O Ellis (PROV, PB File; Memorial stone on site). A memorial stone notes that it was blessed by the “Most Reverend E V Tweedy D D” on 17 March 1963.

Architectural drawings by Robert O Ellis dated July 1962 (Figure 4 - Figure 7) show the ovoid plan of the church, the besser concrete block construction with concrete columns, and the entrance porch at the southern end with steps flanked by small raised garden beds and a cantilevered canopy. Annotations to the 1962 drawings describe details such as the copper decking to the roofs, vitrolite glass and white obscure glass to the entrance glazing (if installed, since replaced), and at the clerestory level (below the eaves), fixed aluminium-framed windows with fixed aluminium louvres. The single-height section encircling the northern end of the church was designed to provide spaces for confessionals, a mothers' room, sacristies, a choir and toilets, with three entrance porches, the eastern entrance with a masonry screen (PROV, PB File).

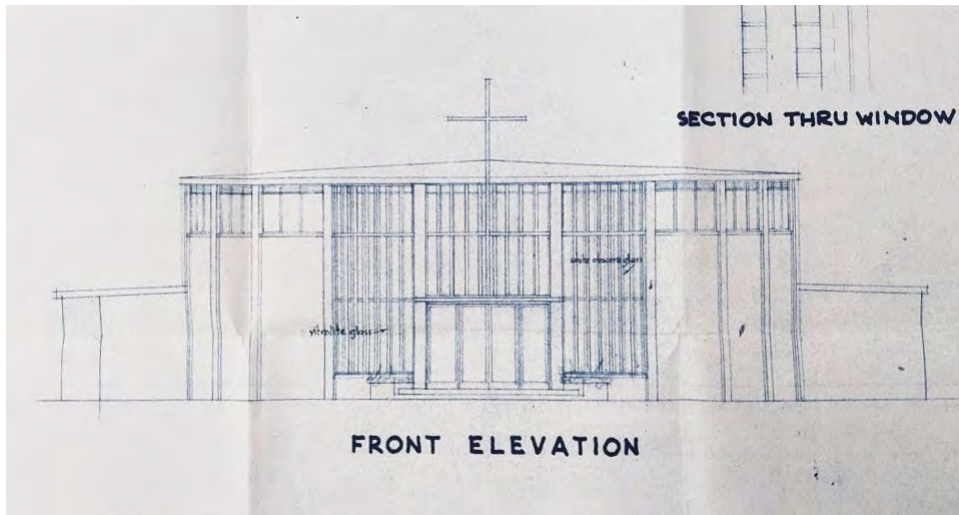


Figure 4. South elevation of the proposed church, by architect Robert O Ellis, dated July 1962 (Source: PROV, PB File)

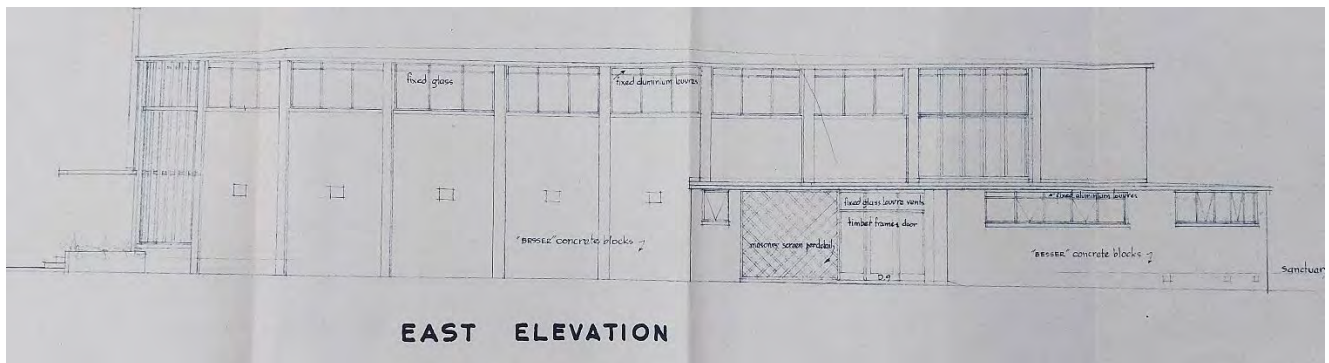


Figure 5. East elevation, drawing by architect Robert O Ellis, dated July 1962 (Source: PROV, PB File)

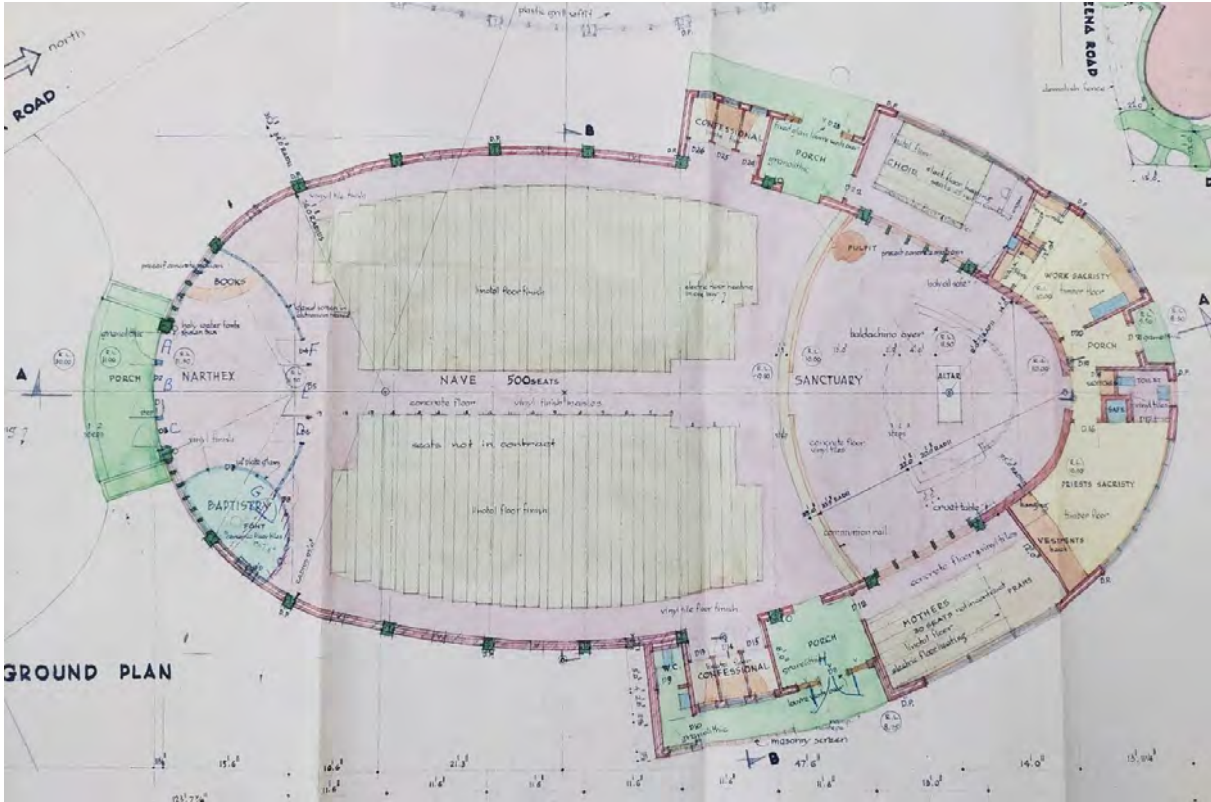


Figure 6. Floor plan of the church, by architect Robert O Ellis, dated July 1962 (Source: PROV, PB File)

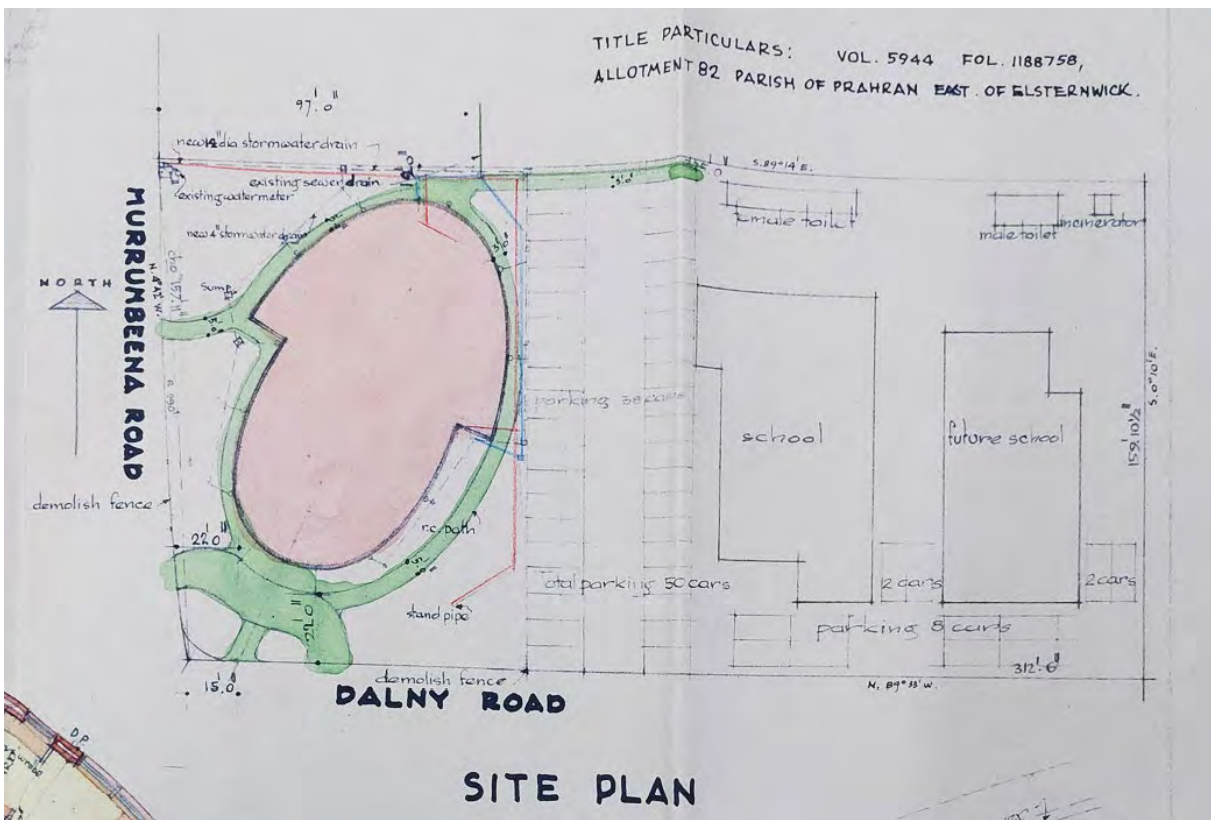


Figure 7. Site plan showing the proposed church to the west of the school buildings, July 1962 (Source: PROV, PB File)



Figure 8. St Patrick's, c1966
(Source: St Patrick's Catholic Church, Murrumbreena brochure, care of Glen Eira Historical Society, file 1228A)

In 1993 an accessible toilet was added at the southeastern end of the single-height section, constructed with a hit-and-miss concrete block screen. In 1995, the interior of the church was refurbished, which included the installation of a new internal glass wall to create a foyer. Externally, a "glass block wall" was installed at the east and west elevations of the single-height section and stained glass was installed to all existing clerestory window frames below the eaves and to the larger banks of windows at the northern end of the main building (PP).

In 2026 the church continues to serve local parishioners. St Patrick's Primary School, its grounds and a kindergarten occupy the remainder of the site at 234 Murrumbreena Road, Murrumbreena.

Robert O Ellis, architect

Robert Osborne Ellis of Ivanhoe was an architect active in Melbourne in the interwar and postwar periods (*Age*, 18 Apr 1929:12). Ellis was a student in the 1920s, receiving the Royal Victorian Institute of Architects' silver medal in 1927 for his design of a golf clubhouse (*Herald*, 56 Oct 1927:17).

By the late 1930s he was an Associate Member of the Royal Victorian Institute of Architects and was the freehand drawing instructor at the University of Melbourne Architectural Atelier (*Herald*, 19 Jun 1937:5; 25 Mar 1939:5). During this period, Ellis worked with Brooks, Robinson & Co., who specialised in fixtures and finishes (including wallpapers and stained glass). While in this role, Ellis travelled to the United States of America in 1937 "to investigate the latest development in the designing, planning and equipment of shops and stores" (*Herald*, 29 Sep 1937:18).

Ellis's design work is known to have encompassed residential, small industrial and commercial projects (*Argus*, 23 Aug 1924:19; *Herald*, 15 May 1935:25; *Architecture and Arts*, Dec 1957:40) as well as a number of ecclesiastical projects, many of which displayed a Modernist architectural style. Ellis's Modernist designs are exemplified by St Bernadette's Catholic Church, Bond Street, Ivanhoe (1961; HO181, Banyule PS) and St Patrick's Catholic Church, Murrumbreena (1963). He is also known to have designed a Catholic school and convent in Omeo (1954) (*Advocate*, 10 Jun 1954:23), a new wing for Santa Maria College, Northcote (1954) (*Advocate*, 2 Sep 1954:22), additions to St Michael's Parish Hall, High Street, Ashburton (1945, 1947; HO922, Boroondara PS) and additions to St Raphael's School, West Preston (1948) (*Advocate*, 8 Jan 1948:17).

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 8 Building community life
- 8.1 Maintaining spiritual life



Description

St Patrick's Catholic Church is located on the east side of Murrumbeena Road north of the main intersection of Murrumbeena Road and North Road. Located at the north corner of Dalny Road, the church occupies the front of a large site with St Patrick's Primary School located to the rear. Street boundaries to the west and south are unfenced and setbacks are grassed with a curved concrete driveway providing vehicle access to the church entrance at the south-west corner of the site. A concrete pedestrian path encircles the church.

The church is of an ovoid plan form, orientated about a north-east axis, with concrete columns dividing the building into defined bays. Bays are infilled with either Besser concrete blocks or glazing. Pairs of ventilator blocks, set at two regular heights into the concrete block bays, appear as decorative elements in the plain walls. The double-height ovoid form has a flat metal-clad roof and is arranged with the principal entrance and the narthex to the south-west and the sanctuary to the north-east. A single-height arc of ancillary rooms and additional entry porches encircles the sanctuary end of the building with a Besser concrete block hit-and-miss screen at the north side and (later) glass block walls to each side. The principal entrance comprises a prominent cantilevered canopy, with a tall cross above, and a row of four solid entry doors below. The principal entrance is accessed by two broad curved concrete steps, set between concrete block planter boxes. Bays surrounding the entrance are fully glazed and a band of fixed clerestory glazing, with (later) coloured glass panes, continues around the sides of the building. Bays of windows at the north-east end of the double-height section have (later) stained glass. A relief of St Patrick is located west of the main entrance.

Key Features

- Postwar Modernist style church
- Ovoid form with the principal entrance and narthex to the south-west and sanctuary to the north-east
- Concrete column structure forming regular-spaced wall bays infilled with either Besser block or glazing
- Pairs of ventilator blocks, set at two regular heights into the concrete block bays, appearing as decorative elements
- Double-height form with flat metal-clad roof
- Single-height arc of ancillary rooms and additional entry porches to north-east sanctuary end
- Principal entry to south-west with cantilever canopy with tall cross above, broad curved concrete steps, Besser block planter boxes, row of four solid entry doors, and a relief of St Patrick to the west
- Glazed bays highlighting principal entrance
- Band of fixed clerestory glazing to sides of building.



Figure 9. Aerial photograph of the full extent of 234 Murrumbeena Road (outlined in red). Church at left hand (western) end (Source: Nearmap, image dated December 2025)



Figure 10. Detail aerial photograph of the church site, forming part of 234 Murrumbeena Road, Murrumbeena (Source: Nearmap, image dated December 2025)



Figure 11. Southeast end of the church (Source: GJM Heritage, September 2025)



Figure 12. East elevation of the church (Source: GJM Heritage, September 2025)



Figure 13. West elevation of the church (Source: GJM Heritage, September 2025)

Intactness/Integrity

St Patrick's Catholic Church at 234 Murrumbeena Road, Murrumbeena, remains substantially intact to its 1963 construction in fabric, form and detail. Despite a small addition to the single height section at the east elevation, installation of glass block walls to the side elevations of the single height section, and installation of coloured and stained glass to clerestory windows, the place retains a high degree of integrity as a Postwar Modernist church.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

In response to substantial residential growth in the municipality of Glen Eira in the twentieth century, and particularly in the interwar and postwar periods in the central and southern suburbs of the municipality, including the suburbs of Carnegie and Murrumbeena, a significant number of churches were established, replaced or expanded to service the rapidly growing population. This included new churches for Catholic, Presbyterian, Methodist, Anglican and Church of Christ congregations.

Churches constructed in the postwar period were often designed in the Modernist idiom, sometimes incorporating traditional elements, such as gable-roof forms and rectangular plans, towers and simplified historicist details, or adopting a more progressive design approach, particularly from the early 1960s in response to liturgical changes which shifted from traditional, hierarchical worship to more active community participation. Postwar Modernist architecture of the 1950s and 1960s combined bold geometric forms, flat or low-pitched roof forms, metal spires, generous windows, coloured glass and simplified ornamentation. As defined by Robin Grow (2021:15-6), Modernism “emphasized function, simplicity and rationality, utilised new materials such as steel, concrete and glass, and in an architectural context, was characterised by clean lines, simple geometric shapes, pure cubic forms, ribbon windows, flat roofs, and functional, flexible interior open spaces with plain exposed structures.”

A number of postwar churches are located in the City of Glen Eira and a smaller number of these are included, or are recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme. These include:

St Margaret's Presbyterian Church, 106 Hotham Street, St Kilda East, 1953-54 (HO229)



Figure 14. 106 Hotham Street, St Kilda East (Source: VHD)

St Paul's Church and school, 122 Jasper Road, Bentleigh, 1960-61 (HO120)



Figure 15. 122 Jasper Road, Bentleigh (Source: Google Street View)

Church of Christ, 4 Gilbert Grove, Bentleigh, 1949 (part of HO69)



Figure 16. 4 Gilbert Grove, Bentleigh (Source: Google Street View)

St John's Anglican Church, 624 Centre Road, Bentleigh East, 1960-62 (HO223)



Figure 17. 624 Centre Road, Bentleigh East (Source: VHD)

Holy Nativity Anglican Church (Former), 253 Poath Road, Murrumbeena, 1960-61 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 18. 253 Poath Road, Murrumbeena (Source: GJM Heritage, Murrumbeena and Carnegie (part) Heritage Review, 2026)

Like St Patrick's Catholic Church, Murrumbeena, the above churches were constructed in the Postwar Modernist style and exhibit a range of characteristics of this style including bold forms (like St John's Anglican Church, Bentleigh East), a flat or low-pitched roof (like St John's Anglican Church, Bentleigh East; St Margaret's Presbyterian Church, St Kilda East; and Church of Christ, Bentleigh), simplified ornament to the exterior wall planes (like St Margaret's Presbyterian Church, St Kilda East; St Paul's Church, Bentleigh; St John's Anglican Church, Bentleigh; and Holy Nativity Anglican Church [Former], Murrumbeena) and large spans of glazing (like St Margaret's Presbyterian Church, St Kilda East; St John's Anglican Church, Bentleigh East; and Holy Nativity Anglican Church [Former], Murrumbeena). The above examples demonstrate the diversity of Modernist expression during the post-war period. St Patrick's Catholic Church, Murrumbeena adopts a unique ovoid form in its representation of the Postwar Modernist style.

Like the examples above, St Patrick's Catholic Church retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of a Postwar Modernist church.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

St Patrick's Catholic Church, Murrumbeena has strong associations with the postwar development phase of the central and southern portions of the municipality, when the residential subdivision of this part of the municipality was largely completed and the built environment and social and economic character of the area established.

Churches continued to be constructed, replaced or expanded to service the spiritual needs of the expanding population in the postwar period. St Patrick’s Catholic Church, Murrumbeena remains substantially intact to its 1963 construction to clearly demonstrate postwar development in the City of Glen Eira and the continued importance of religious institutions to the population at the time.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

St Patrick’s Catholic Church, Murrumbeena is a fine and highly intact representative example of a Postwar Modernist style church. The church displays principal characteristics of this style, including bold forms, flat roof, generous glazing, and simplified ornament to the exterior.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

St Patrick’s Catholic Church, Murrumbeena is a well-considered and finely executed example of Postwar Modernist church. Designed by architect Robert O Ellis, the refined detailing – including the unique ovoid form, flat metal-clad roof, double and single-height forms, regular bays infilled with Besser blocks or glazing, pairs of decorative ventilator blocks, entrance marked by glazed bays, a cantilever canopy, tall cross and broad curved steps, relief of St Patrick to the west of the entrance, and a ribbon of clerestory glazing – presents a highly resolved architectural expression of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the polygon shown in Figure 19 below. The recommended extent of the Heritage Overlay follows the north, south and west property boundaries and at the eastern extent provides a 1.5 metre buffer, following the curve of the building, to the northeastern portion of the church, and then follows the western edge of the basketball courts. The extent excludes school-related land to the east.



Figure 19. Recommended Extent of Heritage Overlay

References

Advocate [Melb. Vic.]

Architecture and Arts.

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Coleman, Ian & Roslyn Coleman, *Twentieth Century Churches in Victoria*, 1996.

Grow, Robin, *Melmo, Modern Architecture in Melbourne*, Melbourne, 2021.

Landata Victoria (LV), Central Plan Office, Historical Aerial Photography.

Nearmap ©.

Public Records Office Victoria (PROV), Public Building (PB) Files, "St Patrick's Roman Catholic Church," VPRS 8044/P0003, Unit 7221; VPRS 7882/P0001, Unit 7221.

Permit plans (PP) provided by Glen Eira City Council.

St Patrick's Catholic Church, Murrumbeena, <<https://www.melbcatholic.org/s/articles/a198w0000001aaaAAA/our-church>>, accessed 2 December 2025.

St Patrick's Catholic Church, Murrumbeena brochure, care of Glen Eira Historical Society, file 1228A.

The Age.

The Argus.

The Herald.

St Patrick's Catholic Church, 234 Murrumbeena Road (part), Murrumbeena Statement of Significance

Heritage Place: St Patrick's Catholic Church, 234 Murrumbeena Road (part), Murrumbeena	PS ref no: HOXX
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What is significant?

St Patrick's Catholic Church at 234 Murrumbeena Road (part), Murrumbeena, constructed in 1963.

Elements that contribute to the significance of the place include:

- Postwar Modernist style church
- Ovoid form with the principal entrance and narthex to the south-west and sanctuary to the north-east
- Concrete column structure forming regular-spaced wall bays infilled with either Besser block or glazing
- Pairs of ventilator blocks, set at two regular heights into the concrete block bays, appearing as decorative elements
- Double-height form with flat metal-clad roof
- Single-height arc of ancillary rooms and additional entry porches to north-east sanctuary end
- Principal entry to south-west with cantilever canopy with tall cross above, broad curved concrete steps, Besser block planter boxes, row of four solid entry doors, and a relief of St Patrick to the west
- Glazed bays highlighting principal entrance
- Band of fixed clerestory glazing to sides of building.

Features that do not contribute to the significance of the place include the hit-and-miss concrete block screen and glass brickwork to the single-height building.

How is it significant?

St Patrick's Catholic Church at 234 Murrumbeena Road, Murrumbeena, is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

St Patrick's Catholic Church, Murrumbeena has strong associations with the postwar development phase of the central and southern portions of the municipality, when the residential subdivision of this part of the municipality was largely completed and the built environment and social and economic character of the area established.

Churches continued to be constructed, replaced or expanded to service the spiritual needs of the expanding population in the postwar period. St Patrick's Catholic Church, Murrumbeena remains substantially intact to its 1963 construction to clearly demonstrate postwar development in the City of Glen Eira and the continued importance of religious institutions to the population at the time. (Criterion A)

St Patrick's Catholic Church, Murrumbeena is a fine and highly intact representative example of a Postwar Modernist style church. The church displays principal characteristics of this style, including bold forms, flat roof, generous glazing, and simplified ornament to the exterior. (Criterion D)

St Patrick's Catholic Church, Murrumbeena is a well-considered and finely executed example of Postwar Modernist church. Designed by architect Robert O Ellis, the refined detailing – including the unique ovoid form, flat metal-clad roof, double and single-height forms, regular bays infilled with Besser blocks or glazing, pairs of decorative ventilator blocks, entrance marked by glazed bays, a cantilever canopy, tall cross and broad curved steps, relief of St Patrick to the west of the entrance, and a ribbon of clerestory glazing – presents a highly resolved architectural expression of this architectural style. (Criterion E)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'GLADYSHOLM', 491 NEERIM ROAD, MURRUMBEENA



Figure 1. 491 Neerim Road, Murrumbena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect/Designer: Samuel D Page
Construction Date: 1921	Builder: Samuel D Page
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The brick house at 491 Neerim Road, Murrumbena was built in 1921 for Arthur E Cooper, commercial traveller, designed and constructed by builder Samuel D Page (RB).

Land on the south side of Neerim Road passed through various owners and stages of subdivision before Sophia E Goode, married woman of Carnegie, acquired a lot totalling 2¼ acres (0.9ha) in 1909, which included a weatherboard house addressed to 495 Neerim Road, before further subdividing the property (LV:V3205/F957; V2896/F094; V1716/F050; RB).

The subject site was purchased by Arthur Ernest Cooper of “Gladysholm, 9 Normanby Avenue, Northcote” in May 1921 (LV:V4467/F301).

A drainage plan dated June 1921 (Figure 2) shows a footprint of the house and outbuildings at 491 Neerim Road (outbuildings since removed), as well as footprints of the houses at nos. 487 and 493 (no. 487 since demolished). S D Page was recorded as the agent on the drainage plan for the three brick houses, indicating that he was the builder for each (SEW; RB; LV:V3205/F957). Samuel Deysn Page also owned (and later occupied) 487 Neerim Road (the original property extent included 2/2A Ella Street), which he purchased from Goode in May 1921 (LV:V3205/F957).

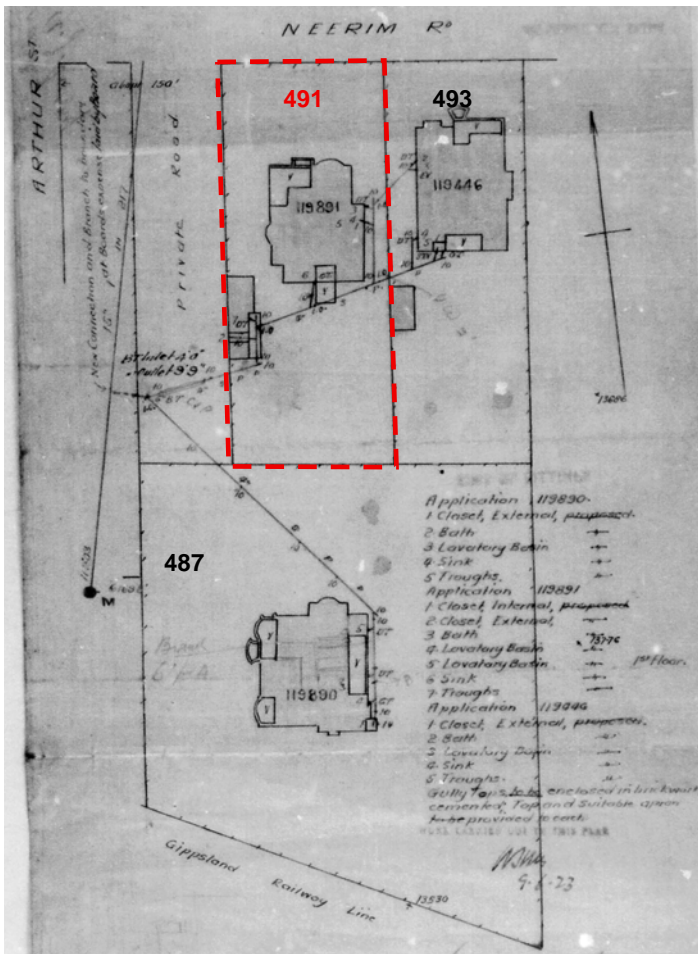


Figure 2. Drainage plan dated June 1921 showing footprints of the houses at the subject site (indicated in red) and current 487 (since demolished) and 493 Neerim Road. S D Page was recorded as the agent for all three houses and the owner of the southern house at 487 Neerim Road (Source: SEW, Drainage Plan No. 119891)

In the 1920s and 1930s the house at the subject site was called 'Gladysholm' (*Prahran Telegraph*, 23 Jul 1926:8; LV:V4467/F301). Following Arthur Cooper's death in 1932, 491 Neerim Road remained in the Cooper family until 1944. The property had various owners after 1944 (LV:V4467/F301).

The property was advertised for sale in 1937, described as "Gladysholm", a "superior brick attic villa" with nine rooms and offices, and a brick garage (*Age*, 24 Apr 1937:3). An aerial photograph dated 1969 shows the extent of the house and outbuildings during this period, amongst a mature garden (Figure 3).



Figure 3. Aerial photograph of the subject site, 1969. Approximate boundary indicated in red (Source: Landata Victoria)

Additions to the house in 1990 comprised two flat-roofed dormers to the northern gabled bay (one to the east and one to the west), a gabled-roof dormer to the southern roof plane, a hipped-roof addition to the rear (south) elevation, the garage at the southwest corner of the property, and the fence to the front property boundary (PP). The large shed at the southeast corner of the property was constructed in 2023 (Nearmap).

Samuel D Page, designer/builder

Samuel Deyns Page was a designer and builder, known to be active in the Murrumbeena and Malvern areas in the 1910s and 1920s (*Argus*, 5 Aug 1916:16). Page was described in *The Herald* in 1922 as a "popular Murrumbeena builder" (6 Apr 1921:4), designing and building local residential and commercial buildings. In the early 1920s Page publicised his local projects in *The Australian Home Builder* and *The Real Property Annual* (AHB No. 3, Feb 1923:67; RPA No. 10, Jul 1921:7).

Page is known to have designed and constructed houses in Murrumbeena including those at 491 Neerim Road, 493 Neerim Road and 23 Murrumbeena Road (Figure 4). His commercial projects included 'Wardrops Buildings' (1921; HO187, Glen Eira) at 414-422 Neerim Road and 77-79 Murrumbeena Road, Murrumbeena (RPA No. 10, Jul 1921:7), and the row of six shops at 476-486 Neerim Road (1922; HO187, Glen Eira) (Built Heritage 2020/2021:5; AHB No. 3, Feb 1923:67).

S. D. PAGE, 487 Neerim Road, MURRUMBEENA Phone, Oak. 269



This Building has been erected in Murrumbena Road, Murrumbena, and contains 8 rooms and every modern convenience. Plans, etc., available at above address.



Residence of Mr. S. D. Page, containing 10 rooms and all conveniences, garage, tennis court, beautiful grounds containing approximately one acre, laid out, fruit trees. For Sale, apply on premises for full particulars, or phone.



Residence, corner Murrumbena Road and Anzac Street—8 rooms and all conveniences. Plans and specifications above address. For good homes in all suburbs, those contemplating building should consult Mr. Page, who has a very wide range of plans, and will design and build to suit your requirements. Country clients catered for. Buildings carried out in Timber, Stone, Brick or Concrete. Inquiries solicited.

Figure 4. An advertisement for builder S D Page who was addressed to 487 Neerim Road, Murrumbena, published in *The Australian Home Builder* in 1922. Pictured at top: a house constructed on Murrumbena Road, Murrumbena (location not known); Centre: Page's house at 487 Neerim Road (since demolished); Bottom: house at 23 Murrumbena Road, Murrumbena (remains) (AHB No. 1, Aug 1922:8)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
- 6.3 Shaping the suburbs
- 6.7 Making homes for Victorians

Description

491 Neerim Road is located on the south side of Neerim Road, south-east of the main intersection of Dandenong and Murrumbeena roads and north of the elevated railway line at Murrumbeena. The rectangular lot is accessed via a driveway at the western end of the street boundary. The house has a deep garden setback from the front boundary.

Designed in the Arts and Crafts style of the interwar period, the attic-storey house is a red brick dwelling with roughcast render to the upper walls and terracotta tile-clad gabled roofs (recently re-tiled). The asymmetrical principal elevation is dominated by a pair of large gable ends, one centrally placed and one at the east side, which project from a large transverse gable. The eastern front gable end and the western side gable end of the transverse bay contain a large bowed bay window with broad timber shingled hoods and projecting brick sills and bases. The western side gable end is interrupted by an adjacent flat-roofed bay with a row of four sash windows with a shingle-clad canted base. A roughcast rendered chimney, with brick soldier course capping, rises from the ridgeline at the east end of the transverse gable. Overhanging gable ends are timber-lined with supporting struts and rafter ends are exposed. A broad recessed verandah, with a low-pitched tile-clad hipped roof and exposed rafter ends, extends across the principal elevation from the projecting eastern gable end, supported on broad rendered piers with crowning brick soldier courses. The brick verandah balustrade has a curved handrail and recessed vertical elements, and low curved brick subwalls flank the entry steps.

Later alterations include a large addition to the south (rear) of the house with a series of hipped-roof forms, a gabled-roof dormer to the southern section of the transverse gabled-roof, flat-roofed dormers to the gable of the northern section of the transverse gabled-roof, and a garage and shed at the rear of the property. A later brick fence, with steel picket panels, extends across the front boundary with deeply recessed vehicular gates at the west end.

Key Features:

- Attic-storey Arts and Crafts style house of the interwar period
- Red brick construction with roughcast render to upper walls
- Terracotta tile cladding to gabled roofs
- Asymmetrical principal elevation with transverse gable and two projecting front gables
- Gable ends with large bowed window bays, with broad timber shingled hoods and projecting brick sills and bases
- Timber-lined overhanging gable ends with supporting struts and exposed rafter ends
- Broad recessed verandah with low-pitched tile-clad hipped roof and exposed rafter ends, supported on broad rendered piers with crowning brick soldier courses
- Brick verandah balustrade with curved handrail and recessed vertical elements
- Low curved brick subwalls flanking the entry steps
- Roughcast render chimney, with brick soldier course capping, at the east end of the main ridgeline.



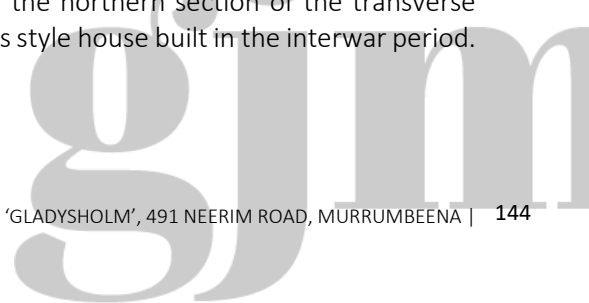
Figure 5. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 6. 491 Neerim Road, Murrumbena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 491 Neerim Road, Murrumbena remains substantially intact to its period of construction. Despite the single-storey additions to the south (rear) of the house, later gabled-roof dormer to the southern section of the transverse gabled-roof, and two later flat-roofed dormers to the gable of the northern section of the transverse gabled-roof, the house retains a high degree of integrity as an Arts and Crafts style house built in the interwar period.



Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Arts and Crafts styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included, or recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme, as represented in the Beauville Estate (HO12) by AV Jennings and the Ardyne Estate, both in Murrumbeena. It is noted that these are generally more modestly-scaled bungalow forms, although some more substantial residences are included within the precincts. It is further noted that buildings in heritage precincts in Glen Eira are only graded ‘Contributory’ and ‘Not Contributory’; individual buildings have not been identified as ‘Significant’ or considered as to whether they potentially meet the local threshold in their own right.

Those places comparable to 491 Neerim Road, Murrumbeena within the central and southern portions of the municipality and which are included in the Heritage Overlay of the Glen Eira Planning Scheme include:

18 Stanley Street, Elsternwick, c1918 (HO140)



Figure 7. 18 Stanley Street, Elsternwick (Source: VHD)

415 North Road, Caulfield South (part of HO75, Ormond and Environs Precinct)



Figure 8. 415 North Road, Caulfield South (Source: Google Street View)

219 Booran Road, Caulfield South (part of HO75, Ormond and Environs Precinct)



Figure 9. 219 Booran Road, Caulfield South (Source: Realestate.com.au)

Comparable places in the northern portion of the municipality that are included, or recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme are:

17 Wyuna Road, Caulfield North, 1915 (HO83)



Figure 10. 17 Wyuna Road, Caulfield North (Source: VHD)

20 Labassa Grove, Caulfield North, 1923 (HO126)



Figure 11. 20 Labassa Grove, Caulfield North (Source: Realestate.com.au)

40 Snowdon Avenue, Caulfield, 1921 (HO139)



Figure 12. 40 Snowdon Avenue, Caulfield (Source: VHD)

385 Alma Road, Caulfield North, 1926
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 13. 385 Alma Road, Caulfield North (Source:
Extent Heritage, Caulfield North Heritage Review, 2023)

Like 491 Neerim Road, Murrumbeena, the above houses were constructed in the Arts and Crafts style of the interwar period. Constructed of brick with tile or slate-clad roofs, these attic-storey houses exhibit a range of characteristics representative of housing built in this style, including complex roof forms with prominent gabled ends, an asymmetrical principal elevation, timber-lined overhanging gable ends, exposed rafter ends, roughcast render, timber shingles, verandah or porch with a brick balustrade, dormer windows, large window bays, and face-brick or roughcast rendered chimneys.

Like the above examples, 491 Neerim Road, Murrumbeena retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of characteristics of the Arts and Crafts style of the interwar period. Similar to the Arts and Crafts style houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 491 Neerim Road, Murrumbeena clearly illustrates an important phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Gladysholm' at 491 Neerim Road, Murrumbeena has strong associations with the extensive interwar development phase of the suburb of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The house at 491 Neerim Road, Murrumbeena remains

substantially intact to clearly demonstrate this major phase of development in the central and southern portions of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Gladysholm’ at 491 Neerim Road, Murrumbeena is a fine and substantially intact representative example of an Interwar Arts and Crafts house. Designed and constructed by local builder Samuel D Page, the house displays characteristics illustrative of this style, including an asymmetrical principal elevation dominated by a pair of large gable ends, attic storey, terracotta tile-clad gabled roof, timber-lined overhanging gable ends with supporting struts, exposed rafter ends, red brick construction with roughcast render to upper walls, gable ends with large bowed window bays with broad timber shingled hoods and projecting brick sills and bases, and a broad recessed verandah with a curved brick balustrade.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 14 below.



Figure 14. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Built Heritage, *City of Glen Eira Post-War & Hidden Gems Heritage Review 2020, Stage Two: Citations, 2020* (Post-Panel changes adopted 23 November 2021).

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Nearmap ©.

Permit plans (PP) provided by Glen Eira City Council.

Rate books (RB), City of Caulfield, East Ward: 1921, entry 4572; 1922, entry 4837.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

The Age.

The Argus.

The Australian Home Builder (AHB).

The Herald.

The Prahran Telegraph.

The Real Property Annual (RPA).

'Gladysholm', 491 Neerim Road, Murrumbena Statement of Significance

Heritage Place: 'Gladysholm', 491 Neerim Road, Murrumbena	PS ref no: HOXX
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What is significant?

'Gladysholm' at 491 Neerim Road, Murrumbena, constructed in 1921.

Elements that contribute to the significance of the place include:

- Attic-storey Arts and Crafts style house of the interwar period
- Red brick construction with roughcast render to upper walls
- Terracotta tile cladding to gabled roofs
- Asymmetrical principal elevation with transverse gable and two projecting front gables
- Gable ends with large bowed window bays, with broad timber shingled hoods and projecting brick sills and bases
- Timber-lined overhanging gable ends with supporting struts and exposed rafter ends
- Broad recessed verandah with low-pitched tile-clad hipped roof and exposed rafter ends, supported on broad rendered piers with crowning brick soldier courses
- Brick verandah balustrade with curved handrail and recessed vertical elements
- Low curved brick subwalls flanking the entry steps
- Roughcast render chimney, with brick soldier course capping, at the east end of the main ridgeline.

Features that do not contribute to the significance of this place include non-original additions to the south (rear) of the house, the later gabled-roof dormer to the southern section of the transverse gabled-roof, the two later flat-roofed dormers to the gable of the northern section of the transverse gabled-roof, and later outbuildings and fences to the property.

How is it significant?

'Gladysholm' at 491 Neerim Road, Murrumbena, is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Gladysholm' at 491 Neerim Road, Murrumbeena has strong associations with the extensive interwar development phase of the suburb of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The house at 491 Neerim Road, Murrumbeena remains substantially intact to clearly demonstrate this major phase of development in the central and southern portions of the City of Glen Eira. (Criterion A)

'Gladysholm' at 491 Neerim Road, Murrumbeena is a fine and substantially intact representative example of an Interwar Arts and Crafts house. Designed and constructed by local builder Samuel D Page, the house displays characteristics illustrative of this style, including an asymmetrical principal elevation dominated by a pair of large gable ends, attic storey, terracotta tile-clad gabled roof, timber-lined overhanging gable ends with supporting struts, exposed rafter ends, red brick construction with roughcast render to upper walls, gable ends with large bowed window bays with broad timber shingled hoods and projecting brick sills and bases, and a broad recessed verandah with a curved brick balustrade. (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'BRUNSTON', 29 OMAMA ROAD, MURRUMBEENA



Figure 1. 29 Omama Road, Murrumbena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: 1910	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 29 Omama Road, Murrumbeena, was built in 1910 as a weatherboard house with six rooms for Arthur Archer, printer (RB).

The property was Lot 12 of a residential subdivision of land owned by Margaret Tuckett. In 1902, Margaret Thorn Tuckett, married woman of Murrumbeena, purchased just over 25 acres (10.1ha) extending from Neerim, Hobart and Wahroonga roads to just past the 'Glen Iris railway' (also known as the Outer Circle railway, now Boyd Park). Tuckett subdivided this land in c1909 (LV:V3373/F490; V2870/F936).

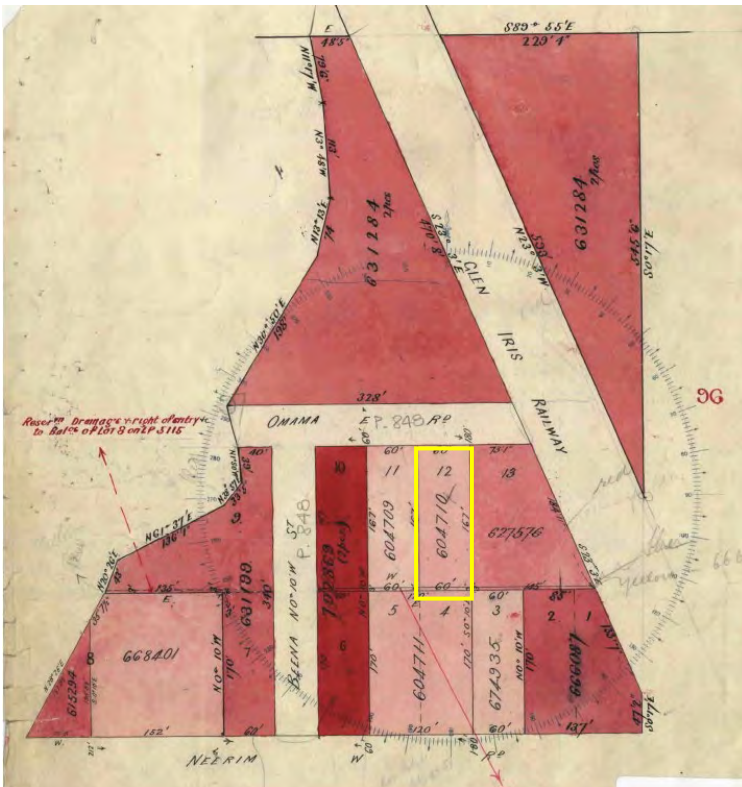


Figure 2. The c1909 residential subdivision of Margaret T Tuckett's holdings east of what is now Springthorpe Gardens. The subject site is indicated (Source: LP 5115, LV V2870/F936).

Arthur Archer purchased Lot 12 of the subdivision in September 1909 before building the house in 1910. In 1911, Archer also acquired Lot 13, the land immediately east (current nos. 31-33 Omama Road). Archer retained ownership of the subject site (Lot 12) until 1923, when it was sold to John F Craig "of Omama Road, Murrumbeena, compositor" (LV:V V3373/F490; RB).

A 1925 Melbourne and Metropolitan Board of Works (MMBW) plan shows a footprint of the house, called 'Brunston', with a return verandah between the two diagonally-set bays, a verandah to the rear (south) elevation (since replaced) and a small outbuilding to the rear (since removed).

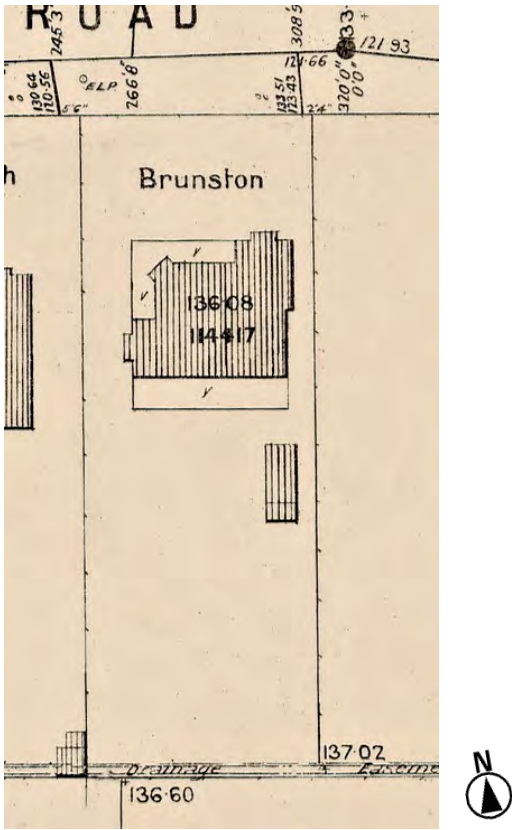


Figure 3. MMBW Detail Plan No 2564 showing the footprint of the house at 29 Omama Road, 1925 (Source: SLV)

A mature oak tree remains inside the front (north) boundary, which was evident in a 1945 aerial photograph as a developing tree (Figure 5); the planting was not evident in 1931 (Figure 4).

The major addition to the rear (south) of the house was constructed c2002, replacing a smaller lean-to addition off the rear elevation (PP).

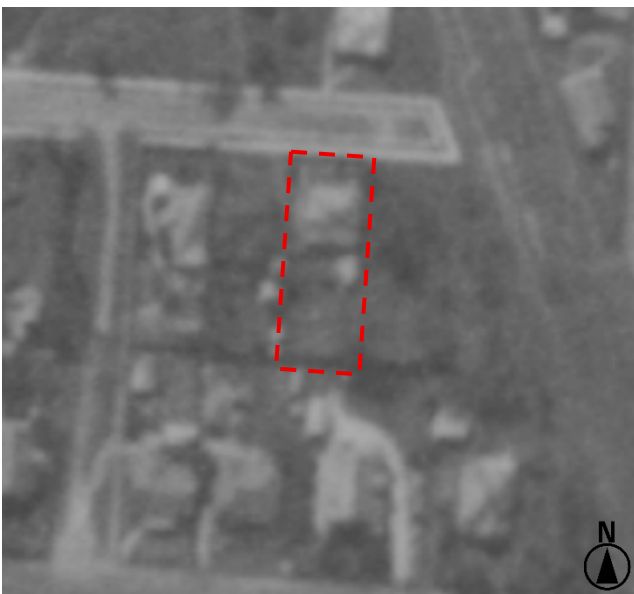


Figure 4. 1931 aerial photograph showing the extent of the house at the subject site, a small outbuilding to the rear (south), and no mature plantings inside the front boundary (Source: Landata Victoria)



Figure 5. 1945 aerial photograph showing the house at the subject site, a small outbuilding to the rear (south), and a tree inside the front boundary (Source: Landata Victoria)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History*

[Refresh] 2020:

- 6 Building towns, cities and the garden state
- 6.3 Shaping the suburbs
- 6.7 Making homes for Victorians

Description

29 Omama Road, Murrumbeena is located on the south side of Omama Road, south-west of the main intersection of Dandenong Road and Poath Road and north-east of the Hughesdale Railway Station. The rectangular lot is accessed via a driveway at the western end of the street boundary. The house has a deep garden setback from the front boundary which contains a mature oak tree (*Quercus sp.*).

The single-storey house is constructed of timber with a block-fronted base and weatherboards above, and roofs are clad in corrugated metal sheeting. The plan form of the house is symmetrical about the diagonal, with a main gabled-hip roof extending at a lower pitch to form a return verandah at the north-west corner. Situated between two gable-ended bays – one to the east end of the principal elevation (north) and the other at the rear end of the west elevation – the verandah is supported by turned timber posts. Three tall red brick chimneys, with rendered corniced capping and two with terracotta pots, rise above the main roof. A rectangular bay with casement windows and highlights is set diagonally across the corner of the verandah and similar window bays project from the two gable-ended bays with notched weatherboard detailing above. The jettied gable end to the principal elevation is of roughcast render with a highly decorative applied curvilinear motif around a central oval, and the gable end to the west elevation is of roughcast render with vertical timber strapping (half-timbering effect). The front entrance with a side window is placed at the east end of the verandah and a secondary entrance is placed at the western gabled bay.

A large addition is located to the south (rear) of the house. A later picket fence, with vehicular gates to the west and central pedestrian gates, extends across the front boundary.

Key Features:

- Substantial single-storey timber house constructed in the Federation Queen Anne style
- Diagonally symmetrical form
- Block-fronted timber base to walls with horizontal weatherboards above
- Corrugated sheet metal cladding to main gabled-hip roof and gable-ended bays
- Three tall red brick chimneys, with rendered corniced capping and two with terracotta pots
- Return verandah at the north-west front corner of the house, formed by the extension of the hipped roof at a lower pitch, supported on turned timber posts
- Rectangular bays of timber casement windows with highlights, including a diagonal bay at the junction of the north and west walls and others at the gable-ended bays
- Detailing to jettied gable ends including timber brackets, notched-weatherboards, roughcast render, highly decorative applied curvilinear motif around a central oval to the principal elevation and vertical timber strapping to the west elevation
- Centrally placed front entrance with side window and secondary entrance to western gabled bay.



Figure 6. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 7. 29 Omama Road, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 8. Mature oak in front garden at 29 Omama Road, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 29 Omama Road, Murrumbeena remains highly intact to its period of construction. Despite the addition of a single-storey addition to the rear (south) of the house, the place retains a high degree of integrity as a Queen Anne style house built in the Federation period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – were the first to undergo residential development, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. Residential development of the central suburbs – including Murrumbeena, Carnegie and Caulfield South – occurred later than in the north of the municipality, and share a similar developmental history. The southern portion of the municipality, south of North Road – including McKinnon, Bentleigh and Bentleigh East – previously formed part of the municipality of Moorabbin, and retained a predominantly agricultural character into the early twentieth century, before undergoing major residential development in the interwar and postwar periods.

Growth was greatly impacted by the 1890s Depression, and it was not until after the turn of the century that land sales and residential development resumed in Murrumbeena and Carnegie and the surrounding area. In the central and southern portions of the municipality, early twentieth century housing was generally limited to speculative subdivisions, commonly located in the vicinity of transport routes, and development remained slow relative to the northern part of the City of Glen Eira.

A small number of largely intact Federation Queen Anne dwellings from the central and southern portions of the municipality are included in the Heritage Overlay of the Glen Eira Planning Scheme. Many of these are simple timber dwellings included in heritage precincts, but some are more substantial and richly detailed timber or brick Federation Queen Anne dwellings. It is noted that buildings are only graded 'Contributory' and 'Not Contributory' within heritage precincts in Glen Eira and that individual buildings have not been identified as 'Significant' or considered as to whether they potentially meet the local threshold in their own right.

Those places comparable to 29 Omama Road, Murrumbena within the central and southern portions of the municipality and which are included – or have been recommended for inclusion – in the Heritage Overlay of the Glen Eira Planning Scheme include:

185 Koornang Road, Carnegie, c1914-15 (HO174)



Figure 9. 185 Koornang Road, Carnegie (Source: Realestate.com.au, image dated 2025)

22 Venus Street, Caulfield South, 1915
(recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 10. 22 Venus Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)

56 Orrong Road, Elsternwick (part of HO72, Elsternwick Estate and Environs Precinct)



Figure 11. 56 Orrong Road, Elsternwick (Source: Google Street View)

33 Elizabeth Street, Elsternwick (part of HO72, Elsternwick Estate and Environs Precinct)



Figure 12. 33 Elizabeth Street, Elsternwick (Source: Realestate.com.au)

37 Elizabeth Street, Elsternwick (part of HO72, Elsternwick Estate and Environs Precinct)



Figure 13. 37 Elizabeth Street, Elsternwick (Source: VHD)

24 Elliott Ave, Carnegie, 1913-14 (HO172)



Figure 14. 24 Elliott Ave, Carnegie (Source: RBA Architects & Conservation Consultants, Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential), 2019)

28 Grange Road, Carnegie (part of HO178, Carnegie Residential Precinct)



Figure 15. 28 Grange Road, Carnegie (Source: Realestate.com.au)

22 Mile End Road, Carnegie (part of HO178,
Carnegie Residential Precinct)



Figure 16. 22 Mile End Road, Carnegie (Source: Google Street View)

2 Munster Avenue, Carnegie (part of HO178,
Carnegie Residential Precinct)



Figure 17. 2 Munster Avenue, Carnegie (Source: Realestate.com.au)

330 McKinnon Road, McKinnon, 1909-14
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 18. 330 McKinnon Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

Notably, the house at 29 Omama Road, Murrumbeena, is more consistent with the form of the masonry examples above, which comprise diagonally symmetrical plan forms with diagonal emphasis and complex hipped and gabled roof forms. Timber houses adopting this form are not common in the municipality and no other directly comparable examples in the Heritage Overlay have been identified.

Like both the masonry and timber Queen Anne style examples above, the house at 29 Omama Road, Murrumbeena exhibits a range of characteristics representative of housing built in this period including front gable-ended bays, tall chimneys, decorative half-timbering effect (roughcast render with timber strapping), decorative motifs to the gabled ends, timber fretwork and timber-framed windows. Like the above examples, 29 Omama Road, Murrumbeena retains a high degree of integrity to its period of construction and remains highly intact to demonstrate a range of characteristics of the Queen Anne style of the Federation period.

Similar to the Federation houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 29 Omama Road, Murrumbeena clearly illustrates an important and early phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

'Brunston' at 29 Omama Road, Murrumbeena has strong associations with the development of Murrumbeena in the first part of the twentieth century when vacant land began to be developed following the hiatus caused by the 1890s Depression. The house at 29 Murrumbeena Road is one of a small number of more substantial and highly intact houses remaining in the suburb to demonstrate this phase of development.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

'Brunston' at 29 Omama Road, Murrumbeena is a fine and highly intact representative example of a Federation Queen Anne style house of the early twentieth century. It displays principal characteristics of the style including diagonally symmetrical plan forms with diagonal emphasis, complex hipped and gabled roof forms, tall red brick chimneys with rendered corniced capping and terracotta pots, return verandah supported on turned timber posts, block-fronted timber cladding with horizontal weatherboards above, rectangular bays of timber casement windows with highlights, and detailing to the jettied gable ends (including timber brackets, notched-weatherboards, roughcast render, highly decorative applied curvilinear motif to the principal elevation and vertical timber strapping to the west elevation). It is noted that the form of the house is more commonly found in masonry examples in the municipality and that a timber house exhibiting this form is not common in City of Glen Eira.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 19 below.



Figure 19. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No 2564, dated 1925.

Permit plans (PP), provided by Glen Eira City Council.

Rate Books (RB), Town/City of Caulfield, East Ward: 1909-10, entry 5175; 1910-11, entry 5834; 1911-12, entry 6942; 1923-24, entries 4931-32.

State Library of Victoria (SLV), images and plans as cited.

The Age.

The Herald.

'Brunston', 29 Omama Road, Murrumbeena Statement of Significance

Heritage Place: 'Brunston', 29 Omama Road, Murrumbeena	PS ref no: HOXX
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What is significant?

'Brunston' at 29 Omama Road, Murrumbeena, constructed in 1910.

Elements that contribute to the significance of the place include:

- Substantial single-storey timber house constructed in the Federation Queen Anne style
- Diagonally symmetrical form
- Block-fronted timber base to walls with horizontal weatherboards above
- Corrugated sheet metal cladding to main gabled-hip roof and gable-ended bays
- Three tall red brick chimneys, with rendered corniced capping and two with terracotta pots
- Return verandah at the north-west front corner of the house, formed by the extension of the hipped roof at a lower pitch, supported on turned timber posts
- Rectangular bays of timber casement windows with highlights, including a diagonal bay at the junction of the north and west walls and others at the gable-ended bays
- Detailing to jettied gable ends including timber brackets, notched-weatherboards, roughcast render, highly decorative applied curvilinear motif around a central oval to the principal elevation and vertical timber strapping to the west elevation
- Centrally placed front entrance with side window and secondary entrance to western gabled bay.

Features that do not contribute to the significance of this place include non-original additions to the rear (south), trees and the later timber fence to the street frontage.

How is it significant?

'Brunston' at 29 Omama Road, Murrumbeena, is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Brunston' at 29 Omama Road, Murrumbeena has strong associations with the development of Murrumbeena in the first part of the twentieth century when vacant land began to be developed following the hiatus caused by the 1890s Depression. The house at 29 Murrumbeena Road is one of a small number of more substantial and highly intact houses remaining in the suburb to demonstrate this phase of development. (Criterion A)

'Brunston' at 29 Omama Road, Murrumbeena is a fine and highly intact representative example of a Federation Queen Anne style house of the early twentieth century. It displays principal characteristics of the style including diagonally symmetrical plan forms with diagonal emphasis, complex hipped and gabled roof forms, tall red brick chimneys with rendered corniced capping and terracotta pots, return verandah supported on turned timber posts, block-fronted timber cladding with horizontal weatherboards above, rectangular bays of timber casement windows with highlights, and detailing to the jettied gable ends (including timber brackets, notched-weatherboards, roughcast render, highly decorative applied curvilinear motif to the principal elevation and vertical timber strapping to the west elevation). It is noted that the form of the house is more commonly found in masonry examples in the municipality and that a timber house exhibiting this form is not common in City of Glen Eira. (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

FORMER HOLY NATIVITY ANGLICAN CHURCH,
253 POATH ROAD, MURRUMBEENA



Figure 1. 253 Poath Road, Murrumbena (GJM Heritage, August 2025).

DATE: April 2026

Place Type: Church	Architect: Keith Reid
Construction Date: 1960-61	Builder: A L Ackland & Co
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The Holy Nativity Anglican Church was constructed in 1960-61 to a design by architect Keith Reid (PROV, PB File).

Two lots on the west side of Poath Road were purchased by the Anglican church in 1924 (Reid 1999:19). In 1925 the first building erected at the site was a two-roomed timber building – relocated from a school at Lovell House in Alma Road, Caulfield – which served as an Anglican church and Sunday school (PROV, PB file; Reid 1999:19). This timber building underwent various stages of additions, and in 1955 was repositioned to allow for the construction of the present brick church (see Figure 2 - Figure 4) (PROV, PB file; Rowland 1974:8).



Figure 2. Aerial photograph, 1931, showing the timber hall in its original location and orientation (highlighted in red oval) at the subject site. Blythe Street had not been established (Source: Landata Victoria)



Figure 3. Aerial photograph dated 1945, showing the earlier timber church in its original location and orientation (highlighted in red oval) at the subject site. Blythe Street had not yet been established (Source: University of Melbourne, 1945 photo-map 849c1b)

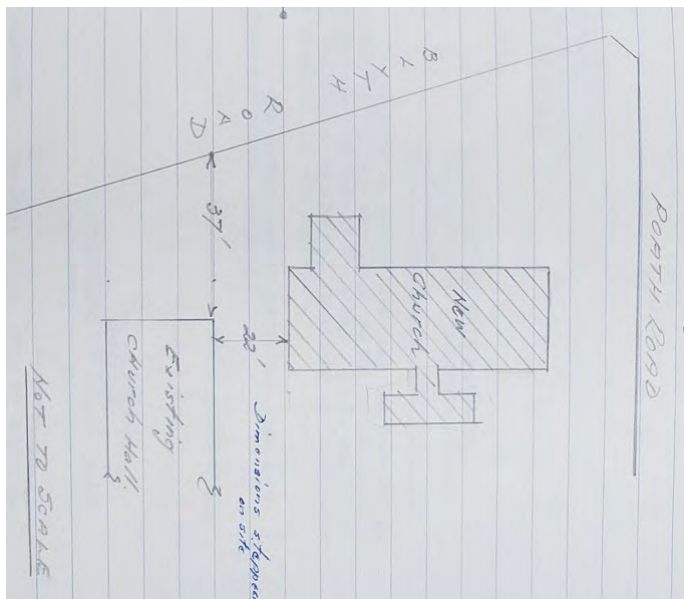


Figure 4. Site plan showing the site of the new church in relation to the relocated timber building (“Existing Church Hall”), 1960 (Source: PROV, PB file)

The existing cream brick Holy Nativity Anglican Church (in the locality of Hughesdale at the time of construction) was designed by architect Keith Reid with consulting engineers JL & EM Daly. It was constructed in 1960-61 by builders A L Ackland & Co (*Age*, 11 Mar 1961:59; PROV, PB file). A foundation stone was laid by the Lord Archbishop of Melbourne on 19 November 1960.

Drawings by architect Keith Reid dated 1959 (Figure 5 - Figure 7) show the face-brick structure with a steel-framed roof clad with terracotta tiles and a ventilating ridge, wide eaves, an entrance porch and linked vestry rooms off the south elevation. Annotations to the drawings provide detail on the spire clad with copper sheeting, aluminium covers to the exterior engaged “columns” on the side elevations, walls of reversible sash windows and fixed glass windows to the side elevations, panelled entrance doors flanked by fixed glazing with adjustable louvres to the top (all of which remain in 2026), the bell and frame at the peak of the west elevation, and decorative cross details (some with glazing to the cross-shaped openings) to the west and east elevations. The drawings show that the toilet block to the southwest of the church was constructed by 1959 (PROV, PB file). The copper clad spire was built with a light at the top of the cross (Reid 1999:57).

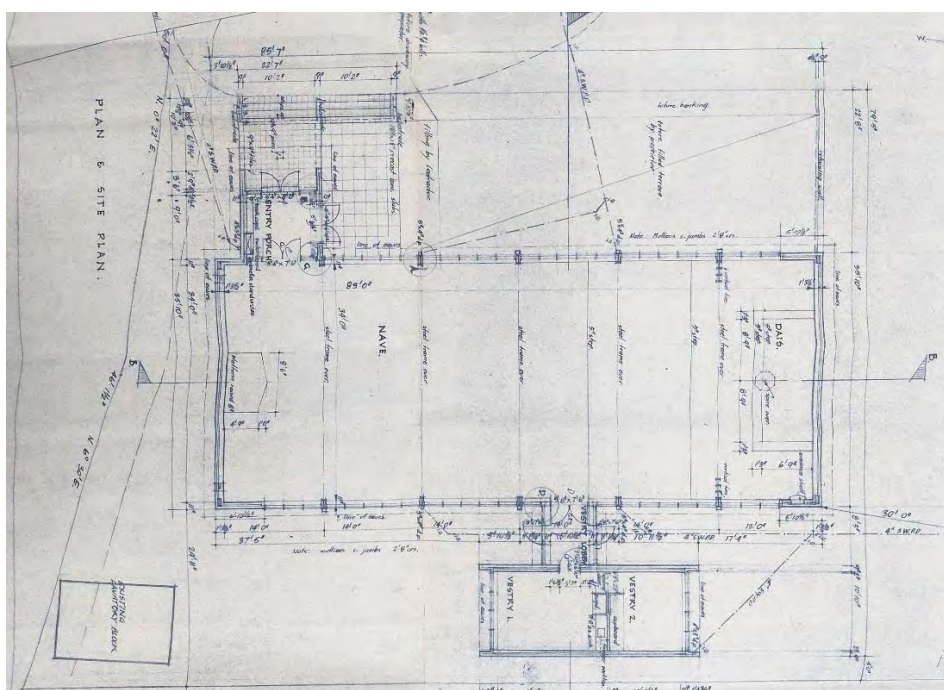


Figure 5. Plan of the church by architect Keith Reid, September 1959 (PROV, PB file)



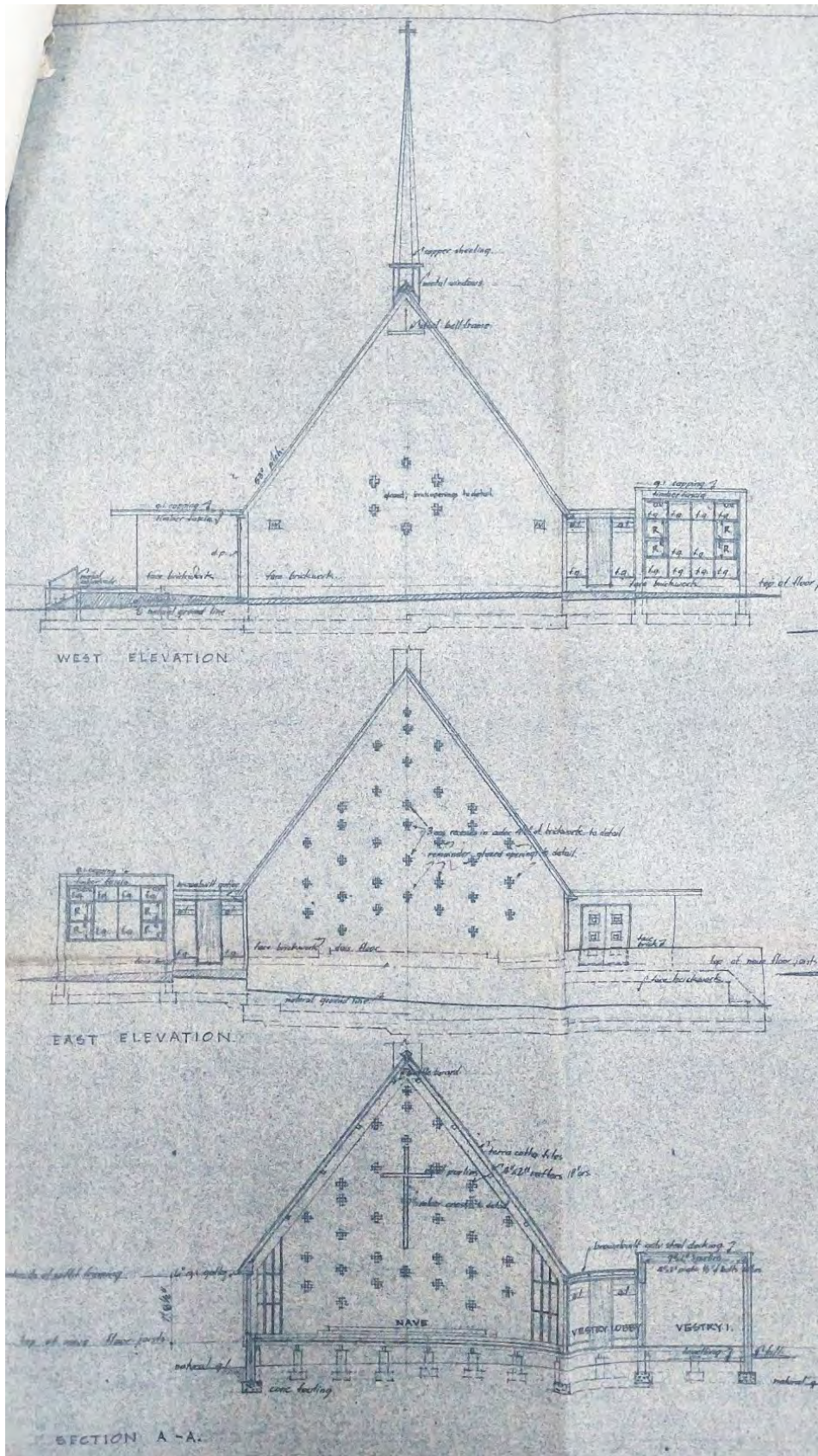
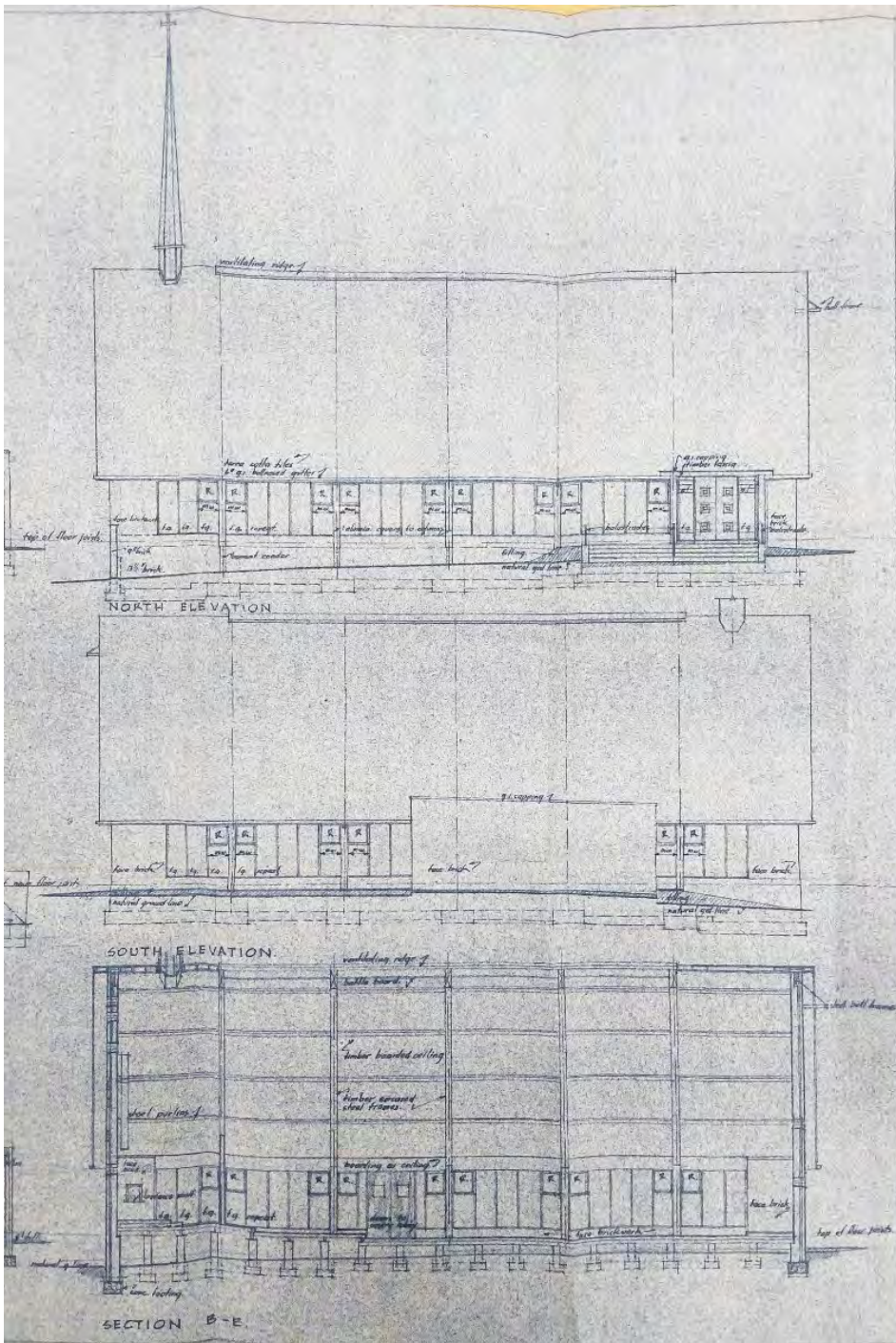


Figure 6. (Top to bottom) West elevation, east elevation and section drawing of the church by Keith Reid, September 1959 (PROV, PB file)

Figure 7. (Top to bottom) North elevation, south elevation and section drawing of the brick church, by architect Keith Reid, September 1959 (PROV, PB file)



The church was dedicated on Saturday 22 July 1961 by Archbishop Woods. An article published in *The Age* in 1961 (21 Jul 1961:14) reported that at the dedication “a stone from the Church of the Holy Nativity, Bethlehem, one of Christendom’s oldest churches, has been incorporated in the building of the new Church of the Holy Nativity, Hughesdale,” the stone placed in the west wall of the church, behind the font (Rowland 1974:10).

Following the construction of the new church, the earlier timber building served as a parish hall (Rowland 1974:10). In c1963, a lot to the south of the church was purchased to establish a vicarage, which was constructed by Pacemaker Homes in 1967 and occupied from December 1967 (Rowland 1974:10-11; Reid 1999:58, 68). The carport and screen extending between the house and church vestries was constructed in 1968 (PP). The house remains at 255 Poath Road and no longer appears to serve as a vicarage.

The church held its final service and was deconsecrated on Christmas Eve 2023, with parishioners now attending St Peter's Anglican Church at 371 Neerim Road, Carnegie (St Peter's). The timber church hall served as a kindergarten from 1991, run by Caulfield City Council (Reid 1999:86) and continues to serve as a kindergarten at 1A Blythe Street in 2026.

Keith Reid, architect

Keith Reid (1906-1999) was a prominent Melbourne architect who practised in the interwar and postwar periods. He completed his education at Swinburne Technical College and the University of Melbourne Architectural Atelier (Built Heritage, Dictionary of Unsung Architects). Over his career his work encompassed a range of projects, however he specialised in ecclesiastical design. Coleman & Coleman (1996:58-9) outline his career as follows:

For 50 years Keith Reid designed a large number of predominantly Presbyterian churches, halls and manses in Victoria from the 1940s to the 1980s.

From 1933 to 1939 he practised with John A. Pearson, before practising alone from 1939 to 1948, except for the interruption of the Second World War. From 1941-43 he worked for the Commonwealth Department of Munitions and from 1943-45 served in the Army Engineers. K. Murray Forster became a partner in 1949-51, in 1967 Keith's son John joined his father as a partner, and in 1978 his son Graham, thus forming the practice Reid Partnership Pty Ltd. Keith Reid retired from full-time practice in 1983. His work included numerous country churches as well as those in the Melbourne Metropolitan area.

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

8 Building community life

- 8.1 Maintaining spiritual life

Description

The Former Holy Nativity Anglican Church is located on the west side of Poath Road, north of the main intersection of Poath Road and North Road, and is located at the south corner of Blythe Street. Situated to the south of the allotment, the church occupies a large portion of the site and is set amongst grassed areas and various plantings. Street boundaries are unfenced and a concrete driveway provides vehicle access to the church entrance via Blythe Street. A small brick amenities building is located at the south-west corner of the site.

Of a simple rectangular form with a steep, tile-clad gabled roof with low eaves to the north and south elevations, the orange-coloured brick church building is orientated perpendicular to Poath Road and presents as a steep gable end to the main road. This east gable end is simply decorated with a series of small crosses recessed into the brickwork (infilled with glazing), forming a random but symmetrical pattern. A tall and narrow fleche-like copper-clad spire, crowned with a small cross, rises above the ridgeline, set back from the east gable end. The gable end to the west displays similar brick cross patterning with central recessed crosses surrounded by raised brick crosses. The deep entry porch, which projects from the west end of the north elevation, is of simple cuboid form with a flat roof and pairs of doors to the north and east faces and is accessed via a wide set of concrete stairs. A similar cuboid form, with glazed walls to the east and west, is located to the south of the church, linked to the main building via a glazed section containing door openings. Glazed walls with coloured glass line the remainder of the north and south elevations.

Key Features

- Postwar Modernist style church

- Orange-coloured brick church building with a dominant, steeply pitched, tile-clad gabled roof with low eaves to the north and south elevations
- Simple rectangular form presenting a steep gable end to the main frontage
- Tall and narrow fleche-like copper-clad spire, crowned with a small cross, above the east end of the ridge line
- Restrained decorative detailing including recessed and raised brick cross motifs to east and west elevations
- Simple cuboid forms with flat roofs to north and south
- Glazed walls, including half-height walls with coloured glass to north and south elevations.



Figure 8. Aerial photograph of the subject site at 253 Poath Road (indicated in red), December 2025. Adjacent to the west is the former timber hall at 1A Blythe Street and south is the former vicarage at 255 Poath Road, both formerly associated with the church (outside of the subject site) (Source: Nearmap)



Figure 9. West elevation of the church, 253 Poath Road, Murrumbena (Source: GJM Heritage, August 2025)



Figure 10. North elevation of the church, 253 Poath Road, Murrumbeena (Source: GJM Heritage, August 2025)

Intactness/Integrity

The former Holy Nativity Anglican Church at 253 Poath Road, Murrumbeena remains highly intact to its 1960-61 construction, in fabric, form and detail. The place retains a high degree of integrity as a Postwar Modernist church.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

In response to substantial residential growth in the municipality of Glen Eira in the twentieth century, and particularly in the interwar and postwar periods in the central and southern suburbs of the municipality, including the suburbs of Carnegie and Murrumbeena, a significant number of churches were established, replaced or expanded to service the rapidly growing population. This included new churches for Catholic, Presbyterian, Methodist, Anglican and Church of Christ congregations.

Churches constructed in the postwar period were often designed in the Modernist idiom, sometimes retaining traditional elements, such as gable-roof forms and rectangular plans, towers and simplified historicist details, or adopting a more progressive design approach, particularly from the early 1960s in response to liturgical changes which shifted from traditional, hierarchical worship to more active community participation. Postwar Modernist architecture of the 1950s and 1960s combined bold geometric forms, metal spires, generous windows, coloured glass and simplified ornamentation. As defined by Robin Grow (2021:15-6), Modernism “emphasized function, simplicity and rationality, utilised new materials such as steel, concrete and glass, and in an architectural context, was characterised by clean lines, simple geometric shapes, pure cubic forms, ribbon windows, flat roofs, and functional, flexible interior open spaces with plain exposed structures.”

A number of postwar churches are located in the City of Glen Eira and a smaller number of these are included, or are recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme. These include:

St Margaret's Presbyterian Church, 106 Hotham Street, St Kilda East, 1953-54 (HO229)



Figure 11. 106 Hotham Street, St Kilda East (Source: VHD)

St Paul's Church and school, 122 Jasper Road, Bentleigh, 1960-61 (HO120)



Figure 12. 122 Jasper Road, Bentleigh (Source: Google Street View)

Church of Christ, 4 Gilbert Grove, Bentleigh, 1949 (part of HO69)



Figure 13. 4 Gilbert Grove, Bentleigh (Source: Google Street View)



St John's Anglican Church, 624 Centre Road, Bentleigh East, 1960-62 (HO223)



Figure 14. 624 Centre Road, Bentleigh East (Source: VHD)

St Patrick's Catholic Church, 234 Murrumbeena Road, Murrumbeena, 1963 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 15. 234 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, Murrumbeena and Carnegie (part) Heritage Review, 2026)

Like the Former Holy Nativity Anglican Church, Murrumbeena, the above churches were constructed in the Postwar Modernist style and exhibit a range of characteristics of this style including bold forms (like St John's Anglican Church, Bentleigh East and St Patrick's Catholic Church, Murrumbeena), simplified ornament to the exterior wall planes (like St Margaret's Presbyterian Church, St Kilda East; St Paul's Church, Bentleigh; St John's Anglican Church, Bentleigh; and St Patrick's Catholic Church, Murrumbeena) and spans of glazing (like St Margaret's Presbyterian Church, St Kilda East; St John's Anglican Church, Bentleigh East; and St Patrick's Catholic Church, Murrumbeena). The above examples demonstrate the diversity of Modernist expression during the postwar period.

Like the examples above, the Former Holy Nativity Anglican Church retains a high degree of integrity to its period of construction and remains highly intact to demonstrate a range of characteristics of a Postwar Modernist church.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The Former Holy Nativity Anglican Church, Murrumbeena has strong associations with the postwar development phase of the central and southern portions of the municipality, when the residential subdivision of this part of the municipality was largely completed and the built environment and social and economic character of the area established. Churches continued to be constructed, replaced or expanded to service the spiritual needs of the expanding population in the postwar period. The Former Holy Nativity Anglican Church, Murrumbeena remains

highly intact to its 1960-61 construction, to clearly demonstrate postwar development in the City of Glen Eira and the importance of religious institutions to the population at the time.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Former Holy Nativity Anglican Church, Murrumbeena is a fine and highly intact representative example of a Postwar Modernist style church. The church displays principal characteristics of this style, including bold geometric forms, generous glazing including in the form of half-height coloured glass walls, and simplified ornament to the exterior.

Criterion E: Importance in exhibiting particular aesthetic characteristics.

The Former Holy Nativity Anglican Church, Murrumbeena is a well-considered and finely executed example of a Postwar Modernist church. Designed by renowned ecclesiastical architect Keith Reid, the refined detailing – including the dominant, steeply-pitched tile-clad gabled roof with low eaves to the north and south elevations, below which are glazed walls with coloured glass, a fleche-like copper-clad spire crowned with a small cross to the ridgeline, restrained decorative detailing including recessed and raised brick cross motifs to the east and west elevations, and the simple cuboid forms with flat roofs to the entrance porch and vestries – presents a highly resolved architectural expression of this architectural style.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No



Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 16 below.



Figure 16. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Built Heritage, Dictionary of Unsung Architects, “Keith Reid (1906-1999),” <https://www.builtheritage.com.au/dua_reid.html>, accessed Dec 2025.

Coleman, Ian & Roslyn Coleman, *Twentieth Century Churches in Victoria*, 1996.

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Permit plans (PP) provided by Glen Eira City Council.

Public Record Office Victoria (PROV), Public Building (PB) File, “Church of Holy Nativity, Poath Road and Blythe Street, Hughesdale”, VPRS 8771/P1/459 Unit 2846.

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Rowland, E Carr, *The Story of Holy Nativity Church Hughesdale*. Hughesdale, Victoria, 1974.

St Peter's Murrumbeena, 'Events' <<https://stpetersmurrumbeena.org/activities>>, accessed 1 December 2025.

The Age.

University of Melbourne, 1945 photo-map 849c1b.

Former Holy Nativity Anglican Church, 253 Poath Road, Murrumbeena Statement of Significance

Heritage Place: Former Holy Nativity Anglican Church, 253 Poath Road, Murrumbeena	PS ref no: HOXX
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What is significant?

The Former Holy Nativity Anglican Church at 253 Poath Road, Murrumbeena, constructed in 1960-61.

Elements that contribute to the significance of the place include:

- Postwar Modernist style church
- Orange-coloured brick church building with a dominant, steeply pitched, tile-clad gabled roof with low eaves to the north and south elevations
- Simple rectangular form presenting a steep gable end to the main frontage
- Tall and narrow fleche-like copper-clad spire, crowned with a small cross, above the east end of the ridgeline
- Restrained decorative detailing including recessed and raised brick cross motifs to east and west elevations
- Simple cuboid forms with flat roofs to north and south
- Glazed walls, including half-height walls with coloured glass to north and south elevations.

Features that do not contribute to the significance of this place include non-original additions to the church and the brick amenities building at the south-west corner of the site.

How is it significant?

The Former Holy Nativity Anglican Church at 253 Poath Road, Murrumbeena, is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Former Holy Nativity Anglican Church, Murrumbeena has strong associations with the postwar development phase of the central and southern portions of the municipality, when the residential subdivision of this part of the

municipality was largely completed and the built environment and social and economic character of the area established. Churches continued to be constructed, replaced or expanded to service the spiritual needs of the expanding population in the postwar period. The Former Holy Nativity Anglican Church, Murrumbeena remains highly intact to its 1960-61 construction, to clearly demonstrate postwar development in the City of Glen Eira and the importance of religious institutions to the population at the time. (Criterion A)

The Former Holy Nativity Anglican Church, Murrumbeena is a fine and highly intact representative example of a Postwar Modernist style church. The church displays principal characteristics of this style, including bold geometric forms, generous glazing including in the form of half-height coloured glass walls, and simplified ornament to the exterior. (Criterion D)

The Former Holy Nativity Anglican Church, Murrumbeena is a well-considered and finely executed example of a Postwar Modernist church. Designed by renowned ecclesiastical architect Keith Reid, the refined detailing – including the dominant, steeply-pitched tile-clad gabled roof with low eaves to the north and south elevations, below which are glazed walls with coloured glass, a fleche-like copper-clad spire crowned with a small cross to the ridgeline, restrained decorative detailing including recessed and raised brick cross motifs to the east and west elevations, and the simple cuboid forms with flat roofs to the entrance porch and vestries – presents a highly resolved architectural expression of this architectural style. (Criterion E)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'GNORTSMRA', 4 SYDNEY STREET, MURRUMBEENA



Figure 1. 4 Sydney Street, Murrumbeena (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: c1888	Builder: The Premier Permanent Building Land and Investment Association
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 4 Sydney Street, Murrumbeena was constructed c1888, as one of a row of four weatherboard houses each with five rooms (at nos. 4-10 Sydney Street), built for The Premier Permanent Building Land and Investment Association (the Association) (RB). The subject site was part of Lot 91 and a small part of lot 90 fronting Hobart Street within the Murrumbeena Reserve Estate which was subdivided c1887 (Figure 2).



Figure 2. Auction notice for Murrumbeena Reserve, dated c1887. The subject site is indicated in red (Source: SLV ID 998299273607636)

The Association purchased Lots 91, 92 and 93 of the estate (with a 180ft/54.9m frontage to Sydney Street) in February 1888 (LV:V1986/F020). By October 1888 the lots were subdivided into four smaller residential allotments, forming the current 4-10 Sydney Street. The Association retained ownership and let the houses to tenants (LV:V1994/F663; RB).

The Association was a prominent building society active during Melbourne's land boom of the 1880s. In December 1889 mismanagement allegations were made against the directors, and charges for fraudulent activities resulted in court proceedings in 1890 (*Argus* 21 Dec 1889; 18 Jun 1890:9). The Association went into liquidation in 1890 (*Argus*, 29 May 1890:6).

The property at 4 Sydney Street was sold to William J Armstrong, clerk, in July 1901, who occupied the house (LV:V2082/F201). The house was named 'Gnortsmra' ('Armstrong' backwards), as annotated on the 1918 Melbourne and Metropolitan Board of Works (MMBW) plan (Figure 3), which shows the early extent of the timber house with outbuildings to the rear (since removed).

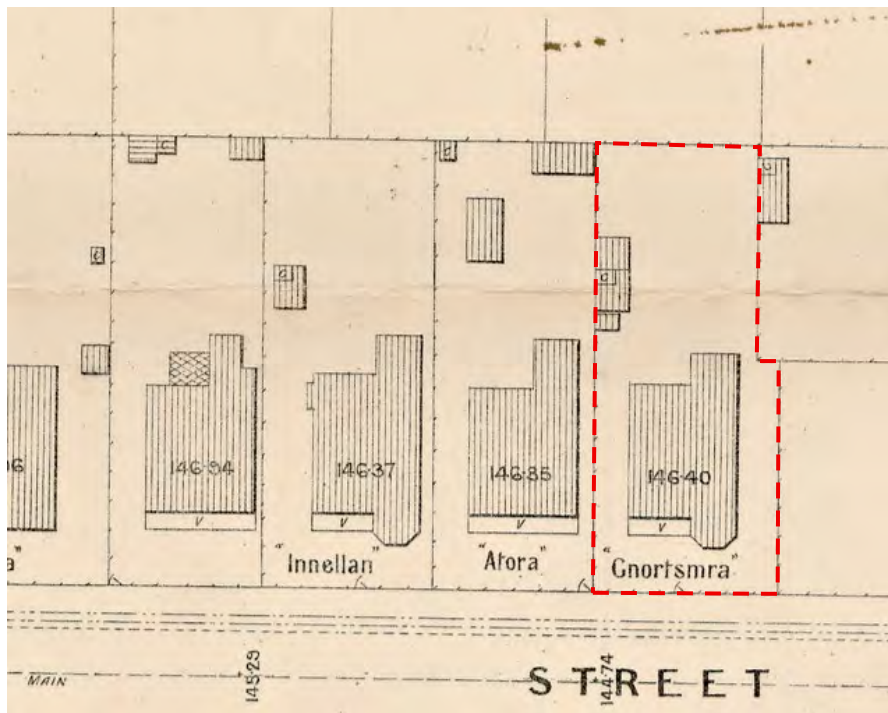


Figure 3. MMBW Detail Plan No 2562 showing the footprint of the house at 4 Sydney Street, 1918 (in red). To the west (left) are footprints of the other three houses built as a row of four by the Premier Permanent Building Land and Investment Association (Source: SLV)

Armstrong retained ownership of the property until 1922, after which the new owner officially consolidated the western portion of Lot 90 (current 45 Hobart Street) with 4 Sydney Street (LV: V2082/F201; V4641/F184). The extent of the house is shown in a 1945 aerial photograph and a later 1969 aerial photograph (Figure 4 & Figure 5).

Major additions to the rear (north) elevation of the house were constructed c2011, replacing earlier additions (PP). During this period, the metal cladding to the main roof form was replaced and the verandah was reconstructed in a similar form to the original (decorative frieze and brackets are not original) (Google Street View, imagery dated 2009, 2013).



Figure 4. Aerial photograph dated 1945, showing the row of four Victorian M-hipped roof buildings; the subject site indicated (Source: Landata Victoria)



Figure 5. Aerial photograph dated 1969, showing the row of four Victorian M-hipped roof buildings; the subject site indicated (Source: Landata Victoria)



The houses at 6 and 10 Sydney Street have been demolished and replaced. The house at 8 Sydney Street has been subject to unsympathetic alterations including the replacement of front windows with wider format windows.

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians

Description

The house at 4 Sydney Street is located on the north side of Sydney Street, south-east of the main intersection of Dandenong Road and Murrumbeena Road and north of the Murrumbeena Railway Station. The rectangular lot is accessed via a driveway at the western end of the street boundary. The house has a small garden setback from the front boundary.

The single-storey house is constructed of timber with a block-fronted principal elevation and hipped corrugated sheet metal-clad roof. The principal elevation is asymmetrical with a projecting hipped-roof bay, containing three timber-framed sash windows with moulded architraves, at the east end of the principal elevation. One rendered brick chimney is located behind the front ridgeline. Below the eaves are pairs of repeating decorative timber brackets alternating with raised diamond motifs and rectangular panels. A later hipped-roof verandah (similar in form to the original verandah and decorated with non-original frieze and brackets) extends across the principal elevation,

westward from the projecting front bay. The front entrance with sidelights and highlight is centrally placed, flanked by the bay and a pair of timber-framed sash windows with moulded architraves.

A large addition is located to the north (rear) of the house and a later picket fence, with vehicular gates to the west and central pedestrian gate, extends across the front boundary.

Key Features:

- Single-storey timber house in the Italianate style of the late Victorian period
- Block-fronted timber principal elevation
- Corrugated sheet metal-clad hipped roof
- Asymmetrical front elevation with projecting hipped-roof polygonal side bay
- Detailing including paired decorative timber eaves brackets alternating with raised diamond motifs and rectangular panels
- Timber-framed sash windows, with moulded architraves
- Front entrance door with sidelights and highlight
- One rendered brick chimney behind the front ridgeline.



Figure 6. Aerial photograph of the subject site, Dec 2025 (Source: Nearmap)





Figure 7. 4 Sydney Street, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 4 Sydney Street, Murrumbeena remains substantially intact to its period of construction. Despite single-storey rear additions and a replacement front verandah, the place retains a high degree of integrity as a modestly-scaled, late Victorian residence constructed in the Italianate style.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – were the first to undergo residential development, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. Residential development of the central suburbs – including Murrumbeena, Carnegie and Caulfield South – occurred later than in the north of the municipality, and share a similar developmental history. The southern portion of the municipality, south of North Road – including McKinnon, Bentleigh and Bentleigh East – previously formed part of the municipality of Moorabbin, and retained a predominantly agricultural character into the early twentieth century, before undergoing major residential development in the interwar and postwar periods.

In the central and southern portions of the municipality, nineteenth century residential development was tentative and housing was generally limited to a number of speculative subdivisions, commonly located in the vicinity of transport routes.

Several examples of Victorian-era dwellings from the central and southern portions of the municipality are comparable to 4 Sydney Street, Murrumbeena and are included – or have been recommended for inclusion – in the Heritage Overlay of the Glen Eira Planning Scheme. They include:

22 Brady Road, Bentleigh East, 1889 (HO97)



Figure 8. 22 Brady Road, Bentleigh East (Source: VHD)

9 Vickery Street, Bentleigh, 1895 (HO142)



Figure 9. 9 Vickery Street, Bentleigh (Source: Realestate.com.au, image dated 2026)

19 Leopold Street, Caulfield South, 1890
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 10. 19 Leopold Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)

2 Glen Orme Avenue, McKinnon, 1887
(recommended for inclusion in the HO, Glen Eira
Planning Scheme)



Figure 11. 2 Glen Orme Avenue, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

40 Wheatley Road, McKinnon, 1892 (recommended for inclusion in the HO, Glen Eira Planning Scheme)



Figure 12. 40 Wheatley Road, McKinnon (Source: GJM Heritage, McKinnon Heritage Review, 2023)

Like the house at 4 Sydney Street, Murrumbeena, the above houses were constructed in what is now the City of Glen Eira in the late nineteenth century. Constructed in timber, these houses exhibit a range of characteristics representative of modestly-scaled housing of the late Victorian period, including single-storey hipped roof forms, timber block fronted principal elevations (with the exception of 2 Glen Orme Avenue), decorative front verandahs, bracketed eaves, and decorative brick chimneys. Like the above examples, 4 Sydney Street, Murrumbeena retains a high degree of integrity to its period of construction and remains substantially intact to demonstrate a range of the principal characteristics of late Victorian residential architecture.

Similar to the Victorian houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 4 Sydney Street, Murrumbeena clearly illustrates an important and early phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

‘Gnortsmra’ at 4 Sydney Street, Murrumbeena has strong associations with the early development of Murrumbeena, when land was first subdivided and sold for residential development in the late nineteenth century. It is one of a small number of substantially intact houses remaining in the suburb to clearly demonstrate this early phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Gnortsmra’ at 4 Sydney Street, Murrumbeena is a fine and substantially intact representative example of a late Victorian villa. It displays characteristics illustrative of the Italianate style of the late Victorian period, including a block-fronted timber principal elevation, corrugated sheet metal-clad hipped roof, paired eaves brackets alternating with raised diamond motifs and rectangular panels, prominent polygonal bay forming an asymmetrical front elevation, timber-framed sash windows with moulded architraves, front verandah with decorative ironwork and a rendered brick chimney.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 13 below.



Figure 13. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Google Street View.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works Detail Plan No 2562, dated 1918.

Nearmap ©.

Permit plans (PP), provided by Glen Eira City Council.

Rate Books (RB), Shire/Town/City of Caulfield, Eastern Riding/Ward: 1888-89, entry 2594; 1897-98, entry 3710; 1901-02, entry 3711.

State Library of Victoria (SLV), images as cited.

The Argus.

'Gnortsmra', 4 Sydney Street, Murrumbeena Statement of Significance

Heritage Place: 'Gnortsmra', 4 Sydney Street, Murrumbeena

PS ref no: HOXX



What is significant?

'Gnortsmra' at 4 Sydney Street, Murrumbeena, constructed c1888.

Elements that contribute to the significance of the place include:

- Single-storey timber house in the Italianate style of the late Victorian period
- Block-fronted timber principal elevation
- Corrugated sheet metal-clad hipped roof
- Asymmetrical front elevation with projecting hipped-roof polygonal side bay
- Detailing including paired decorative timber eaves brackets alternating with raised diamond motifs and rectangular panels
- Timber-framed sash windows, with moulded architraves
- Front entrance door with sidelights and highlight
- One rendered brick chimney behind the front ridgeline.

Features that do not contribute to the significance of this place include non-original additions to the north (rear) of the house and the later timber fence to the street frontage. The front verandah is not original but has been replicated in a manner close to the original and is stylistically appropriate.

How is it significant?

'Gnortsmra' at 4 Sydney Street, Murrumbeena is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Gnortsmra' at 4 Sydney Street, Murrumbeena has strong associations with the early development of Murrumbeena, when land was first subdivided and sold for residential development in the late nineteenth century. It is one of a small number of substantially intact houses remaining in the suburb to clearly demonstrate this early phase of development in the City of Glen Eira. (Criterion A)

'Gnortsmra' at 4 Sydney Street, Murrumbeena is a fine and substantially intact representative example of a late Victorian villa. It displays characteristics illustrative of the Italianate style of the late Victorian period, including a block-fronted timber principal elevation, corrugated sheet metal-clad hipped roof, paired eaves brackets alternating with raised diamond motifs and rectangular panels, prominent polygonal bay forming an asymmetrical front elevation, timber-framed sash windows with moulded architraves, front verandah with decorative ironwork and a rendered brick chimney. (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

'BRAEMAR', 29 WEEROONA ROAD, MURRUMBEENA



Figure 1. 29 Weeroona Road, Braemar (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential	Architect: Not known
Construction Date: c1926	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: To the extent of the property boundary

Place History

The house at 29 Weeroona Road, Murrumbreena was built c1926 as a brick house with six rooms for Mrs Margaret Atkinson (RB).

Mary G Wilson, married woman of Weeroona Road, Murrumbreena, owned just under 8¾ acres (3.5ha) on the east side of Hobart Road from March 1910. Wilson subdivided her holdings to create residential lots fronting Weeroona, Wahroonga and Hobart roads, which sold from 1910 (LV:V3406/F094). Lots 8 and 10 (the current 31 and 29 Weeroona Road respectively) were sold to Edward H Hatfield, inspector, of Canterbury in December 1917, and then on-sold to Henry Griffith, farmer, in May 1918 (LV:V4088/F561).

In c1925 the two lots were subdivided and individually on-sold (LV:V4088/F561). Lot 10 (the current 29 Weeroona Road) was officially sold to Margaret Atkinson, widow of the late Rev. J C Atkinson, in February 1926 (LV:V5114/F768; Age, 1 May 1939:1).

The municipal rate books are not clear regarding the build date of the house at the subject site (Lot 10) and the owner at the time. The rate books suggest that a house was built at the subject site between 1925 and 1927, possibly by John G Burke and F R Burke, builders of Dandenong Road, Carnegie (it is noted this ownership is not reflected in the titles). In December 1927 the rate books recorded a brick house with six rooms at 29 Weeroona Road (Lot 10), with Margaret Atkinson as the owner and occupant (RB).

House plans and elevation drawings (permit plans submitted to Council; possibly date to 1925) show the design and plan of the “proposed villa” for Mrs Atkinson at Lot 10, Weeroona Road. The drawings show the principal elevation comprising the central flat-roofed porch, the entrance steps and pergola to the south, the three gable-ends presenting to the street, and the large gable-ends to the side elevations (PP). A drainage plan for the subject site dated March 1926 (Figure 2) shows a footprint of the house and a garage (remains in 2025) at the property (SEW). The footprint of the house remains the same in 2025.

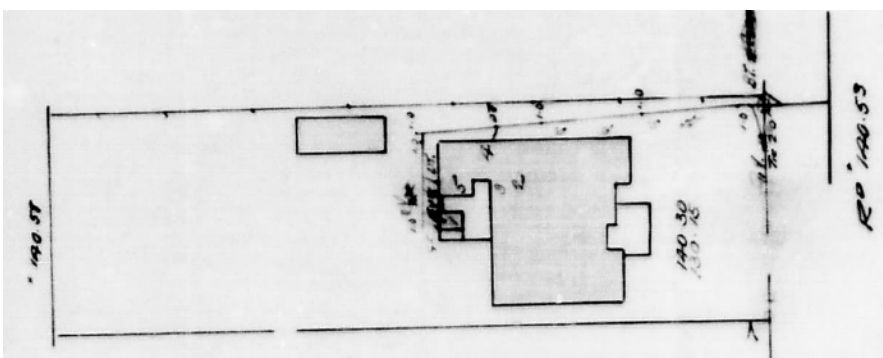


Figure 2. Drainage plan of the subject site dated March 1926, showing a footprint of the house and outbuildings, annotated with sewerage works (Source: SEW, Drainage Plan No. 152079)

The brick fence to the street boundary with pedestrian and vehicular gates, the garage, and the palm tree to the front garden, likely date to the same period of construction as the house. An aerial photograph dated 1945 (Figure 3) shows the garage and a mature tree in the location of the present palm tree.

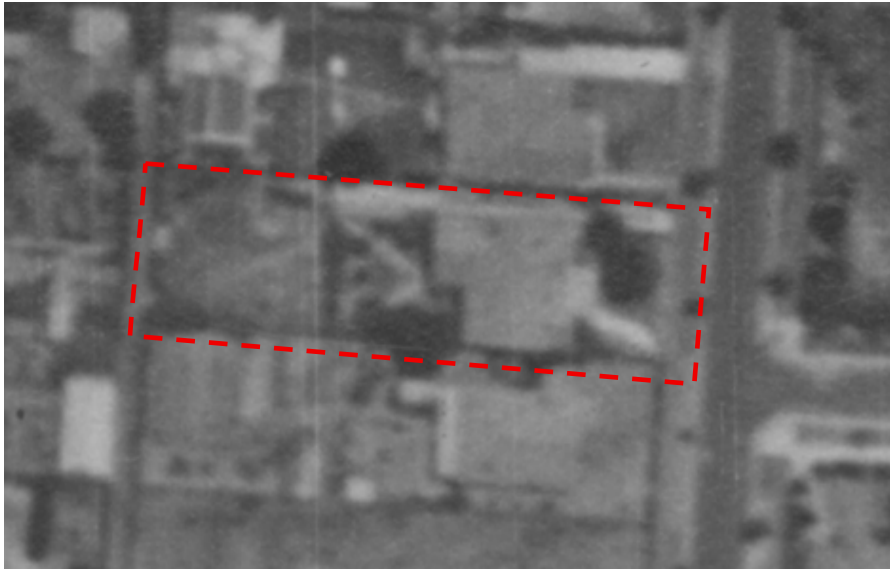


Figure 3. Aerial photograph showing the subject site, 1945 (Source: Landata Victoria)

Following Atkinson’s death in 1939 the property passed to her daughter Margaret M Hurley, married woman of Wahroonga Avenue [sic], Murrumbeena (PROV, Atkinson). The property remained in the Hurley family until 1969 and had various subsequent owners (LV:V5114/F768). An aerial photograph dating to 1969 shows the extent of the house and the outbuildings and palm tree present (Figure 4).

In 1969 the property was advertised for sale, described as a “substantial, wide-fronted solid brick residence” with a tiled roof, seven rooms, large front porch and a garage (*Age*, 22 Feb 1969:27).

A name plate located underneath the entrance porch in 2025 reads “Braemar” (no historical reference was found referring to this name).



Figure 4. Aerial photograph showing the subject site, 1969 (Source: Landata Victoria)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

6 Building towns, cities and the garden state

- 6.3 Shaping the suburbs

- 6.7 Making homes for Victorians

Description

29 Weeroona Road, Murrumbeena is located on the west side of Weeroona Road, south-east of the main intersection of Dandenong and Murrumbeena roads. The rectangular site is accessed via a driveway at the northern end of the street boundary. The house has a deep garden setback from the front boundary which contains a mature Canary Island Palm (*Phoenix canariensis*).

The single-storey house is constructed of brick, set on a deep offset brick base, with broad transverse gable roof, three projecting front gabled bays and one rear gabled bay. Roofs are tile-clad with overhanging gable ends supported on exposed purlins, with four red brick chimneys crowned with soldier courses located either side of the main transverse ridgeline. Bracketed gable ends, with exposed rafters, are clad with timber shingles and contain central ventilated openings. Front gables are arranged asymmetrically with two projecting gabled bays to the north and one to the south, either side of a deep central flat-roofed porch which projects beyond the gabled bays. The porch is supported on brick piers with a solid brick balustrade and timber shingle-clad arches above. Brick piers with balustrading continue to the south, supporting a timber pergola-like frame. A semicircular arched window is set into the projecting bay at the north end of the principal elevation; other windows include both single and sets of timber-framed sash windows. Contrasting clinker bricks are used to highlight elements including corners, windows, piers and chimneys.

A garage, with a corrugated sheet metal-clad gable roof, is located at the northern boundary to the rear of the house. A low brick fence, with simple recessed brick walls set between concrete capped piers with contrasting brick highlights extends across the front boundary. Low wrought iron vehicular and pedestrian gates, of asymmetrical design, are located at either end of the boundary fence.

Key features:

- Substantial single-storey Interwar Bungalow
- Red brick construction with deep offset brick base and contrasting clinker brick highlights to corners, windows, piers and chimneys
- Broad, tile-clad, transverse gabled roof with gabled bays to front and rear and gable ends supported on exposed purlins and with exposed rafter ends
- Timber shingles with central ventilated openings to bracketed gable ends
- Four red brick chimneys, crowned with soldier courses, either side of the main transverse ridgeline
- Asymmetrical placement of front gabled bays with a deep central flat-roofed porch supported on brick piers, with a solid brick balustrade and timber shingle-clad arches above
- Semicircular arched window and sets of timber-framed sash windows
- Garage with corrugated sheet metal-clad gable roof
- Low brick fence to front boundary, with simple recessed brick walls set between concrete capped piers with contrasting brickwork and wrought iron vehicular and pedestrian gates at either end of the front fence
- Mature Canary Island Palm (*Phoenix canariensis*) to front garden.



Figure 5. Aerial photograph of the subject site, December 2025 (Source: Nearmap)



Figure 6. 29 Weeroona Road, Murrumbena (Source: GJM Heritage, September 2025)



Figure 7. 29 Weeroona Road, Murrumbena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The house at 29 Weeroona Road, Murrumbeena remains highly intact to its period of construction, and retains a high degree of integrity as a bungalow constructed in the interwar period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Arts and Crafts styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included, or recommended for inclusion, in the Heritage Overlay of the Glen Eira Planning Scheme, as represented in the Beauville Estate (HO12) by AV Jennings and the Ardyne Estate, both in Murrumbeena. It is noted that these are generally more modestly-scaled bungalow forms, although some more substantial residences are included within the precincts. It is further noted that buildings in heritage precincts in Glen Eira are only graded ‘Contributory’ and ‘Not Contributory’; individual buildings have not been identified as ‘Significant’ or considered as to whether they potentially meet the local threshold in their own right.

Those places comparable to 29 Weeroona Road, Murrumbeena within the central and southern portions of the municipality and which are included in the Heritage Overlay of the Glen Eira Planning Scheme include:

118 Jasper Road, Bentleigh, 1926 (HO119)



Figure 8. 118 Jasper Road, Bentleigh (Source: VHD)

4 Wahroonga Crescent, Murrumbena, 1916 (HO143). Historically associated with locally significant family of artists, the Boyds.



Figure 9. 4 Wahroonga Crescent, Murrumbena (Source: VHD)

10 Rose Street, Bentleigh (part of HO168, Rose Hill Estate Precinct)



Figure 10. 10 Rose Street, Bentleigh (Source: Google Street View)

8 Rose Street, Bentleigh (part of HO168, Rose Hill Estate Precinct)



Figure 11. 8 Rose Street, Bentleigh (Source: Realestate.com.au)

411 North Road, Caulfield South (part of HO75, Ormond and Environs Precinct)



Figure 12. 411 North Road, Caulfield South (Source: Realestate.com.au)

6 Rose Street, Bentleigh (part of HO168, Rose Hill Estate Precinct)



Figure 13. 6 Rose Street, Bentleigh (Source: RBA Architects and Conservation Consultants, Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential), 2019)

14 Cairnes Grove, Bentleigh (part of HO69, Bentleigh Residential Precinct)



Figure 14. 14 Cairnes Grove, Bentleigh (Source: Realestate.com.au)

15 Sunnyside Grove, Bentleigh (part of HO69, Bentleigh Residential Precinct)



Figure 15. 15 Sunnyside Grove, Bentleigh (Source: Google Street View)

Like 29 Weeroona Road, Murrumbeena the above houses are bungalows constructed in the interwar period. Constructed of brick with tiled roofs, these houses exhibit a range of characteristics representative of the Interwar Bungalow typology, including an asymmetrical front elevation, broad transverse gabled roof, gabled bays to the front and rear, overhanging gable ends supported on exposed purlins, bracketed gable ends with timber shingles and gable ventilators, tall chimneys, and a verandah or porch with a brick balustrade. Like the above examples, 29 Weeroona Road, Murrumbeena retains a high degree of integrity to its period of construction and remains highly intact to demonstrate a range of characteristics of an Interwar Bungalow.

Similar to the Interwar Bungalow houses included in the Heritage Overlay of the Glen Eira Planning Scheme, 29 Weeroona Road, Murrumbeena remains highly intact to clearly illustrate an important phase in the historical development in the central and southern part of the City of Glen Eira.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

‘Braemar’ at 29 Weeroona Road, Murrumbeena has strong associations with the extensive interwar development phase of the suburb of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The house at 29 Weeroona Road, Murrumbeena remains highly intact to clearly demonstrate this major phase of development in the central and southern portions of the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

‘Braemar’ at 29 Weeroona Road, Murrumbeena is a fine and highly intact representative example of an Interwar Bungalow. It displays principal characteristics of this style, including a broad, transverse tile-clad gabled roof with gabled bays to the front and rear; asymmetrical principal elevation; brick construction with a deep offset brick base and contrasting clinker brick highlights; red brick chimneys crowned with soldier courses; overhanging and bracketed gable ends supported on exposed purlins, with exposed rafter ends, timber shingles and central ventilated openings; deep central flat-roofed porch supported on brick piers with a solid brick balustrade below timber shingle-clad arches; a semicircular arched window; and timber-framed sash windows. A garage to the rear of the house was constructed at the same time as the bungalow. A low brick fence to the street boundary, with wrought iron vehicular and pedestrian gates, matches the materials and details of the house and a mature Canary Island Palm (*Phoenix canariensis*) in the front garden planted contemporaneously with the house’s construction contributes to the setting of the bungalow.

Grading and Recommendations

It is recommended that the place be included in the Heritage Overlay of the Glen Eira Planning Scheme as a locally significant heritage place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	Yes - Mature Canary Island Palm (<i>Phoenix canariensis</i>)
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	Yes - garage and front fence
Prohibited uses permitted?	No
Aboriginal heritage place?	No

Extent of the Recommended Heritage Overlay

To the extent of the property boundary, as shown in Figure 16 below.



Figure 16. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Permit plans (PP) provided by Glen Eira City Council.

Public Record Office Victoria (PROV), Margaret Atkinson will and probate documents, VPRS 7591/P0002, 306/241, dated 1939.

Rate Books (RB), City of Caulfield, East Ward: 1924-25, entries 5437-38; 1925-26, entry 5761; [1926-27 entry not found for subject site]; 1927-28, entry 6192.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

The Age.

'Braemar', 29 Weeroona Road, Murrumbeena Statement of Significance

Heritage Place: 'Braemar', 29 Weeroona Road, Murrumbeena	PS ref no: HOXX
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What is significant?

'Braemar' at 29 Weeroona Road, Murrumbeena, constructed in c1926.

Elements that contribute to the significance of the place include:

- Substantial single-storey Interwar Bungalow
- Red brick construction with deep offset brick base and contrasting clinker brick highlights to corners, windows, piers and chimneys
- Broad, tile-clad, transverse gabled roof with gabled bays to front and rear and gable ends supported on exposed purlins and with exposed rafter ends
- Timber shingles with central ventilated openings to bracketed gable ends
- Four red brick chimneys, crowned with soldier courses, either side of the main transverse ridgeline
- Asymmetrical placement of front gabled bays with a deep central flat-roofed porch supported on brick piers, with a solid brick balustrade and timber shingle-clad arches above
- Semicircular arched window and sets of timber-framed sash windows
- Garage with corrugated sheet metal-clad gable roof
- Low brick fence to front boundary, with simple recessed brick walls set between concrete capped piers with contrasting brickwork and wrought iron vehicular and pedestrian gates at either end of the front fence
- Mature Canary Island Palm (*Phoenix canariensis*) to front garden.

How is it significant?

'Braemar' at 29 Weeroona Road, Murrumbeena, is of local historical and representative significance to the City of Glen Eira.

Why is it significant?

'Braemar' at 29 Weeroona Road, Murrumbeena has strong associations with the extensive interwar development phase of the suburb of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. The house at 29 Weeroona Road, Murrumbeena remains highly intact to clearly demonstrate this major phase of development in the central and southern portions of the City of Glen Eira. (Criterion A)

'Braemar' at 29 Weeroona Road, Murrumbeena is a fine and highly intact representative example of an Interwar Bungalow. It displays principal characteristics of this style, including a broad, transverse tile-clad gabled roof with gabled bays to the front and rear; asymmetrical principal elevation; brick construction with a deep offset brick base and contrasting clinker brick highlights; red brick chimneys crowned with soldier courses; overhanging and bracketed gable ends supported on exposed purlins, with exposed rafter ends, timber shingles and central ventilated openings; deep central flat-roofed porch supported on brick piers with a solid brick balustrade below timber shingle-clad arches; a semicircular arched window; and timber-framed sash windows. A garage to the rear of the house was constructed at the same time as the bungalow. A low brick fence to the street boundary, with wrought iron vehicular and pedestrian gates, matches the materials and details of the house and a mature Canary Island Palm (*Phoenix canariensis*) in the front garden planted contemporaneously with the house's construction contributes to the setting of the bungalow. (Criterion D)

Primary source

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

KOORNANG ROAD PRECINCT, CARNEGIE



Figure 1. Examples of houses in the Koornang Road Precinct, Carnegie (L-R, starting top left: 322-24; 326-28; 320; and 315 & 313 Koornang Road) (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential Precinct	Architect/Designer: Charles H Young
Construction Date: 1937-38	Builder: Charles H Young
Recommendation: Include in the Heritage Overlay	Extent of Overlay: See Figure 34

Precinct History

The houses at 301-303A and 309-319 on the west side of Koornang Road, and at 314-332 on the east side of Koornang Road, Carnegie were constructed by local builder Charles Hector Young in 1937-38 (RB).

Land on the west side of Koornang Road, between Oakleigh and Leila roads, underwent residential subdivision in 1920 (Figure 2). Vincent E Stokes, Brighton manufacturer, subdivided five acres (2ha) on the southwest corner of Koornang and Oakleigh roads, creating lots fronting Koornang Road and Rigby Avenue which were on-sold the same year (LV:V1796/F142).

The land on the east side of Koornang Road, also between Oakleigh and Leila roads, underwent residential subdivision in the mid-1920s. In October 1924, Elizabeth J Lauritz, married woman of Albert Park subdivided just under seven acres (2.8ha) of this land and established Grandview Grove (LV:V4872/F293). A majority of the lots were sold in one transaction in May 1925 to Alfred Sallman and Frederick Sallmann, gentlemen of Malvern and East Malvern respectively. Lots were individually on-sold from 1926 (Figure 3) (LV:V4990/F805).

An aerial photograph dated 1931 shows the lots within the precinct as vacant land, with the exception of an earlier house at the current 307 Koornang Road (Figure 4).

Charles Hector Young, a Carnegie builder, individually purchased Lots 3 to 8 (current nos. 314-332) on the east side of Koornang Road in 1937 (LV: various; RB). The rate books indicate Young constructed the row of five pairs of “flats” in 1937 and 1938. In December 1938, each dwelling was recorded as a brick house with five rooms, each with a new owner. Young occupied the southern-most dwelling (no. 332; then addressed as no. 310) (RB).

Young also individually purchased five incontiguous lots on the west side of Koornang Road in February and June 1937, comprising the current nos. 301-301A (Lot 5), 303-303A (Lot 6), 309-311 (Lot 9), 313-315 (Lot 10) and 317-319 (Lot 11) Koornang Road. He constructed five pairs of brick “flats”, each with five rooms, in 1937, which he immediately on-sold (LV: various; RB).

A 1945 aerial photograph shows the recently constructed houses, each with a garage and front fence (Figure 5). The houses were constructed with combinations of clinker and textured brick and render finish, and alternate between hipped and gabled versions, each pair a variation of Young’s distinctive materials and style. The fences were designed with vehicular entrance piers that stepped in, creating a small semi-circular garden bed (remains intact at some properties).

Young is also known to have also constructed the three pairs of houses at 1-4/40-42 and 44-44A Woorack Road in 1939 (RB; LV: various). It is likely that the two pairs of brick houses built in 1940 at 15-15A and 17-17A Woorack Road are also examples of Charles Young’s work (RB). The group along Koornang Road is the largest known and most intact example of Young’s semi-detached houses in the study area.

Research has not been able to confirm further details of Charles H Young’s career or work. He was a local builder, addressed to Caulfield in the 1920s (Electoral Roll), 11 Edgewood Street, Carnegie in 1937 and 310 (current 332) Koornang Road, Carnegie following its construction, until his death in 1944 (*Argus*, 21 Nov 1940:12; PROV probate). He is also known to have constructed “Glen Eagles,” “Kinross” and “Kinfauns” flats at 58, 59 & 60 Queens Road, Melbourne (1940-41; HO512, Port Phillip) (RBA 2021:10).

Known alterations include additions to the rear of 301, 301A, 303, 303A, 311, 313, 315, 320, 324 and 332, Koornang Road. Some windows to principal elevations have been replaced. A number of roofs have been reclad with tiles, and some front fences have been replaced or the stepped entrances removed in part.

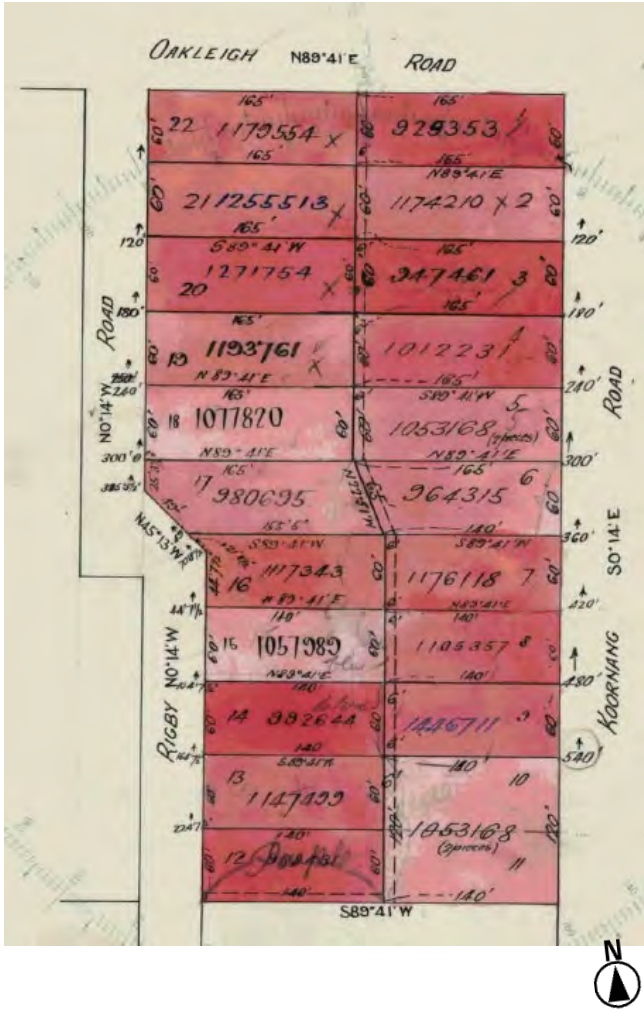


Figure 2. The 1920 subdivision plan of the west side of Koorng Road, between Oakleigh and Leila roads (Source: LP 7544, LV:V1796/F142)



Figure 3. The 1925 subdivision plan of the east side of Koorng Road, between Oakleigh and Leila roads (Source: LP 10141, LV:V4990/F805)



Figure 4. A 1931 aerial photograph, the approximate precinct boundary indicated in red. Evident within the boundary is an earlier house at the current 307 Koorng Road (Source: Landata Victoria)





Figure 5. A 1945 aerial photograph, showing Young's developments along Koornang Road, the approximate precinct boundary indicated in red. Also evident within the boundary is the earlier house at 307 Koornang Road below a vacant lot at 305 Koornang Road (Source: Landata Victoria)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians

Description

The Koornang Road Precinct is located to the north-east of the main intersection of North Road and Grange Road, Carnegie. It comprises five pairs of semi-detached houses on the west side of Koornang Road (nos. 301, 301A, 303, 303A, 309 to 319; nos. 305 and 307 are non-contributory) and an offset group of five pairs of semi-detached houses on the east side of Koornang Road (nos. 314 to 332). Situated on rectangular sites, the pairs of houses are accessed by driveways to the north and south and are setback behind front gardens.

Drawing on the Interwar English Domestic Revival style, the pairs of single-storey, interwar semi-detached houses are similar in form but differ in detailing. Constructed in red brick, with clinker brick or rendered principal elevations and glazed tile-clad roofs, each pair has a transverse hipped roof, projecting hipped or gabled bays to the north and

south ends of the principal elevation, a central shared chimney - some with a projecting chimney breast - and side entries. The principal elevations are mirrored about the centre with projecting bays containing variously detailed timber-framed paired or tripartite windows, some with decorative leadlight glazing. Principal elevations are variously decorated using roughcast render and a variety of contrasting bricks – textured, slim and multi-coloured clinker – set in decorative arrangements including basketweave patterns, corbelling and soldier courses to windows, corners, chimneys, chimney breasts and front gable ends.

Additions have been made to a number of the houses including the rear of 301, 301A, 303, 303A, 311, 313, 315, 320, 324 and 332 Koornang Road, and a number of roofs have been reclad with tiles. Some windows to principal elevations have been replaced. No. 301A Koornang Road has been rendered.

Low brick fences line the street boundaries of many of the pairs of houses, including all properties on the east side of Koornang Road (Nos. 314-332) and others on the west side (Nos. 301, 309-319). These original fences vary in design, incorporating rendered brickwork and a variety of bricks set in decorative arrangements. Original low brick fences line the front side boundaries between some of the properties.

Key Features:

- Ten pairs of single-storey semi-detached houses of the interwar period, designed in the English Domestic Revival style
- Red brick construction, with clinker brick or rendered principal elevations and glazed tile-clad roofs
- Transverse hipped roof forms with projecting hipped or gabled bays to the north and south ends of the principal elevation
- Central shared chimneys, some with projecting chimney breasts
- Side entries
- Symmetrical principal elevations about the centre
- Variously decorated principal elevations using roughcast render and a variety of contrasting brickwork, including textured bricks, slim bricks and multi-coloured clinker bricks
- Decorative brick detailing to windows, corners, chimneys, chimney breasts and front gable ends, including basketweave patterns, corbelling and soldier courses
- Timber-framed paired or tripartite windows
- Decorative leadlight glazing
- Consistent front setbacks
- Original low brick fences at the street boundaries, of various design and incorporating rendered brickwork and a variety of bricks set in decorative arrangements. Original low brick fences are present at front side boundaries between some of the properties.



Figure 6. Aerial photograph of the subject properties, February 2026 (Source: Nearmap)



Figure 7. 314 Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 8. 316 Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 9. 318 Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 10. 320 Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 11. 330 Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 12. 332 Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 13. 301A (L) and 301 (R) Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 14. 303A (L) and 303 (R) Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 15. 311 (L) and 309 (R) Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 16. 315 (L) and 313 (R) Koornang Road, Carnegie (Source: GJM Heritage, September 2025)



Figure 17. 319 (L; partly visible) and 317 (R) Koornang Road, Carnegie (Source: GJM Heritage, September 2025)

Intactness/Integrity

The Koornang Road Precinct remains highly intact to its period of construction and retains a high degree of integrity to the interwar period in fabric, form and detail. Some residences have undergone minor alterations including the replacement of windows to principal elevations, some have more substantial rear additions, and some roofs have been reclad with tiles. The dwelling at 301A Koornang Road has been rendered. These changes do not diminish the ability to understand and appreciate the precinct as a whole as a finely detailed and picturesque precinct of English Domestic Revival style houses dating from the interwar period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Interwar Moderne styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included in the Heritage Overlay of the Glen Eira Planning Scheme.

The Koornang Road Precinct is of note as a highly intact and cohesive group of semi-detached residences developed over a two-year period by the one developer – local builder Charles H Young. The houses display characteristics of the Interwar English Domestic Revival style and exhibit a high degree of consistency of scale, materiality and detailing.

There are two interwar residential precincts comprising semi-detached dwellings displaying characteristics of the English Domestic Revival style, and which are recommended for inclusion in the Heritage Overlay of the Glen Eira Planning Scheme. These are the ‘Birch and Beech Streets Residential Precinct’, Caulfield South and the ‘Glen Huntly Tudor-Moderne Precinct’, as illustrated below:

Birch and Beech Streets Residential Precinct, Caulfield South, c1941 (recommended for inclusion in the HO of the Glen Eira Planning Scheme):



Figure 18. 5 & 6 Birch Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)



Figure 19. 23 & 21 Beech Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)



Figure 20. 19 & 17 Beech Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)



Figure 21. 1 & 2 Birch Street, Caulfield South (Source: GJM Heritage, Caulfield South & Gardenvale Heritage Review Volume Two, 2024)

Glen Huntly Tudor-Moderne Precinct, Glen Huntly, 1934-42 (recommended for inclusion in the HO, Glen Eira Planning Scheme):



Figure 22. 24-26 Augusta Street, Glen Huntly (Source: RBA, Glen Eira Heritage Review of Caulfield East & Glen Huntly, 2023)

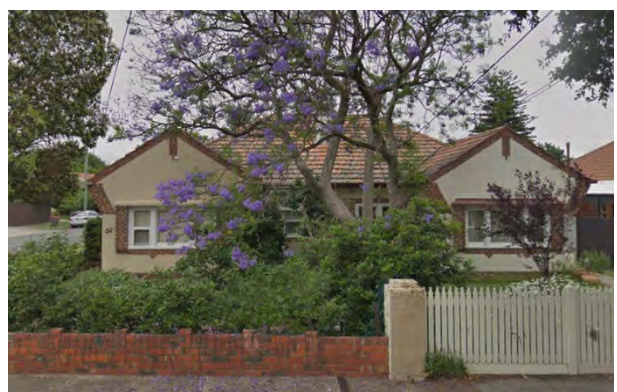


Figure 23. 32-34 Augusta Street, Glen Huntly (Source: RBA, Glen Eira Heritage Review of Caulfield East & Glen Huntly, 2023)



Figure 24. 36-38 Augusta Street, Glen Huntly (Source: Google Street View)



Figure 25. 16-18 Augusta Street, Glen Huntly (Source: Google Street View)

Interwar residential precincts which comprise houses that display characteristics of the English Domestic Revival style, and are included in the Heritage Overlay of the Glen Eira Planning Scheme, include:

Beauville Estate and Environs Precinct, Murrumbeena, 1934-1936 (HO12):



Figure 26. 3 Gloucester Court, Murrumbeena (Source: GJM Heritage, 2025)



Figure 27. 34 Beauville Avenue, Murrumbeena (Source: GJM Heritage, 2025)



Figure 28. 11 Dalny Road, Murrumbeena (Source: GJM Heritage, 2025)



Figure 29. 33 Beauville, Murrumbeena (Source: GJM Heritage, 2025)

Bentleigh Residential Precinct, Bentleigh, interwar and early postwar (HO69):



Figure 30. 32 Gilbert Grove, Bentleigh (Source: RBA, *Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential)*, 2019)



Figure 31. 39 Campbell Street, Bentleigh (Source: Google Street View)

Bentleigh Heights Estate, Bentleigh, 1939-1942 (HO169):



Figure 32. 27 The Highway, Bentleigh (Source: Google Street View)



Figure 33. 31 The Highway, Bentleigh (Source: Google Street View)

The above examples all contain streets of intact houses dating to the interwar period, illustrating the significant suburban development at that time, particularly in the central and southern parts of the City of Glen Eira. Houses within these precincts display characteristics illustrative of the interwar period including features of the English Domestic Revival style.

Like the Koornang Road Precinct, the Birch and Beech Streets Residential Precinct and Glen Huntly Tudor-Moderne Precinct comprise a concentration or contiguous rows of semi-detached houses displaying characteristics of the Interwar English Domestic Revival style. The resulting interwar streetscapes in these precincts display a high degree of integrity and are highly consistent in scale, materiality and detailing and have a distinctive architectural character.

The Koornang Road Precinct is comparable in architectural quality and consistency to these precincts already included, and recommended for inclusion, in the Heritage Overlay.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The Koornang Road Precinct has strong associations with the major interwar development phase of the suburb of Carnegie, when the suburb continued to transform from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, large tracts of land in Carnegie were subdivided into suburban allotments and were purchased for the construction of middle-class housing. As a highly intact precinct of semi-detached houses constructed in the interwar period, the Koornang Road Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Koornang Road Precinct is a cohesive and highly intact collection of interwar semi-detached houses. The ten (10) pairs of single-storey houses display principal characteristics of the English Domestic Revival style of the interwar period, including red brick construction with principal elevations of clinker brick or render, glazed tile-clad hipped and gabled roof forms, projecting chimney breasts, paired or tripartite timber-framed windows with leadlight glazing, decorative details using a variety of textured, slim and multi-coloured clinker bricks, and low brick and rendered brick fences at the street and some side front boundaries. The Koornang Road Precinct remains as a highly intact and consistent group of semi-detached houses in the English Domestic Revival style of the interwar period.

Criterion E: Importance in exhibition particular aesthetic characteristics

The Koornang Road Precinct is of aesthetic significance as an architecturally cohesive and well-resolved group of single-storey, semi-detached houses drawing on the English Domestic Revival style of the interwar period. Throughout the precinct, the consistent symmetrical principal elevations with mirrored hipped or gabled projecting bays, front and side setbacks, glazed tile-clad roofs, central shared chimney, application of brick detailing set in decorative arrangements (including basketweave patterns, corbelling and soldier courses), and low brick and rendered brick front and front side fences, presents a picturesque and unified streetscape. Designed and constructed by local builder Charles H Young, the precinct demonstrates a high degree of consistency in scale, materiality and detailing and has a distinctive architectural character.

Grading and Recommendations

It is recommended that the Koornang Road Precinct be included in the Heritage Overlay of the Glen Eira Planning Scheme. Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme are as follows:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	Yes - original brick fences
Prohibited uses permitted?	No
Aboriginal heritage place?	No

The gradings of individual properties within the precinct are as follows:

Gradings

<i>Number</i>	<i>Address</i>	<i>Grade</i>
<i>ODD</i>		
301	<i>Koornang Road</i>	<i>Contributory</i>
301A	<i>Koornang Road</i>	<i>Contributory</i>
303	<i>Koornang Road</i>	<i>Contributory</i>
303A	<i>Koornang Road</i>	<i>Contributory</i>
305	<i>Koornang Road</i>	<i>Non-contributory</i>
1/307	<i>Koornang Road</i>	<i>Non-contributory</i>
2/307	<i>Koornang Road</i>	<i>Non-contributory</i>
309	<i>Koornang Road</i>	<i>Contributory</i>
311	<i>Koornang Road</i>	<i>Contributory</i>
313	<i>Koornang Road</i>	<i>Contributory</i>
315	<i>Koornang Road</i>	<i>Contributory</i>
317	<i>Koornang Road</i>	<i>Contributory</i>
319	<i>Koornang Road</i>	<i>Contributory</i>
<i>EVEN</i>		
314-316	<i>Koornang Road</i>	<i>Contributory</i>
318	<i>Koornang Road</i>	<i>Contributory</i>
320	<i>Koornang Road</i>	<i>Contributory</i>
322	<i>Koornang Road</i>	<i>Contributory</i>
324	<i>Koornang Road</i>	<i>Contributory</i>
326	<i>Koornang Road</i>	<i>Contributory</i>
328	<i>Koornang Road</i>	<i>Contributory</i>
330	<i>Koornang Road</i>	<i>Contributory</i>
332	<i>Koornang Road</i>	<i>Contributory</i>

West side of Koornang Road: V1796/F142, V4760/F827, V4371/F173, V5642/F220, V4830/F904, V4830/F905.

Woorack Road: V3550/F927, V4192/F259, V6314/F682, V4049/F652, V4662/F394.

Nearmap ©.

Public Records Office Victoria (PROV), Probate for Charles H Young, VPRS 28/P2 & P3, 361/849.

Rate Books (RB), City of Caulfield, East Ward:

Koornang Road, east side: 1936-37, entries 4379-4384; 1937-38, entries 4413-4422; 1938-39, entries 4447-4456.

Koornang Road, west side: 1936-37, entries 4306-4312; 1937-38, entries 4334-4345.

Woorack Road, north side: 1938-39, entries 5475-5477; 1939-40, entries 5502-5507.

Woorack Road, south side: 1938-39, entries 5448-5451; 1939-40, entries 5472-5476.

RBA Architects & Conservation Consultants, *Amendment C161port Expert Witness Statement – Heritage, Panel Hearing Glen Eagles, Kinross and Kinfauns - 58-60 Queens Road, Melbourne, January 2021*, <<https://www.portphillip.vic.gov.au/media/ukfaizcp/a-hemingway-expert-witness-statment-58-60-queens-road-melbourne.pdf>>, accessed January 2025.

The Argus.

Koornang Road Precinct, Carnegie Statement of Significance

Heritage Place: Koornang Road Precinct, 301-319 (odd nos.) & 314-332 (even nos.) Koornang Road, Carnegie	PS ref no: HOXX
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Figure 1. Examples of houses in the Koornang Road Precinct, Carnegie (L-R, starting top left: 322-24; 326-28; 320; and 315 & 313 Koornang Road) (GJM Heritage, September 2025)

What is significant?

The Koornang Road Precinct at 301-319 (odd nos.) & 314-332 (even nos.) Koornang Road, Carnegie, constructed in 1937-38.

Elements that contribute to the significance of the precinct include:

- Ten pairs of single-storey semi-detached houses of the interwar period, designed in the English Domestic Revival style
- Red brick construction, with clinker brick or rendered principal elevations and glazed tile-clad roofs
- Transverse hipped roof forms with projecting hipped or gabled bays to the north and south ends of the principal elevation
- Central shared chimneys, some with projecting chimney breasts
- Side entries
- Symmetrical principal elevations about the centre
- Various decorated principal elevations using roughcast render and a variety of contrasting brickwork, including textured bricks, slim bricks and multi-coloured clinker bricks
- Decorative brick detailing to windows, corners, chimneys, chimney breasts and front gable ends, including basketweave patterns, corbelling and soldier courses

- Timber-framed paired or tripartite windows
- Decorative leadlight glazing
- Consistent front setbacks
- Original low brick fences at the street boundaries, of various design and incorporating rendered brickwork and a variety of bricks set in decorative arrangements (nos. 301, 309-319, 314-332). Original low brick fences at front side boundaries between some of the properties.

Properties that do not contribute to the precinct are nos. 305, 1/307 & 2/307 Koornang Road. Features that do not contribute to the significance of the precinct include non-original rear additions and alterations, non-original outbuildings, non-original carports and garages, and later fences.

How is it significant?

The Koornang Road Precinct, Carnegie is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Koornang Road Precinct has strong associations with the major interwar development phase of the suburb of Carnegie, when the suburb continued to transform from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, large tracts of land in Carnegie were subdivided into suburban allotments and were purchased for the construction of middle-class housing. As a highly intact precinct of semi-detached houses constructed in the interwar period, the Koornang Road Precinct clearly illustrates this important phase of development in the City of Glen Eira. (Criterion A)

The Koornang Road Precinct is a cohesive and highly intact collection of interwar semi-detached houses. The ten (10) pairs of single-storey houses display principal characteristics of the English Domestic Revival style of the interwar period, including red brick construction with principal elevations of clinker brick or render, glazed tile-clad hipped and gabled roof forms, projecting chimney breasts, paired or tripartite timber-framed windows with leadlight glazing, decorative details using a variety of textured, slim and multi-coloured clinker bricks, and low brick and rendered brick fences at the street and some side front boundaries. The Koornang Road Precinct remains as a highly intact and consistent group of semi-detached houses in the English Domestic Revival style of the interwar period. (Criterion D)

The Koornang Road Precinct is of aesthetic significance as an architecturally cohesive and well-resolved group of single-storey, semi-detached houses drawing on the English Domestic Revival style of the interwar period. Throughout the precinct, the consistent symmetrical principal elevations with mirrored hipped or gabled projecting bays, front and side setbacks, glazed tile-clad roofs, central shared chimney, application of brick detailing set in decorative arrangements (including basketweave patterns, corbelling and soldier courses), and low brick and rendered brick front and front side fences, presents a picturesque and unified streetscape. Designed and constructed by local builder Charles H Young, the precinct demonstrates a high degree of consistency in scale, materiality and detailing and has a distinctive architectural character. (Criterion E)

Primary sources

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

Gradings

Number	Address	Grade
ODD		
301	<i>Koornang Road</i>	<i>Contributory</i>
301A	<i>Koornang Road</i>	<i>Contributory</i>
303	<i>Koornang Road</i>	<i>Contributory</i>
303A	<i>Koornang Road</i>	<i>Contributory</i>

305	<i>Koornang Road</i>	<i>Non-contributory</i>
1/307	<i>Koornang Road</i>	<i>Non-contributory</i>
2/307	<i>Koornang Road</i>	<i>Non-contributory</i>
309	<i>Koornang Road</i>	<i>Contributory</i>
311	<i>Koornang Road</i>	<i>Contributory</i>
313	<i>Koornang Road</i>	<i>Contributory</i>
315	<i>Koornang Road</i>	<i>Contributory</i>
317	<i>Koornang Road</i>	<i>Contributory</i>
319	<i>Koornang Road</i>	<i>Contributory</i>
EVEN		
314-316	<i>Koornang Road</i>	<i>Contributory</i>
318	<i>Koornang Road</i>	<i>Contributory</i>
320	<i>Koornang Road</i>	<i>Contributory</i>
322	<i>Koornang Road</i>	<i>Contributory</i>
324	<i>Koornang Road</i>	<i>Contributory</i>
326	<i>Koornang Road</i>	<i>Contributory</i>
328	<i>Koornang Road</i>	<i>Contributory</i>
330	<i>Koornang Road</i>	<i>Contributory</i>
332	<i>Koornang Road</i>	<i>Contributory</i>

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

ARDYNE ESTATE PRECINCT, MURRUMBEENA



Figure 1. Examples of houses in the Ardyne Estate Precinct, Murrumbeena (L-R, starting top left: 39 Ardyne Street, 3 Ariadne Avenue, 15 Ariadne Avenue & 138 Murrumbeena Road) (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential Precinct	Architect: Various
Construction Date: c1935-1945	Builder: Various
Recommendation: Include in the Heritage Overlay	Extent of Overlay: See Figure 37

Precinct History

The houses within the Ardyne Estate Precinct were constructed in the interwar period, between c1935 and 1945.

The land on which the estate was established was originally owned by the McLaurin family, who had established ‘Ardyne’ house on the property. The McLaurins were a prominent early pastoralist family in the area who owned approximately 200 acres on the west side of Murrumbeena Road, which comprised ‘Frogmore’ house (formerly at 1 Wahgoo Road, Carnegie) (St Giles 1955:7).

The land on the east side of Murrumbeena Road, extending from Innellan Road to Kangaroo Road and east to the present Ardyne Street, was purchased by the McLaurin family in 1868 (*Argus*, 28 Oct 1935:3). From July 1888, Jane (commonly known as Jean) Ariadne McLaurin (later Thomson) and Mary McGibbon McLaurin, both “of Frogmore, Murrumbeena Road, Caulfield” were the owners of the land, which at this date totalled just under 17 ½ acres (7.1ha). The property was subsequently transferred between various joint proprietors (within the family), and three brick houses were built on the property, including ‘Ardyne’ (shown at Figure 2) (LV:V2043/F547; RB). ‘Ardyne’ house was named after a family farm near Innellan, Scotland (St Giles 1955:7). Following the death of Jane A Thomson in 1932, the property on the east side of Murrumbeena Road was transferred to her husband Dr Matthew Barclay Thomson “of Ardyne” in August 1933 (PROV, J A Thomson probate; LV:V2043/F547; RB). At the bequest of Jean Thomson, the University of Melbourne established ‘The Jane Ariadne McLaurin Thomson & Barclay Thomson Scholarship’ through the Faculty of Medicine, Dentistry and Health Sciences (Uni Melb).

A 1931 aerial photograph shows the property bound by Murrumbeena Road, Innellan Road, the current Ardyne Street and Kangaroo Road, occupied by three large houses at the southern end including ‘Ardyne’. The land was otherwise vacant (Figure 2).

Dr Matthew B Thomson subdivided the land on the east side of Murrumbeena Road in two stages, creating ‘Ardyne Estate’ at the north end in 1935 (Figure 3). Ardyne Estate comprised lots fronting Murrumbeena Road, Ardyne Street, Innellan Road, Ariadne Avenue and Burns Avenue, which were on-sold from November 1935 to February 1941 (LV:V2043/F547).

A 1935 auction notice for the Ardyne Estate advertised the 52 villa sites for sale (Figure 4 - Figure 6). The auction notice noted that the sale was by order of the trustees and executors of the estate of the late Mrs J A Thomson. A notice published in *The Argus* reported that 24 allotments were sold at this first auction, each lot sold with the caveat that brick buildings must be erected (*Argus*, 28 Oct 1935:3).

Lots were acquired by individual owners and developers. For example, houses addressed to 148-152 Murrumbeena Road (likely the current nos. 148, 150 & 158) were advertised for sale in 1937 and 1938 as part of Ardyne Estate, each designed by architect S Nelson and constructed by Master Builder S W Tyers (accompanying photograph at Figure 7) (*Herald*, 13 Nov 1937:37; 8 Jan 1938:35).

The brick houses within the estate were all designed to a similar scale and setback, with low front boundary fences, often with a garage to the rear of the house. An aerial photograph dated 1945 shows the almost complete development of the estate by this date (Figure 8); vacant lots were evident at 16 Innellan Road, 11 Ariadne Avenue and 43 Ardyne Street.

Known alterations include single- and two-storey rear additions, the construction of a small number of carports alongside boundaries, and the replacement of a small number of original fences. Some windows to principal elevations have been replaced. Houses that are highly altered or were constructed outside the period of significance

include 43 Ardyne Street, 11 Ariadne Avenue and 16 Inellan Road. The house at 7 Ariadne Avenue was demolished in 2025.



Figure 2. Aerial photograph dated 1931, showing the approximate precinct area (indicated in red) prior to subdivision of the property. 'Ardyne' house indicated by the arrow (Source: Landata Victoria)

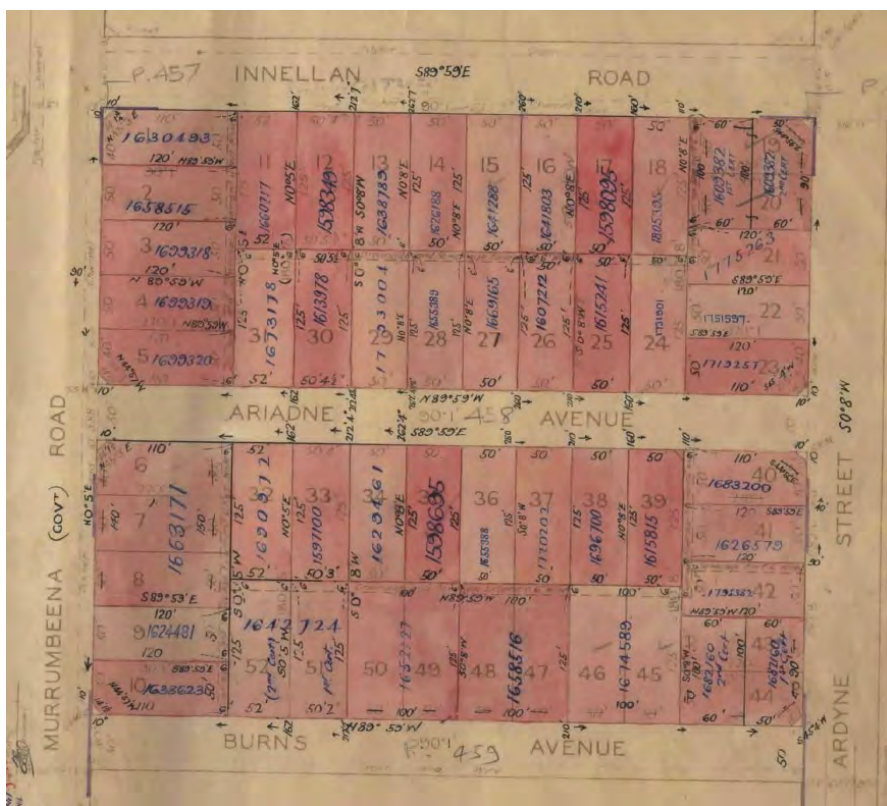



Figure 3. Subdivision plan for 'Ardyne Estate' dated October 1935, under owner Matthew B Thomson (Source: Landata Victoria, LP 13990)



CAULFIELD'S GREATEST LAND SALE
SATURDAY, OCT. 26th, 1935

At 3 p.m. in a Huge Seated Marquee.

ARDYNE ESTATE



MURRUMBEENA
 IN THE CITY OF
CAULFIELD

52 VILLA SITES 52

Figure 4. Auction notice for Ardyne Estate, 1935 (page 1 of 3 of notice) (Source: SLV, ID 9911262053607636)

At 3 o'clock, in a Marquee on the Estate. At 3 o'clock, in a Marquee on the Estate.


SATURDAY, OCTOBER 26th, 1935.

ARDYNE ESTATE - - MURRUMBEENA
 In the City of Caulfield.

By order of THE TRUSTEES' EXECUTORS & AGENCY CO. LTD. of 412 Collins St., Melbourne, & Dr. BARCLAY THOMSON, Executors of the estate of the late MRS. J. A. THOMSON.

52
 IDEAL HOME SITES

3 Minutes Walk of Station and Shops.
 Excellent Electric Train Service.
 23 Minutes to City.



Buses connect this Estate with Beach, Trams, Shops, Station, Schools, Etc.

£20 PER LOT DEPOSIT
 Balance
 20 Equal Quarterly Instalments.
 Int. 4½% Payable Quarterly

Title Certificate

Solicitors for the Estate
 NUNN, SMITH, CROCKER & PURVES
 448 Collins Street, Melbourne.

HAMMAND, OLSEN & CO. Station Buildings, Neerim Road, Murrumbeena. Phone UM 1144
 AND **T. G. NEWTON & CO.,** 19 PORTMAN STREET OAKLEIGH. Phone UM 2235.

Opposite Station 436 Waverley Rd., East Malvern. Phone UY 4270

Auctioneers in Conjunction. STATE LIBRARY OF VICTORIA

820 BJE 18207-
 3082815091784
 MURRUMBEENA (2) 1935

Figure 5. Auction notice for Ardyne Estate, 1935 (page 2 of 3 of notice) (Source: SLV, ID 9911262053607636)

ARDYNE ESTATE MURRUMBEENA

This Magnificent Estate has at last been opened up to the home builder. The rapid strides of development in this favoured suburb have gone North, South, East and West of this estate, and it is now surrounded by some of the best homes.

Murrumbeena is an up-to-date progressive suburb within 8 miles of Melbourne, and has an established Shopping Centre, Schools, Churches, etc. It is within the City of Caulfield, a city claiming the greatest progress for building in the Metropolitan Area. Buildings valued at £459,930 have been built in Caulfield during the current financial year, an increase of £270,961 over the same period last year. In the Caulfield East Ward, comprising Murrumbeena and Carnegie, buildings valued at £182,845 were built during the current financial year, an increase of £107,790 over the same period last year. Be with progress and buy in the Ardyne Estate.



NEW HOMES NEAR ESTATE.

Gas, Water, Telephone, Electric Light & Sewerage all run past the Ardyne Estate.

Remember Date:
SATURDAY,
OCTOBER 26th.
At 3 o'clock.



A VIEW OF THE ESTATE—LOOKING WEST.

Trains will leave Flinders Street on day of Sale as follows:—12.4, 14, 22, 31, 40, 48, 1.0, 15, 35, 58, 2.18, 38, 58.

AUCTIONEERS IN CONJUNCTION.

Hammand, Olsen & Co., Murrumbeena & East Malvern.
T. G. Newton & Co., Oakleigh.

Figure 6. Auction notice for Ardyne Estate, 1935 (page 3 of 3 of notice). Photographs showed the existing development nearby at Beauville Estate (Source: SLV, ID 9911262053607636)

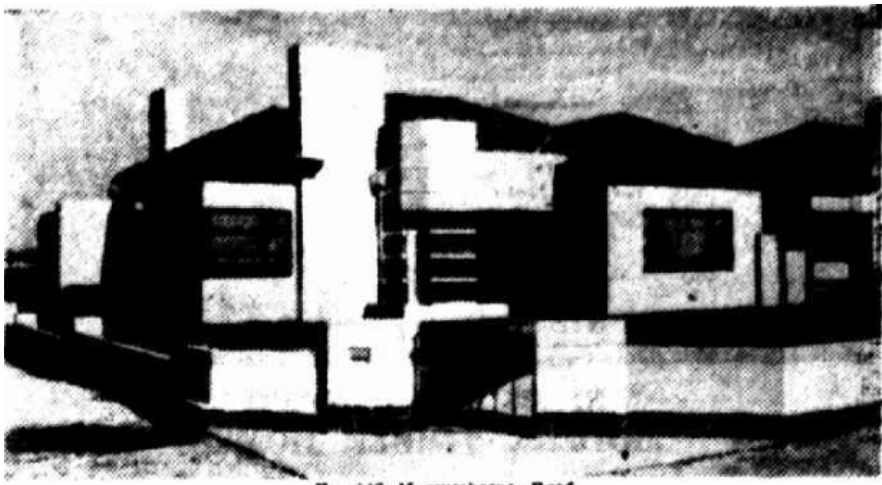


Figure 7. Photograph of 148 Murrumbeena Road, Murrumbeena, published with a 1937 sales advertisement for three houses within the Ardyne Estate (Herald, 13 Nov 1937:37).



Figure 8. Aerial photograph dated 1945, showing the development within the precinct by this date. Vacant lots evident at 16 Innellan Road, 11 Ariadne Road and 43 Ardyne Street are evident. (Source: University of Melbourne, 1945 photo-map 849c1b)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians

Description

The Ardyne Estate Precinct is located on the east side of Murrumbeena Road, to the south of the main intersection of Murrumbeena and Neerim roads and the Murrumbeena Railway Station. It comprises 52 detached houses on the east side of Murrumbeena Road, the south side of Innellan Road, the west side of Ardyne Street, the north side of Burns Avenue and both sides of Ariadne Avenue (43 Ardyne Street, 7 & 11 Ariadne Avenue and 16 Innellan Road are non-contributory). Situated on rectangular sites, the houses are generally accessed by driveways adjacent to a side boundary and are consistently set back behind front gardens.

The interwar houses are similar in scale and display a range of broadly rectangular forms and a variety of detailing which draws on the Interwar English Domestic Revival and the Interwar Moderne styles. Houses are single-storey, of brick construction finished with face brick or render, with tile-clad hipped roofs. Principal elevations are asymmetrical and common features include projecting gabled or hipped bays to the street elevation, prominent entrance porches with a range of forms and opening profiles (including shallow pointed arches and flat-roofed curved porches), tall simply detailed chimneys and chimneys with horizontal banding, vertical layering or brick detailing, prominent chimney breasts, tripartite timber-framed windows, corner windows, decorative lead-light glazing and decorative brick detailing to windows, porch entries, corners and front gable ends, including corbelling and soldier courses.

Alterations include single- and two-storey rear additions and the construction of carports to side elevations. Original low brick front fences, some with roughcast render, line the street boundaries of many of the properties and some wrought iron vehicular gates have been retained.

Key Features:

- Single-storey houses from the interwar period, demonstrating characteristics of the Interwar English Domestic Revival and the Interwar Moderne styles
- Consistent front setbacks
- Brick construction, both face-brick and rendered brickwork
- Tile-clad hipped roof forms
- Asymmetrical principal elevations, with projecting gabled or hipped bays
- Prominent entrance porches with a range of forms and opening profiles, including shallow pointed arches and flat-roofed curved porches
- Tall simply detailed chimneys and chimneys with horizontal banding, vertical layering or brick detailing, and prominent chimney breasts
- Tripartite timber-framed windows and corner windows
- Decorative lead-light glazing
- Decorative brick detailing to windows, porch entries, corners and front gable ends, including corbelling and soldier courses
- Original low brick front fences at the street boundaries, some with roughcast render
- Original wrought iron gates to some properties.



Figure 9. Aerial photograph of the subject properties, February 2026 (Source: Nearmap)



Figure 10. 35 Ardyne Street, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 11. 33 Ardyne Street, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 12. 14 Ariadne Avenue, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 13. 6 Ariadne Avenue, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 14. 1 Burns Avenue, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 15. 7 Burns Avenue, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 16. 9 Burns Avenue, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 17. 2 Innellan Road, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 18. 148 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 19. 158 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 20. Looking east at the south side of Ariadne Avenue from Murrumbeena Road (Source: GJM Heritage, September 2025)

Intactness/Integrity

The Ardyne Estate Precinct remains highly intact to its period of construction and retains a high degree of integrity in fabric, form and detail. Some residences have undergone minor alterations, a small number have more substantial rear additions and some have lightweight carports constructed to the sides. These changes do not diminish the ability to understand and appreciate the place as a finely detailed and cohesive precinct, comprising highly intact streetscapes of interwar residences.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Interwar Moderne styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included in the Heritage Overlay of the Glen Eira Planning Scheme.

The Ardyne Estate Precinct is of note as a highly intact and highly cohesive group of middle-class houses, characteristic of suburban development that occurred in the interwar period. Ardyne Estate was developed over a short period of time and the precinct of single-storey brick houses displays a high degree of consistency of scale, materiality and detailing.

Those interwar residential precincts that are most comparable to the Ardyne Estate Precinct include ‘Beauville Estate Precinct’ (HO12), ‘Albert Flatman’s Estates Precinct’ (HO177), ‘Bentleigh Heights Estate’ (HO169) and ‘Rose Hill Estate Precinct’ (HO168). These precincts contain comparable streets of highly intact single-storey houses dating to the interwar period as illustrated below:

Beauville Estate Precinct, Murrumbeena, 1934-1936 (HO12):



Figure 21. 15 Dalny Road, Murrumbeena (Source: GJM Heritage, August 2025)



Figure 22. 7 Beauville Avenue, Murrumbeena (Source: GJM Heritage, August 2025)



Figure 23. 1 Gloucester Court, Murrumbeena (Source: GJM Heritage, August 2025)



Figure 24. 15 Beauville Avenue, Murrumbeena (Source: GJM Heritage, August 2025)

Albert Flatman's Estates Precinct, Carnegie (HO177):



Figure 25. 63 Shepparson Avenue, Carnegie (Source: Google Street View)



Figure 26. 54 Shepparson Avenue, Carnegie (Source: Google Street View)



Figure 27. 54 Elliott Avenue, Carnegie (Source: Google Street View)



Figure 28. 61 Shepparson Avenue, Carnegie (Source: Google Street View)

Bentleigh Heights Estate, 1939-1942 (HO169):



Figure 29. 27 The Highway, Bentleigh (Source: Google Street View)



Figure 30. 4 The Highway, Bentleigh (Source: Google Street View)



Figure 31. 13 The Highway, Bentleigh, Bentleigh (Source: Google Street View)



Figure 32. 29 The Highway, Bentleigh (Source: Google Street View)

Rose Hill Estate Precinct, Bentleigh (HO168):



Figure 33. 16 Rose Street, Bentleigh (Source: Google Street View)



Figure 34. 259 Centre Road, Bentleigh (Source: Google Street View)



Figure 35. 21 Rose Street, Bentleigh (Source: Google Street View)



Figure 36. 12 Rose Street, Bentleigh (Source: Google Street View)

The above examples all contain streets of highly intact houses dating to the interwar period, which illustrate the significant suburban development at that time, particularly in the central and southern parts of the City of Glen Eira. Houses within these precincts display characteristics illustrative of the interwar period including features of the Interwar English Domestic Revival and the Interwar Moderne styles. The resulting interwar streetscapes in these precincts display a high degree of integrity, are highly consistent in scale, materiality and detailing and have a distinctive architectural character.

The Ardyne Estate Precinct is comparable in architectural quality and consistency to these precincts already included in the Heritage Overlay.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The Ardyne Estate Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses constructed in the interwar period, the Ardyne Estate Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Ardyne Estate Precinct is a cohesive and highly intact collection of interwar houses. The single-storey houses display the principal characteristics of the Interwar English Domestic Revival and Interwar Moderne styles, including brick construction finished with face brick or render, tile-clad hipped roof forms, asymmetrical forms with a projecting gabled or hipped bay, prominent entrance porches of varying forms, chimneys with simple or more elaborate detailing, tripartite timber-framed window sets, corner windows, decorative lead-light glazing, decorative brick detailing, and low brick fences with a face brick or render finish. The Ardyne Estate Precinct remains as a highly intact and consistent group of houses in the English Domestic Revival and Interwar Moderne styles of the interwar period.

Criterion E: Importance in exhibition particular aesthetic characteristics

The Ardyne Estate Precinct is of aesthetic significance as a highly unified group of single-storey houses drawing on the English Domestic Revival and Moderne architectural styles of the interwar period. The highly consistent forms, setbacks and materials – in conjunction with garden settings behind original low brick boundary fences – presents as picturesque and cohesive streetscapes with a distinctive architectural character.

Grading and Recommendations

It is recommended that the Ardyne Estate Precinct be included in the Heritage Overlay of the Glen Eira Planning Scheme. Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme are as follows:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	Yes – original front brick fences
Prohibited uses permitted?	No
Aboriginal heritage place?	No

The gradings of individual properties within the precinct are as follows:

Gradings

Number	Address	Grade
33	Ardyne Street	Contributory
35	Ardyne Street	Contributory
37	Ardyne Street	Contributory
39	Ardyne Street	Contributory
41	Ardyne Street	Contributory
43	Ardyne Street	Non-contributory
1	Ariadne Avenue	Contributory
2	Ariadne Avenue	Contributory
3	Ariadne Avenue	Contributory
4	Ariadne Avenue	Contributory
5	Ariadne Avenue	Contributory
6	Ariadne Avenue	Contributory
7	Ariadne Avenue	Non-contributory
8	Ariadne Avenue	Contributory
9	Ariadne Avenue	Contributory
10	Ariadne Avenue	Contributory

<i>Number</i>	<i>Address</i>	<i>Grade</i>
11	<i>Ariadne Avenue</i>	<i>Non-contributory</i>
12	<i>Ariadne Avenue</i>	<i>Contributory</i>
13	<i>Ariadne Avenue</i>	<i>Contributory</i>
14	<i>Ariadne Avenue</i>	<i>Contributory</i>
15	<i>Ariadne Avenue</i>	<i>Contributory</i>
16	<i>Ariadne Avenue</i>	<i>Contributory</i>
1	<i>Burns Avenue</i>	<i>Contributory</i>
3	<i>Burns Avenue</i>	<i>Contributory</i>
5	<i>Burns Avenue</i>	<i>Contributory</i>
7	<i>Burns Avenue</i>	<i>Contributory</i>
9	<i>Burns Avenue</i>	<i>Contributory</i>
11	<i>Burns Avenue</i>	<i>Contributory</i>
13	<i>Burns Avenue</i>	<i>Contributory</i>
15	<i>Burns Avenue</i>	<i>Contributory</i>
17	<i>Burns Avenue</i>	<i>Contributory</i>
19	<i>Burns Avenue</i>	<i>Contributory</i>
2	<i>Innellan Road</i>	<i>Contributory</i>
4	<i>Innellan Road</i>	<i>Contributory</i>
6	<i>Innellan Road</i>	<i>Contributory</i>
8	<i>Innellan Road</i>	<i>Contributory</i>
10	<i>Innellan Road</i>	<i>Contributory</i>
12	<i>Innellan Road</i>	<i>Contributory</i>
14	<i>Innellan Road</i>	<i>Contributory</i>
16	<i>Innellan Road</i>	<i>Non-contributory</i>
18	<i>Innellan Road</i>	<i>Contributory</i>
20	<i>Innellan Road</i>	<i>Contributory</i>
138	<i>Murrumbeena Road</i>	<i>Contributory</i>
140	<i>Murrumbeena Road</i>	<i>Contributory</i>
142	<i>Murrumbeena Road</i>	<i>Contributory</i>
144	<i>Murrumbeena Road</i>	<i>Contributory</i>
146	<i>Murrumbeena Road</i>	<i>Contributory</i>
148	<i>Murrumbeena Road</i>	<i>Contributory</i>
150	<i>Murrumbeena Road</i>	<i>Contributory</i>

<i>Number</i>	<i>Address</i>	<i>Grade</i>
158	Murrumbeena Road	Contributory
160	Murrumbeena Road	Contributory
162	Murrumbeena Road	Contributory

Extent of the Recommended Heritage Overlay

To the extent of the precinct, as shown in Figure 37 below.



Figure 37. Recommended Extent of Heritage Overlay

References

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Ardyne Estate Precinct, Murrumbeena Statement of Significance

Heritage Place: Ardyne Estate Precinct, 33-43 (odd nos.) Ardyne Street, 1-16 (odd and even nos.) Ariadne Avenue, 1-19 (odd nos.) Burns Avenue, 2-20 (even nos.) Innellan Road & 138-162 (even nos.) Murrumbeena Road, Murrumbeena

PS ref no: HOXX



Figure 1. Examples of houses in the Ardyne Estate Precinct, Murrumbeena (L-R, starting top left: 39 Ardyne Street, 3 Ariadne Avenue, 15 Ariadne Avenue & 138 Murrumbeena Road) (GJM Heritage, September 2025)

What is significant?

The Ardyne Estate Precinct at 33-43 (odd nos.) Ardyne Street, 1-16 (odd and even nos.) Ariadne Avenue, 1-19 (odd nos.) Burns Avenue, 2-20 (even nos.) Innellan Road & 138-162 (even nos.) Murrumbeena Road, Murrumbeena, constructed in c1935-1945.

Elements that contribute to the significance of the precinct include:

- Single-storey houses from the interwar period, demonstrating characteristics of the Interwar English Domestic Revival and the Interwar Moderne styles
- Consistent front setbacks
- Brick construction, both face-brick and rendered brickwork
- Tile-clad hipped roof forms
- Asymmetrical principal elevations, with projecting gabled or hipped bays
- Prominent entrance porches with a range of forms and opening profiles, including shallow pointed arches and flat-roofed curved porches

- Tall simply detailed chimneys and chimneys with horizontal banding, vertical layering or brick detailing, and prominent chimney breasts
- Tripartite timber-framed windows and corner windows
- Decorative lead-light glazing
- Decorative brick detailing to windows, porch entries, corners and front gable ends, including corbelling and soldier courses
- Original low brick front fences at the street boundaries, some with roughcast render
- Original wrought iron gates to some properties.

Properties that do not contribute to the precinct are nos. 43 Ardyne Street, 7 & 11 Ariadne Avenue and 16 Inellan Road. Features that do not contribute to the significance of this precinct include non-original additions and alterations, non-original outbuildings, non-original carports and garages, and non-original fences.

How is it significant?

The Ardyne Estate Precinct, Murrumbeena is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Ardyne Estate Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses constructed in the interwar period, the Ardyne Estate Precinct clearly illustrates this important phase of development in the City of Glen Eira. (Criterion A)

The Ardyne Estate Precinct is a cohesive and highly intact collection of interwar houses. The single-storey houses display the principal characteristics of the Interwar English Domestic Revival and Interwar Moderne styles, including brick construction finished with face brick or render, tile-clad hipped roof forms, asymmetrical forms with a projecting gabled or hipped bay, prominent entrance porches of varying forms, chimneys with simple or more elaborate detailing, tripartite timber-framed window sets, corner windows, decorative lead-light glazing, decorative brick detailing, and low brick fences with a face brick or render finish. The Ardyne Estate Precinct remains as a highly intact and consistent group of houses in the English Domestic Revival and Interwar Moderne styles of the interwar period. (Criterion D)

The Ardyne Estate Precinct is of aesthetic significance as a highly unified group of single-storey houses drawing on the English Domestic Revival and Moderne architectural styles of the interwar period. The highly consistent forms, setbacks and materials – in conjunction with garden settings behind original low brick boundary fences – presents as picturesque and cohesive streetscapes with a distinctive architectural character. (Criterion E)

Primary sources

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

Gradings

Number	Address	Grade
33	Ardyne Street	Contributory
35	Ardyne Street	Contributory
37	Ardyne Street	Contributory
39	Ardyne Street	Contributory
41	Ardyne Street	Contributory
43	Ardyne Street	Non-contributory

1	<i>Ariadne Avenue</i>	<i>Contributory</i>
2	<i>Ariadne Avenue</i>	<i>Contributory</i>
3	<i>Ariadne Avenue</i>	<i>Contributory</i>
4	<i>Ariadne Avenue</i>	<i>Contributory</i>
5	<i>Ariadne Avenue</i>	<i>Contributory</i>
6	<i>Ariadne Avenue</i>	<i>Contributory</i>
7	<i>Ariadne Avenue</i>	<i>Non-contributory</i>
8	<i>Ariadne Avenue</i>	<i>Contributory</i>
9	<i>Ariadne Avenue</i>	<i>Contributory</i>
10	<i>Ariadne Avenue</i>	<i>Contributory</i>
11	<i>Ariadne Avenue</i>	<i>Non-contributory</i>
12	<i>Ariadne Avenue</i>	<i>Contributory</i>
13	<i>Ariadne Avenue</i>	<i>Contributory</i>
14	<i>Ariadne Avenue</i>	<i>Contributory</i>
15	<i>Ariadne Avenue</i>	<i>Contributory</i>
16	<i>Ariadne Avenue</i>	<i>Contributory</i>
1	<i>Burns Avenue</i>	<i>Contributory</i>
3	<i>Burns Avenue</i>	<i>Contributory</i>
5	<i>Burns Avenue</i>	<i>Contributory</i>
7	<i>Burns Avenue</i>	<i>Contributory</i>
9	<i>Burns Avenue</i>	<i>Contributory</i>
11	<i>Burns Avenue</i>	<i>Contributory</i>
13	<i>Burns Avenue</i>	<i>Contributory</i>
15	<i>Burns Avenue</i>	<i>Contributory</i>
17	<i>Burns Avenue</i>	<i>Contributory</i>
19	<i>Burns Avenue</i>	<i>Contributory</i>
2	<i>Innellan Road</i>	<i>Contributory</i>
4	<i>Innellan Road</i>	<i>Contributory</i>
6	<i>Innellan Road</i>	<i>Contributory</i>
8	<i>Innellan Road</i>	<i>Contributory</i>
10	<i>Innellan Road</i>	<i>Contributory</i>
12	<i>Innellan Road</i>	<i>Contributory</i>
14	<i>Innellan Road</i>	<i>Contributory</i>

16	<i>Innellan Road</i>	<i>Non-contributory</i>
18	<i>Innellan Road</i>	<i>Contributory</i>
20	<i>Innellan Road</i>	<i>Contributory</i>
138	<i>Murrumbeena Road</i>	<i>Contributory</i>
140	<i>Murrumbeena Road</i>	<i>Contributory</i>
142	<i>Murrumbeena Road</i>	<i>Contributory</i>
144	<i>Murrumbeena Road</i>	<i>Contributory</i>
146	<i>Murrumbeena Road</i>	<i>Contributory</i>
148	<i>Murrumbeena Road</i>	<i>Contributory</i>
150	<i>Murrumbeena Road</i>	<i>Contributory</i>
158	<i>Murrumbeena Road</i>	<i>Contributory</i>
160	<i>Murrumbeena Road</i>	<i>Contributory</i>
162	<i>Murrumbeena Road</i>	<i>Contributory</i>

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

ASTOLAT AVENUE PRECINCT, MURRUMBEENA



Figure 1. Examples of houses in the Astolat Avenue Precinct, Murrumbeena (L-R, starting top left: 6 Astolat Avenue, 7 Astolat Avenue, 9 Astolat Avenue & 26-28 Omama Road (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential Precinct	Architect/designer: William Henry Bruce
Construction Date: 1926-1936	Builder: William Henry Bruce
Recommendation: Include in the Heritage Overlay	Extent of Overlay: See Figure 46

Precinct History

The brick houses at 2-6 and 5-9 Astolat Avenue and 22-30 Omama Road were constructed in the interwar period between 1926 and 1936 by builder William Henry Bruce (Ward 1996:85; RB).

The land on the north side of Omama Road that would become the site of Astolat Avenue was sold by Margaret Thorn Tuckett as Lot 32 of the ‘Omama Estate’ subdivision (Figure 2) (LV:V2870/F936), the sale of which was managed by Tuckett and Styles, auctioneers and estate agents. Lot 32 was acquired by Enid May Springthorpe in August 1914, and totalled just over 3.5 acres (1.4ha). Enid Springthorpe was the daughter of Dr John William and Annie Springthorpe who in 1910 had purchased ‘Omama’ house on Lot 31 of Omama Estate subdivision (immediately west of Lot 32), which they renamed ‘Joyous Gard’ (since demolished); the namesake of the court in the same location. The Springthorpes also acquired lots on the east side of Gibson Street (now Tuckett Street) within the estate. In November 1926, Enid May Totton (nee Springthorpe) subdivided Lot 32, creating Astolat Avenue and residential lots which were on-sold immediately (Figure 3) (LV:V3834/F730).

William Henry Bruce, builder of Heatherleigh Place, East Malvern, purchased the lots fronting Omama Road (current 22-30) and Astolat Avenue (current 2, 4, 5, 7 & 9) in stages between November 1926 and February 1929 (LV:V3834/F730). The titles indicate that Bruce did not acquire 6 Astolat Avenue (Lot 9), which was purchased by Frank W F Craig “of Astolat Avenue” in November 1926, however, a drainage plan for 6 Astolat Avenue dated July 1926 (Figure 4) shows a footprint of the house and identifies W H Bruce of Heatherleigh Place, East Malvern, which confirms that Bruce also developed 6 Astolat Avenue (Lot 9) (LV:V3834/F730; SEW).

By December 1927, the four lots on the east side of Astolat Avenue (Lots 6-9; the current 30 Omama Road and 2-6 Astolat Avenue) had been developed, each with a brick house with six rooms; the house at 2 Astolat Avenue (Lot 7) was still under construction at this date. The houses were subsequently on-sold. At this date, the lots on the west side of the precinct (Lots 1-5) remained vacant (RB). Drainage plans for the four houses on the east side of Astolat Avenue show early footprints of the houses (Figure 4 - Figure 7).

By December 1931, Lots 3-5 (current 5-9 Astolat Avenue) had been developed with brick houses of six and seven-rooms, and on-sold (RB). The two pairs of semi-detached “brick flats” (each dwelling with five rooms) at 22-24 and 26-28 Omama Road (Lots 1 and 2) were the last to be built by Bruce in 1936 before their property boundaries were realigned to front Omama Road, and each lot on-sold in 1937 (RB).

An aerial photograph dated 1931 shows the early extents of the houses fronting Astolat Avenue, and the house at 30 Omama Road (Figure 8).

The houses at 2-6 Astolat Avenue and 30 Omama Road were designed with a similar bungalow form with a transverse-gabled roof, while the row of three houses at 5-9 Astolat Avenue were designed with hipped roof forms and display characteristics of the Interwar Spanish Mission style. At the southwest of the precinct, two pairs of semi-detached houses front Omama Road. The low brick fences to the front property boundaries date to the development of the cul-de-sac.

Aerial photographs dated 1945 and 1969 show the precinct area and extent of the houses and outbuildings during these periods (Figure 9).

Known alterations include single- and two-storey additions to a majority of the houses. The addition to 4 Astolat Avenue comprises a large street-facing gable end above the original roof form. A single-storey addition is under construction at 2 Astolat Avenue (as of January 2026). The roof at 9 Astolat Avenue has been re-clad.

Research has not been able to determine further details of Bruce’s career or projects. Newspaper advertisements paid for by Bruce in the 1920s and 1930 advertised the sale of villas in Astolat Avenue, Murrumbeena and Malvern East, often demonstrating characteristics of the Interwar Spanish Mission architectural style (*Argus*, 5 Jun 1926:25; 9 Feb 1929:32; 5 Feb 1930:32).

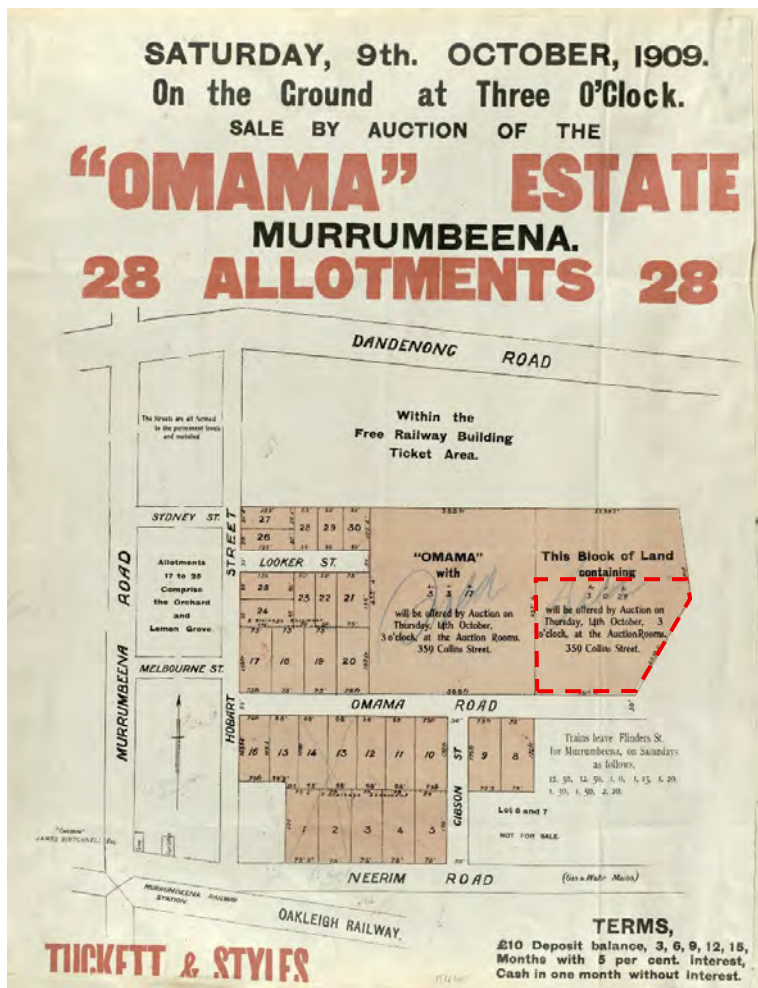


Figure 2. Auction notice for Omama Estate, 1909. The precinct area is indicated in red (Source: SLV ID 9919762003607636).

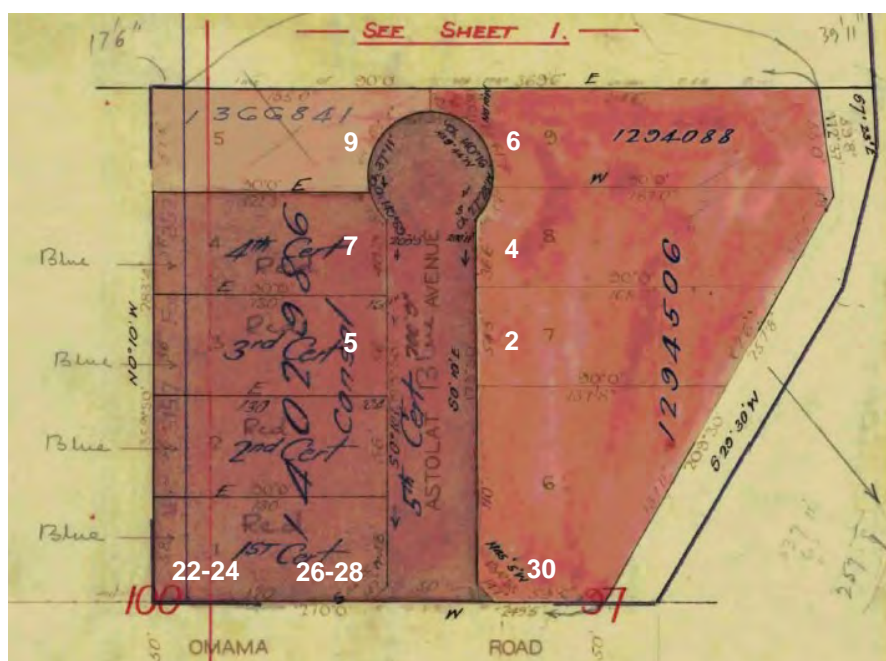


Figure 3. Plan of subdivision for Astolat Avenue, dated November 1926, under owner Enid May Totton. The lot numbers appear on the plan in light grey, the current street numbers are annotated in white (Source: Landata Victoria, LP 11711, dated November 1926)

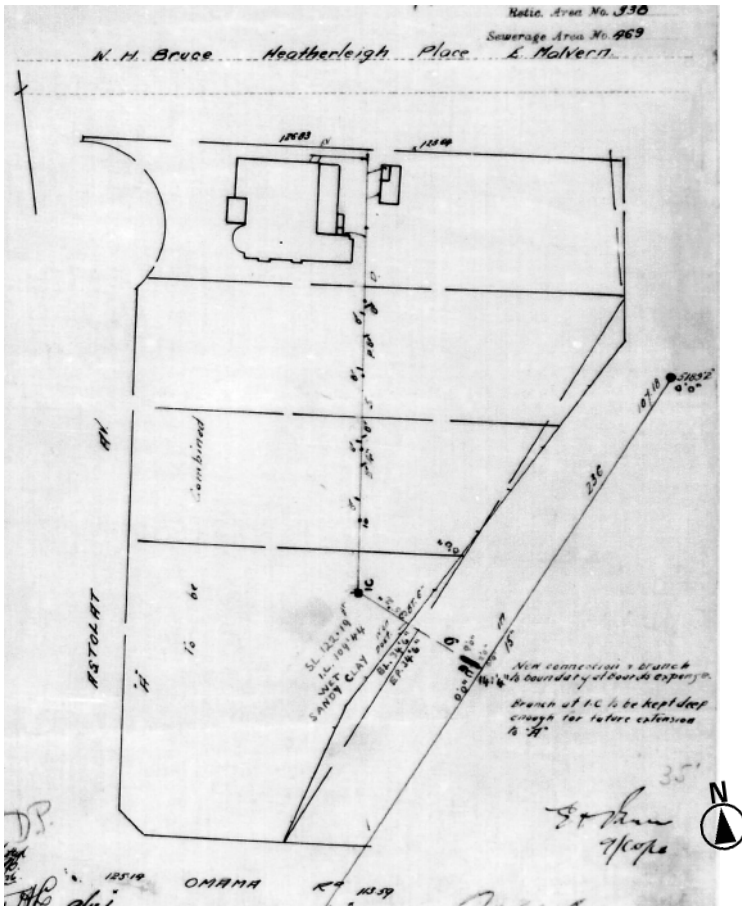


Figure 4. Drainage plan dated July 1926, showing a footprint of the house at 6 Astolat Avenue (Lot 9). W H Bruce is recorded at top (Source: SEW, Drainage Plan No. 154800)

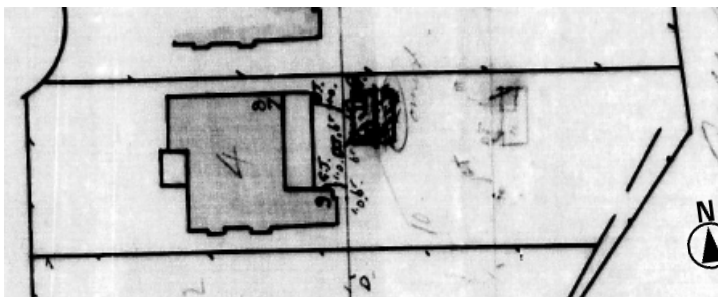


Figure 5. Drainage plan dated November 1926, showing a footprint of the house at 4 Astolat Avenue (Lot 8) (Source: SEW, Drainage Plan No. 154800)

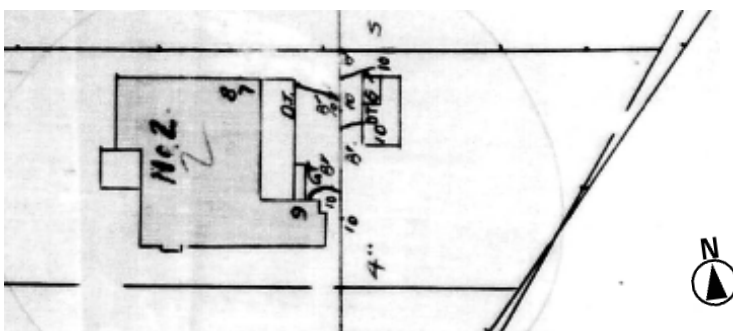


Figure 6. Drainage plan dated November 1927, showing a footprint of the house at 2 Astolat Avenue (Lot 7) (Source: SEW, Drainage Plan No. 154800)

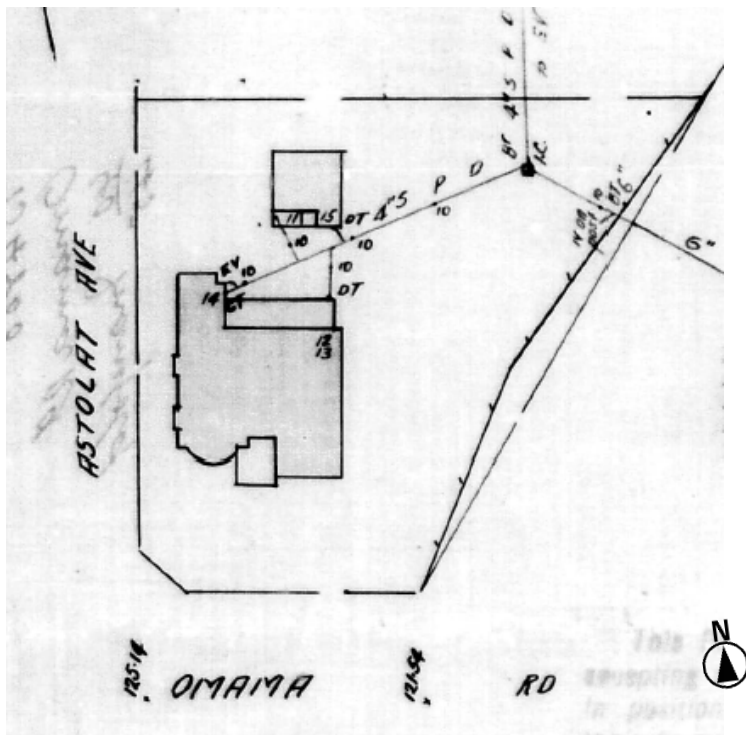


Figure 7. Drainage plan dated November 1926, showing a footprint of the house at 30 Omama Road (Lot 6) (Source: SEW, Drainage Plan No. 154800)



Figure 8. A 1931 aerial photograph showing the houses fronting Astolat Avenue and at 30 Omama Road. Current 22-28 Omama Road remained vacant (Source: Landata Victoria)



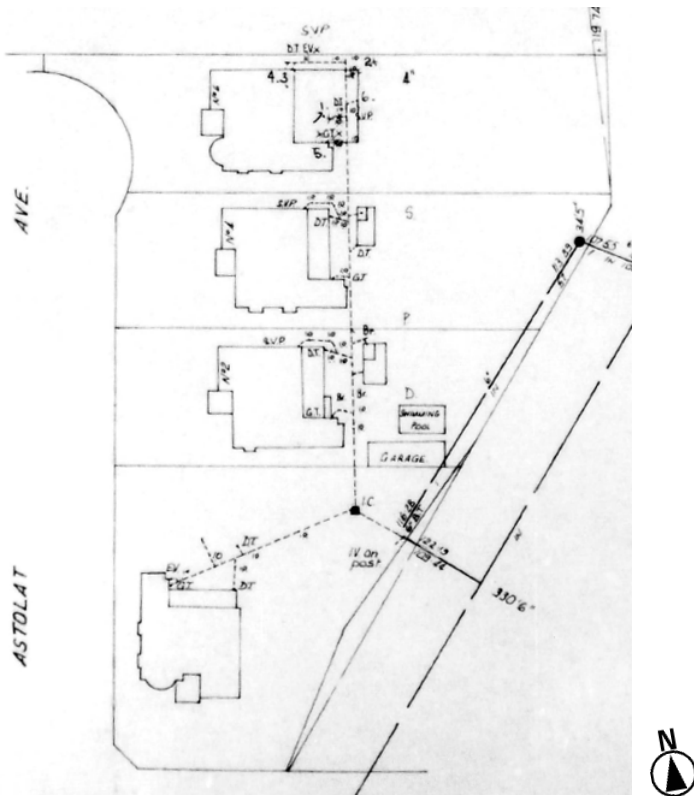
Figure 9. A 1945 aerial photograph showing the fully developed precinct (Source: University of Melbourne, 1945 photo-map 849c1b)



Figure 10. A 1969 aerial photograph showing the extent of the houses in the postwar period (Source: Landata Victoria)



Figure 11. Drainage plan dated 1975, showing footprints of the houses and outbuildings on the east side of the precinct (Source: SEW, Drainage Plan No. 154800)



Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
- 6.3 Shaping the suburbs
- 6.7 Making homes for Victorians.

Description

The Astolat Avenue Precinct is a cul-de-sac running north from Omama Road, north-east of the main intersection of Murrumbeena and Neerim roads and the Murrumbeena Railway Station, and west of Boyd Park within the Outer Circle Linear Park. It comprises two pairs of semi-detached houses and one freestanding house on the north side of Omama Road (nos. 22-24, 26-28 & 30) and six freestanding houses on the east and west sides of Astolat Avenue (nos. 2, 4, 6 & 5, 7, 9 respectively).

Situated on broadly rectangular sites, with the exception of 30 Omama Road which extends to follow the reserve at its western boundary, the houses are generally accessed by driveways adjacent to a side boundary and are consistently set back behind front gardens. Original low brick front fences, some with roughcast render, line the street boundaries of the properties (with the exception of 30 Omama Road) and follow the curve of the cul-de-sac at the north end.

The houses within the precinct display the principal characteristics of the Arts and Crafts, Spanish Mission and Moderne styles of the interwar period.

The single-storey houses to the east of the precinct (30 Omama Road and 2, 4 & 6 Astolat Avenue) are bungalows of brick construction finished with face brick or roughcast render with contrasting smooth render details, tile-clad transverse-gabled roofs and tall simple chimneys. Similar in scale and form, the houses draw on detailing of the Arts and Crafts style, including asymmetrical principal elevations with a projecting gabled bay to one side, exposed rafter ends, shingles to street-facing gabled ends, prominent central entrance porches with various forms and opening profiles, some with angled buttresses, single or grouped timber-framed windows (including bow and boxed windows), decorative lead-light glazing and decorative brick detailing to windows, porch entries and corners.

The row of single-storey houses at 5, 7 & 9 Astolat Avenue are similar in scale and form to those on the eastern side of the cul-de-sac, and display characteristics of the Spanish Mission style, including brick construction with a fan- or roughcast render finish and contrasting smooth render details, tile-clad hipped roofs, a projecting hipped bay to one side of the principal elevation, and rendered chimneys (some with decorative capping). The Spanish Mission style detailing is also evident in the prominent central entrance porches (which include an ornate parapet [no. 9] or parapet capped with Spanish tiles), arched openings, plain or twisted columns, solid balustrades and entrance stairs, single and tripartite timber-framed windows (including boxed windows and Palladian boxed windows), leadlight glazing, windows with patterned glazing bars, and Palladian motifs to entrances and openings.

The two pairs of semi-detached houses at 22-24 and 26-28 Omama Road are of brick construction with a clinker brick plinth and render finish to the walls, tile-clad hipped roofs, and projecting bays to the principal elevations. Similar in scale and form the houses display details of the Interwar Moderne style, including horizontal banding to the render finish, simply detailed chimneys, a flat-roofed curved entrance porch (no. 26), single and tripartite arrangements of timber-framed windows, and horizontal or patterned glazing bars to the top window sash. An attached garage in the same materials as the house remains at 28 Omama Road, accessed off Astolat Avenue.

Alterations include single- and two-storey rear additions to the houses at 24-30 Omama Road and all houses fronting Astolat Avenue and some roofs have been reclad with tiles. A window has been inserted/altered at the principal elevation of 24-26 Omama Road.

Key Features:

- Single-storey detached and semi-detached houses of the interwar period, demonstrating characteristics of the Arts and Crafts, Spanish Mission and Moderne styles
- Consistent front setbacks behind open garden settings
- Brick construction, both face-brick and rendered brickwork – including roughcast and fan-render finishes and contrasting smooth render details
- Tile-clad hipped and gabled roof forms
- Principal elevations with projecting gabled or hipped bays
- Prominent entrance porches with a range of forms and opening profiles
- Arts and Crafts style detailing (at 30 Omama Road and 2, 4 & 6 Astolat Avenue) including tall simple chimneys, exposed rafter ends, shingles to street-facing gabled ends, single or grouped timber-framed windows, bow and boxed windows, decorative lead-light glazing and decorative brick detailing to windows, porch entries and corners
- Spanish Mission style detailing (at 5, 7 & 9 Astolat Avenue) including rendered chimneys, decorative chimney capping, various detailing to the prominent central entrance porches including an ornate parapet or parapet capped with Spanish tiles, arched openings, solid balustrades and entrance stairs, single and tripartite timber-framed windows (including boxed windows and Palladian boxed windows), leadlight glazing, windows with patterned glazing bars, and Palladian motifs to entrances and openings
- Moderne style detailing (at 22-24 & 26-28 Omama Road) including clinker brick plinths, render finish to walls with horizontal banding, simply detailed chimneys, flat-roofed curved entrance porch (no. 26), single and tripartite arrangements of timber-framed windows, and horizontal or patterned glazing bars to the top sash

- Original low brick front fences at the street boundaries, some with roughcast render, which follow the curve of the cul-de-sac at the north end.



Figure 12. Aerial photograph of the subject properties, February 2026 (Source: Nearmap)



Figure 13. Corner view of 26-28 Omama Road, Murrumbeena, and the neighbouring properties within the precinct (Source: GJM Heritage, September 2025)



Figure 14. 22-24 Omama Road, Murrumbeena (Source: GJM Heritage, January 2026)





Figure 15. 30 Omama Road, Murrumbeena
(Source: GJM Heritage, September 2025)



Figure 16. 2 Astolat Avenue, Murrumbeena
(Source: GJM Heritage, September 2025)



Figure 17. 4 Astolat Avenue, Murrumbeena
(Source: GJM Heritage, September 2025)



Figure 18. 6 Astolat Avenue, Murrumbeena
(Source: GJM Heritage, September 2025)



Figure 19. 5 Astolat Avenue, Murrumbeena
(Source: GJM Heritage, September 2025)



Figure 20. 7 Astolat Avenue, Murrumbeena
(Source: GJM Heritage, September 2025)



Figure 21. 9 Astolat Avenue, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The Astolat Avenue Precinct remains highly intact to its period of construction and retains a high degree of integrity to the interwar period in fabric, form and detail. Most residences have single- or two-storey rear additions, some roofs have been reclad, and a window has been inserted/alterd at the principal elevation of 24-26 Omama Road. These changes do not diminish the ability to understand and appreciate the place as a finely detailed and cohesive precinct dating from the interwar period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Interwar Moderne styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included in the Heritage Overlay of the Glen Eira Planning Scheme.

The Astolat Avenue Precinct is of note as a highly intact and unified group of middle-class houses that are characteristic of the suburban development that occurred in the interwar period. Astolat Avenue Precinct was developed over a short period of time by the same developer, builder William Henry Bruce, and the court arrangement of single-storey brick houses displays a high degree of consistency of scale, materiality and detailing.

Those interwar residential precincts that are most comparable to the Astolat Avenue Precinct, having a similar arrangement, include 'Bruce Court and Environs Precinct' (HO86) and 'Crompton Court Precinct' (HO17) as illustrated below:

Bruce Court and Environs Precinct, Elsternwick, 1928-1930s (HO86):



Figure 22. 32 Parkside Street, Elsternwick (Source: Google Street View)



Figure 23. 3 Bruce Court, Elsternwick (Source: Google Street View)



Figure 24. 6 Bruce Court, Elsternwick (Source: Google Street View)



Figure 25. 2 Bruce Court, Elsternwick (Source: Google Street View)

Crompton Court Precinct, Caulfield South, 1929-33 (HO17)



Figure 26. 2 Crompton Court, Caulfield South (Source: GJM Heritage, March 2024)



Figure 27. 5 & 4 Crompton Court, Caulfield South (Source: GJM Heritage, March 2024)



Figure 28. 3 & 5 Crompton Court, Caulfield South (Source: GJM Heritage, March 2024)



Figure 29. 1 Crompton Court, Caulfield South (Source: GJM Heritage, March 2024)

The following interwar residential precincts also comprise intact interwar dwellings that are similar to those in the Astolat Avenue Precinct, and are included in the Heritage Overlay of the Glen Eira Planning Scheme:

Hillcrest Estate and Environs Precinct, Caulfield South, 1933-34 (HO32):



Figure 30. 1 Hillcrest Avenue, Caulfield South (Source: Google Street View)



Figure 31. 11 Hillcrest Avenue, Caulfield South (Source: Google Street View)



Figure 32. 8 Hillcrest Avenue, Caulfield South (Source: Google Street View)



Figure 33. 5 Hillcrest Avenue, Caulfield South (Source: Google Street View)

Field Street Precinct, McKinnon (HO188):



Figure 34. 1 Field Street, McKinnon (Source: Google Street View)



Figure 35. 5 Field Street, McKinnon (Source: Google Street View)



Figure 36. 3 Field Street, McKinnon (Source: Google Street View)



Figure 37. 14 Field Street, McKinnon (Source: Google Street View)

Rose Hill Estate Precinct, Bentleigh (HO168):



Figure 38. 12 Rose Street, Bentleigh (Source: Google Street View)



Figure 39. 259 Centre Road, Bentleigh (Source: Google Street View)



Figure 40. 16 Rose Street, Bentleigh (Source: Google Street View)



Figure 41. 21 Rose Street, Bentleigh (Source: Google Street View)

Bentleigh Heights Estate, Bentleigh, 1939-42 (HO169):



Figure 42. 13 The Highway, Bentleigh, Bentleigh (Source: Google Street View)



Figure 43. 4 The Highway, Bentleigh (Source: Google Street View)



Figure 44. 27 The Highway, Bentleigh (Source: Google Street View)



Figure 45. 29 The Highway, Bentleigh (Source: Google Street View)

The above examples all contain streets of highly intact houses dating to the interwar period, illustrating the significant suburban development at the time, particularly in the central and southern parts of the City of Glen Eira. The Bruce Court and Environs Precinct and Crompton Court Precinct are highly comparable in their court arrangement and, like the Astolat Avenue Precinct, present as cohesive and picturesque residential cul-de-sacs with a high degree of consistency in scale, materiality and detailing.

The Astolat Avenue Precinct is comparable in architectural quality and consistency to precincts already included in the Heritage Overlay.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The Astolat Avenue Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses constructed in the Interwar period, the Astolat Avenue Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Astolat Avenue Precinct is a cohesive and highly intact collection of interwar houses. Constructed by the one developer, builder William Henry Bruce, the single-storey detached and semi-detached houses display principal characteristics of the Arts and Crafts, Spanish Mission and Moderne styles of the interwar period. The houses are of brick construction with face-brick and rendered finishes, tile-clad hipped and gabled roof forms, principal elevations with projecting gabled or hipped bays, prominent entrance porches with a range of forms and opening profiles, single or grouped timber-framed windows and some with decorative leadlight glazing. Arts and Crafts style characteristics include exposed rafter ends, shingles to street-facing gabled ends, bow and boxed windows, and decorative brick detailing. Spanish Mission style characteristics include rendered chimneys, decorative chimney capping, prominent entrance porches with an ornate parapet or parapet topped with Spanish tiles, arched openings, and Palladian motifs to entrances and openings with plain and twisted columns. Interwar Moderne style characteristics include clinker brick plinths, horizontal banding to the render finish, simply detailed chimneys, a flat-roofed curved entrance porch (no. 26) and timber-framed windows with horizontal or patterned glazing bars.

Criterion E: Importance in exhibition particular aesthetic characteristics

The Astolat Avenue Precinct is of aesthetic significance as a highly unified group of single-storey houses drawing on the Arts and Crafts, Spanish Mission and Moderne styles of the interwar period, within a court arrangement. The highly consistent forms, setbacks and materials – in conjunction with the garden settings and original low brick boundary fences which follow the court alignment at the northern end – presents as a picturesque and cohesive streetscape with a distinctive architectural character.

Grading and Recommendations

It is recommended that the Astolat Avenue Precinct be included in the Heritage Overlay of the Glen Eira Planning Scheme. Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme are as follows:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	Yes – original front brick fences
Prohibited uses permitted?	No
Aboriginal heritage place?	No

The gradings of individual properties within the precinct are as follows:

Gradings

<i>Number</i>	<i>Address</i>	<i>Grade</i>
2	<i>Astolat Avenue</i>	<i>Contributory</i>
4	<i>Astolat Avenue</i>	<i>Contributory</i>
5	<i>Astolat Avenue</i>	<i>Contributory</i>
6	<i>Astolat Avenue</i>	<i>Contributory</i>
7	<i>Astolat Avenue</i>	<i>Contributory</i>
9	<i>Astolat Avenue</i>	<i>Contributory</i>
22	<i>Omama Road</i>	<i>Contributory</i>
24	<i>Omama Road</i>	<i>Contributory</i>
26	<i>Omama Road</i>	<i>Contributory</i>
28	<i>Omama Road</i>	<i>Contributory</i>
30	<i>Omama Road</i>	<i>Contributory</i>

Extent of the Recommended Heritage Overlay

To the extent of the precinct, as shown in Figure 46 below.



Figure 46. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Nearmap ©.

Permit plans (PP) provided by Glen Eira City Council.

Rate books (RB), City of Caulfield, East Ward: 1927-28, entries 6039-6047; 1928-29, entries 6287-6294; 1930-31, entries 6229-6236; 1931-32, entries 6211-6218; 1933-34, entries 6049-6056; 1935-36, entries 6129-6136; 1936-37, entries 6178-6182.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

State Library of Victoria (SLV), images and plans as cited.

The Argus.

University of Melbourne, 1945 photo-map 849c1b.

Ward, Andrew, *City of Glen Eira Heritage Management Plan*, Volume 2, 1996.

Astolat Avenue Precinct, Murrumbeena Statement of Significance

Heritage Place: Astolat Avenue Precinct, 2-6 (even) & 5-9 (odd) Astolat Avenue and 22-30 (even only) Omama Road, Murrumbeena

PS ref no: HOXX



Figure 1. Examples of houses in the Astolat Avenue Precinct, Murrumbeena (L-R, starting top left: 6 Astolat Avenue, 7 Astolat Avenue, 9 Astolat Avenue & 26-28 Omama Road (GJM Heritage, September 2025)

What is significant?

The Astolat Avenue Precinct at 2-6 (even only) & 5-9 (odd only) Astolat Avenue and 22-30 (even only) Omama Road, Murrumbeena, constructed in 1926-36.

Elements that contribute to the significance of the precinct include:

- Single-storey detached and semi-detached houses of the interwar period, demonstrating characteristics of the Arts and Crafts, Spanish Mission and Moderne styles
- Consistent front setbacks behind open garden settings
- Brick construction, both face-brick and rendered brickwork – including roughcast and fan-render finishes and contrasting smooth render details
- Tile-clad hipped and gabled roof forms
- Principal elevations with projecting gabled or hipped bays
- Prominent entrance porches with a range of forms and opening profiles
- Arts and Crafts style detailing (at 30 Omama Road and 2, 4 & 6 Astolat Avenue) including tall simple chimneys, exposed rafter ends, shingles to street-facing gabled ends, single or grouped timber-framed windows, bow and boxed windows, decorative lead-light glazing and decorative brick detailing to windows, porch entries and corners
- Spanish Mission style detailing (at 5, 7 & 9 Astolat Avenue) including rendered chimneys, decorative chimney capping, various detailing to the prominent central entrance porches including an ornate parapet

or parapet capped with Spanish tiles, arched openings, solid balustrades and entrance stairs, single and tripartite timber-framed windows (including boxed windows and Palladian boxed windows), leadlight glazing, windows with patterned glazing bars, and Palladian motifs to entrances and openings

- Moderne style detailing (at 22-24 & 26-28 Omama Road) including clinker brick plinths, render finish to walls with horizontal banding, simply detailed chimneys, flat-roofed curved entrance porch (no. 26), single and tripartite arrangements of timber-framed windows, and horizontal or patterned glazing bars to the top sash
- Original low brick front fences at the street boundaries, some with roughcast render, which follow the curve of the cul-de-sac at the north end.

Features that do not contribute to the significance of this precinct include non-original rear additions and alterations, non-original outbuildings and garages, and the street boundary fences at 30 Omama Road.

How is it significant?

The Astolat Avenue Precinct, Murrumbeena is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Astolat Avenue Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses constructed in the interwar period, the Astolat Avenue Precinct clearly illustrates this important phase of development in the City of Glen Eira. (Criterion A)

The Astolat Avenue Precinct is a cohesive and highly intact collection of interwar houses. Constructed by the one developer, builder William Henry Bruce, the single-storey detached and semi-detached houses display principal characteristics of the Arts and Crafts, Spanish Mission and Moderne styles of the interwar period. The houses are of brick construction with face-brick and rendered finishes, tile-clad hipped and gabled roof forms, principal elevations with projecting gabled or hipped bays, prominent entrance porches with a range of forms and opening profiles, single or grouped timber-framed windows and some with decorative leadlight glazing. Arts and Crafts style characteristics include exposed rafter ends, shingles to street-facing gabled ends, bow and boxed windows, and decorative brick detailing. Spanish Mission style characteristics include rendered chimneys, decorative chimney capping, prominent entrance porches with an ornate parapet or parapet topped with Spanish tiles, arched openings, and Palladian motifs to entrances and openings with plain and twisted columns. Interwar Moderne style characteristics include clinker brick plinths, horizontal banding to the render finish, simply detailed chimneys, a flat-roofed curved entrance porch (no. 26) and timber-framed windows with horizontal or patterned glazing bars. (Criterion D)

The Astolat Avenue Precinct is of aesthetic significance as a highly unified group of single-storey houses drawing on the Arts and Crafts, Spanish Mission and Moderne styles of the interwar period, within a court arrangement. The highly consistent forms, setbacks and materials – in conjunction with the garden settings and original low brick boundary fences which follow the court alignment at the northern end – presents as a picturesque and cohesive streetscape with a distinctive architectural character. (Criterion E)

Primary sources

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

Gradings

Number	Address	Grade
2	Astolat Avenue	Contributory
4	Astolat Avenue	Contributory
5	Astolat Avenue	Contributory

6	<i>Astolat Avenue</i>	<i>Contributory</i>
7	<i>Astolat Avenue</i>	<i>Contributory</i>
9	<i>Astolat Avenue</i>	<i>Contributory</i>
22	<i>Omama Road</i>	<i>Contributory</i>
24	<i>Omama Road</i>	<i>Contributory</i>
26	<i>Omama Road</i>	<i>Contributory</i>
28	<i>Omama Road</i>	<i>Contributory</i>
30	<i>Omama Road</i>	<i>Contributory</i>

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

CORINAN ESTATE PRECINCT, MURRUMBEENA



*Figure 1. Houses in the Corinan Estate Precinct, Murrumbeena (L-R, starting top left: 514, 514A, 516, 516A Neerim Road)
(GJM Heritage, September 2025)*

DATE: April 2026

Place Type: Residential Precinct	Architect/ Designer: Clarence Limbrick
Construction Date: 1936-1941	Builder: Clarence Limbrick
Recommendation: Include in the Heritage Overlay	Extent of Overlay: See Figure 21

Precinct History

The houses at 514, 514A, 516 and 516A Neerim Road were constructed in 1936-1941 by local master builder Clarence Limbrick (RB; SEW).

These properties on the north side of Neerim Road originally formed part of the ‘Omama Estate’ subdivision of 1909 (Figure 2). A 1931 aerial photograph shows the area at this date occupied by ‘Corinan Rest Home’, a 14-room house (located near the current 518 Neerim Road) (Figure 3) (RB).

In November 1935, Clarence Limbrick, builder of East Malvern, purchased a number of lots within the ‘Omama Estate’, which fronted Neerim and Omama roads, including the ‘Corinan Rest Home’ (addressed as 516 Neerim Road in the 1930s) (Figure 4) (RB). The Rest Home was demolished in 1937 (RB).

Limbrick subdivided these lots further to create 12 narrower properties (Figure 5) (LV:V6005/F862; RB) and in late 1935 “the Magnificent Corinan Estate” was advertised in Melbourne newspapers, selling “12 residential allotments” (*Argus*, 18 Sep 1935:18; 16 Nov 1935:32; *Age*, 24 Sep 1935:3).

In December 1936 the brick houses at Lots 1 and 2 (current 514 and 514A) were in the course of erection. The brick house at Lot 1 (current 514) was owned and occupied by Limbrick (RB). Limbrick later constructed a small addition to his house in 1940 (RB). Lot 2 (current 514A) was recorded with a new owner in December 1936.

The newly constructed brick house and garage at Lot 3 (current 516) was recorded in the rate books in July 1937, owned by Limbrick (RB). In November 1937, Limbrick advertised the “New old-English Home” at “518 Neerim Road” for sale, within the “Corinan Estate” (1937 rate books indicate that 518 at this date referred to Lot 3, the current 516) (*Herald*, 27 Nov 1937:41). The advertisement described the house with six large rooms, built-in furniture, a garage and woodshed. A second advertisement published a photograph of the new house (Figure 6) (*Argus*, 20 Nov 1937:22). The house sold in March 1938 (LV:V6005/F862).

In December 1939 the rate books recorded that Limbrick was the owner of Lot 4 (current 516A), which remained vacant (RB). A drainage plan for the property dated February 1941, shows a footprint of the house and identifies C Limbrick as the agent for the property, confirming that he developed the property for owner E McFarlane (Figure 7).¹ In December 1942 the rate books record that a brick house with five rooms had been constructed at Lot 4, owned by Esther McFarlane, who had purchased the lot in January 1941 (RB; LV:V6441/F113).

An aerial photographed dated 1945 shows the completed row of houses on the north side of Neerim Road (Figure 8). A 1969 aerial photograph shows the properties in more detail, each property with a driveway extending down a side boundary to a garage to the rear (north) of the house. All early outbuildings (evident in 1969) appear to have been removed or replaced (an early outbuilding may remain in part at 516A).

Later alterations include discreet additions constructed to the rear of the four houses, and later outbuildings at the rear of the properties. The house at 514A Neerim Road has a garage constructed at the southwest corner (built post-1969). The house at 516 Neerim Road has a small dormer constructed on the southern roof plane (built post-1969).

Research has not been able to identify significant further details of Limbrick’s career or projects. In the 1920s Limbrick’s occupation is recorded as a “carpenter” (Aus electoral rolls). Contemporary newspaper notices and advertisements indicate that he was active in the 1930s, described as a “master builder,” and in the 1950s operating

¹ There is a gap in the rate book records for the subject site in 1940-1941.

as “C. Limbrick & Son” and later as “C. Limbrick & Co. Pty Ltd,” still addressed to 514 Neerim Road, Murrumbena. His projects included houses and flats, shops, offices and factories, primarily in the eastern suburbs of Melbourne (*Herald*, 27 Nov 1937:41; *Age*, 5 Oct 1932:5; 7 Apr 1951:35; 2 Aug 1952:26; *Construction*, 5 May 1954:11).

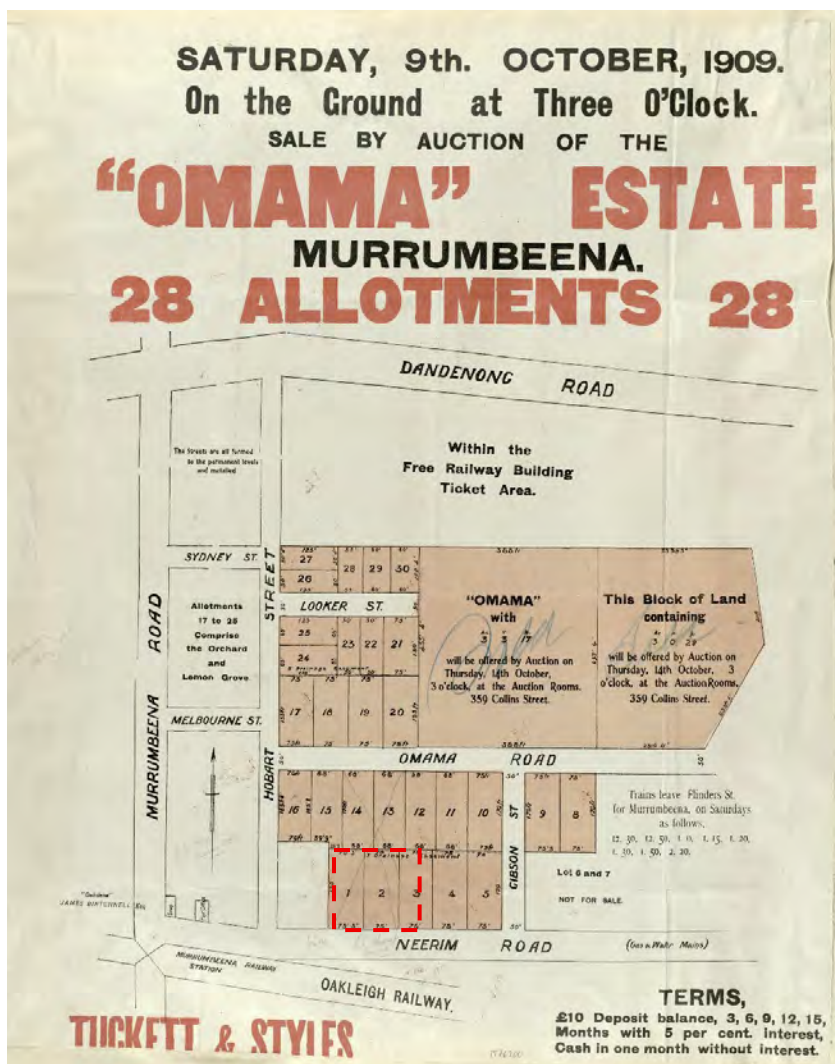


Figure 2. Auction notice for the Omama Estate, located west of what is now Springthorpe Gardens, 1909. The precinct area is indicated in red (Source: SLV ID 9919762003607636).



Figure 3. A 1931 aerial photograph showing the north side of Neerim Road occupied by Corinan Rest Home. The precinct boundary is indicated in red (Source: Landata Victoria)

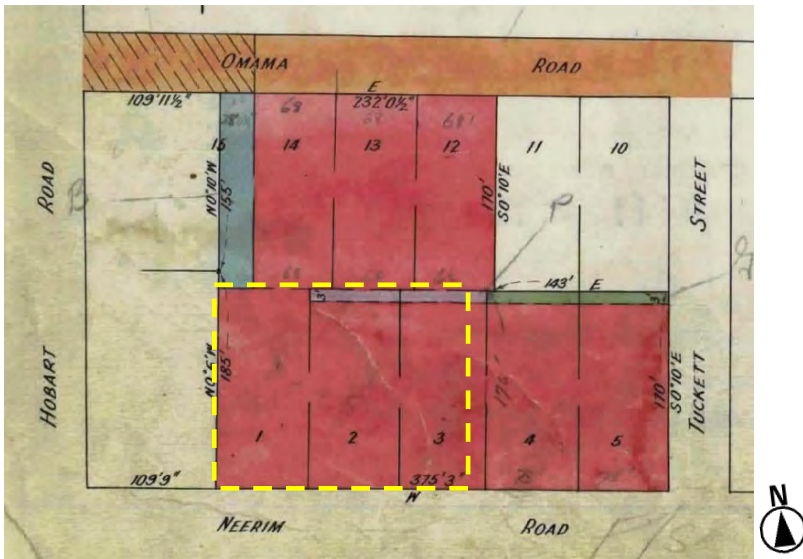


Figure 4. The lots purchased by builder Clarence Limbrick in November 1935 (coloured red, blue, green and purple). The precinct boundary is indicated in yellow (Source: LV:V6005/F862)

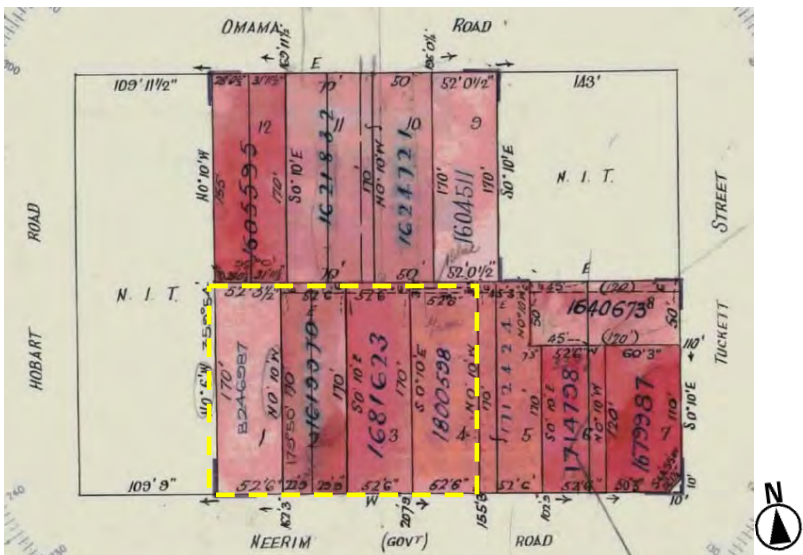


Figure 5. Limbrick's subdivision of his holdings, creating twelve smaller lots. Plan dated March 1936. The precinct boundary is indicated in yellow (Source: LP 14061, LV:V6005/F862)



Figure 6. Photo of the current 516 Neerim Road, published in *The Argus* in November 1937 as part of a sales advertisement for the property (then addressed as 518) (Source: *Argus*, 20 Nov 1937:22)

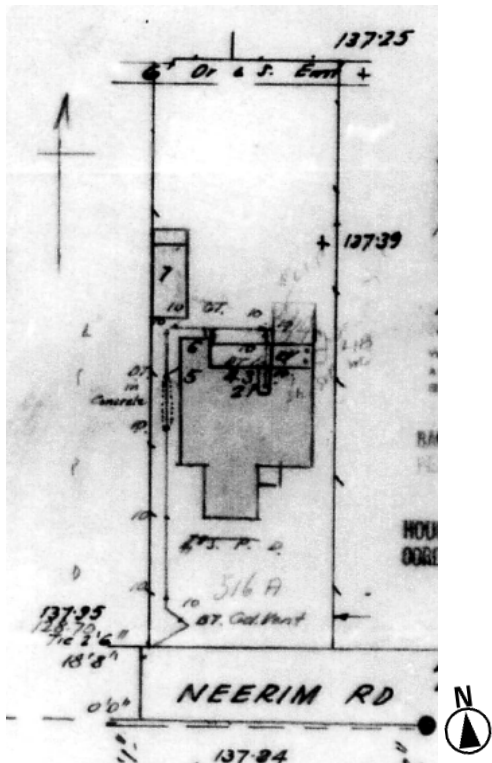


Figure 7. Drainage plan for 516A Neerim Road (lot 4), dated February 1941 (Source: SEW, Drainage Plan No. 223031)



Figure 8. A 1945 aerial photograph, the precinct area indicated in red (Source: Landata Victoria)



Figure 9. A 1969 aerial photograph, the precinct area indicated in red (Source: Landata Victoria)



Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians

Description

The Corinan Estate Precinct is located to the south-east of the main intersection of Dandenong and Murrumbidgee roads, Murrumbidgee and north-east of the Murrumbidgee Railway Station. It comprises four adjacent interwar-era properties on the north side of Neerim Road (nos. 514, 514A, 516 and 516A). Situated on rectangular sites, the houses are accessed by driveways adjacent to the west boundaries, and are setback behind front gardens.

Drawing on the Interwar English Domestic Revival style, the single and attic-storey houses are highly consistent in form, materiality and detailing. Constructed in clinker brick with glazed tile-clad roofs, the houses are rectangular in form with predominantly gabled roofs, main transverse ridgelines, and eaveless gabled ends. All buildings display dominant, steeply pitched roof forms and tall, simply detailed brick chimneys, some with projecting chimney breasts. Principal elevations are asymmetrical with gabled and eaveless projecting bays, and are variously detailed using sections of contrasting render, corbelled brickwork to eaves, and decorative brickwork patterning using random slim bricks and header bricks. Timber-framed sash windows are arranged either singly or grouped, some with diamond-patterned leadlight and some with window shutters.

Various additions have been made to the rear of the four houses and a small dormer window has been added to the front roof plane at 516 Neerim Road. A garage has been added to the southwest corner at 514A Neerim Road. High brick fences have replaced original low brick fences at all front boundaries.

Key features:

- Single and attic-storey clinker brick houses designed in the Interwar English Domestic Revival style
- Glazed tile-clad roofs with steeply-pitched, predominantly gabled roof forms, with eaveless gabled ends and main transverse ridgelines
- Rectangular forms
- Tall, simply detailed chimneys, some with projecting chimney breasts
- Asymmetrical principal elevations with gabled and eaveless projecting bays
- Detailing including sections of contrasting render, corbelled brickwork to eaves and decorative brickwork patterning using random slim bricks and header bricks
- Timber framed sash windows arranged singularly or grouped
- Diamond patterned leadlight
- Window shutters.



Figure 10. Aerial photograph of the subject properties, February 2026 (Source: Nearmap)

Intactness/Integrity

The Corinan Estate Precinct remains highly intact to its period of construction and retains a high degree of integrity to the late interwar period in fabric, form and detail. The houses at 514A-516A Neerim Road have discreet rear additions, no. 514A has a garage constructed at the southwest corner, and no. 516 has a small dormer constructed on the southern roof plane. These changes do not diminish the ability to understand and appreciate the place as a finely detailed and cohesive precinct of English Domestic Revival style houses dating from the late interwar period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest

established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Interwar Moderne styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included in the Heritage Overlay of the Glen Eira Planning Scheme.

The Corinan Estate Precinct is of note as a highly intact and cohesive group of middle-class houses that are characteristic of the suburban development that occurred in the interwar period. The Corinan Estate Precinct was developed over a short period of time between 1936 and 1941, by the same developer and displays characteristics of the Interwar English Domestic Revival style.

Interwar residential precincts that include houses displaying characteristics of the English Domestic Revival style that are comparable to the Corinan Estate Precinct include 'Beauville Estate and Environs Precinct' (HO12), 'Bentleigh Residential Precinct' (HO69), 'Bentleigh Heights Estate' (HO169), and a precinct that is recommended for inclusion in the Heritage Overlay of the Glen Eira Planning Scheme, the 'Tudor-Moderne Precinct', as illustrated below:

Beauville Estate Precinct, Murrumbeena, 1934-1936 (HO12):



Figure 11. 3 Gloucester Court, Murrumbeena (Source: GJM Heritage, 2025)



Figure 12. 34 Beauville Avenue, Murrumbeena (Source: GJM Heritage, 2025)



Figure 13. 11 Dalny Road, Murrumbeena (Source: GJM Heritage, 2025)



Figure 14. 33 Beauville, Murrumbeena (Source: GJM Heritage, 2025)



Bentleigh Residential Precinct, Bentleigh (HO69):



Figure 15. 32 Gilbert Grove, Bentleigh (Source: RBA, Glen Eira Heritage Review of Bentleigh and Carnegie Structure Plan Areas (Residential), 2019)



Figure 16. 39 Campbell Street, Bentleigh (Source: Google Street View)

Bentleigh Heights Estate, Bentleigh, 1939-1942 (HO169):



Figure 17. 27 The Highway, Bentleigh (Source: Google Street View)



Figure 18. 31 The Highway, Bentleigh (Source: Google Street View)

Tudor-Moderne Precinct, Glen Huntly, 1934-42 (recommended for inclusion in the HO, Glen Eira Planning Scheme):



Figure 19. 8 Rothschild Street, Glen Huntly (Source: RBA, Glen Eira Heritage Review of Caulfield East & Glen Huntly, 2023)



Figure 20. 15 Rothschild Street, Glen Huntly (Source: RBA, Glen Eira Heritage Review of Caulfield East & Glen Huntly, 2023)

The precincts above all contain streets of highly intact houses dating to the late interwar period, which illustrate the significant suburban development at the time, particularly in the central and southern parts of the City of Glen Eira. As illustrated above, some houses within these precincts display characteristics of the Interwar English Domestic Revival style, including clinker brick construction, steeply pitched tile-clad gabled roof forms, asymmetrical principal elevations, projecting chimney breasts, decorative brickwork and render detailing, and leadlight glazing.

The properties that make up the Corinan Estate Precinct are comparable in architectural quality and integrity to those within the precincts already included in the Heritage Overlay, however in contrast to the above examples, the Corinan Estate Precinct presents as a contiguous row of houses in the Interwar English Domestic Revival style. The group is highly consistent in scale, materiality and detailing and has a distinctive architectural character.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The Corinan Estate Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact row of houses constructed in the late interwar period, the Corinan Estate Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Corinan Estate Precinct is a cohesive and highly intact collection of interwar houses. Designed and constructed by local master builder Clarence Limbrick, the row of houses displays principal characteristics of the Interwar English Domestic Revival style, including single and attic-storey forms, clinker brick and rendered walls, steeply pitched glazed tile-clad roofs, eaveless gabled ends, simply detailed brick chimneys, asymmetrical principal elevations with gabled projecting bays, decorative brickwork, single and grouped timber-framed sash windows, and diamond-patterned leadlight. The Corinan Estate Precinct remains as a highly intact and consistent group of houses in the English Domestic Revival style of the late interwar period.

Criterion E: Importance in exhibition particular aesthetic characteristics

The Corinan Estate Precinct is of aesthetic significance as a highly uniform group of single and attic-storey houses in the English Domestic Revival architectural style, dating to the late interwar period. The highly consistent forms, setbacks and materials – in conjunction with the garden settings – presents as a picturesque and cohesive streetscape with a distinctive architectural character.

Grading and Recommendations

It is recommended that the Corinan Estate Precinct be included in the Heritage Overlay of the Glen Eira Planning Scheme. Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme are as follows:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

The gradings of individual properties within the precinct are as follows:

<i>Number</i>	<i>Address</i>	<i>Grade</i>
514	Neerim Road	Contributory
514A	Neerim Road	Contributory
516	Neerim Road	Contributory
516A	Neerim Road	Contributory

Extent of the Recommended Heritage Overlay

To the extent of the precinct, as shown in Figure 21 below.



Figure 21. Recommended Extent of Heritage Overlay

References

Australian electoral rolls.

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Construction [Sydney, NSW].

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Nearmap ©.

Rate Books (RB), City of Caulfield, East Ward: 1934-35, entries 259-262; 1936-37, entries 268-274; 1937-38, entries 266-272; 1938-39, entries 261-267; 1939-40, entries 263-269; 1942-43, entries 263-269.

South East Water (SEW), Melbourne and Metropolitan Board of Works Drainage Plan.

State Library of Victoria (SLV), images and plans as cited.

The Age.

The Argus.

The Herald.

Corinan Estate Precinct, Murrumbeena Statement of Significance

Heritage Place: Corinan Estate Precinct, 514-516A (even nos.) Neerim Road, Murrumbeena	PS ref no: HOXX
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Figure 1. Houses in the Corinan Estate Precinct, Murrumbeena (L-R, starting top left: 514, 514A, 516, 516A Neerim Road) (GJM Heritage, September 2025)

What is significant?

The Corinan Estate Precinct, 514-516A (even nos.) Neerim Road, Murrumbeena, constructed in 1936-41.

Elements that contribute to the significance of the precinct include:

- Single and attic-storey clinker brick houses designed in the Interwar English Domestic Revival style
- Glazed tile-clad roofs with steeply-pitched, predominantly gabled roof forms, with eaveless gabled ends and main transverse ridgelines
- Rectangular forms
- Tall, simply detailed chimneys, some with projecting chimney breasts
- Asymmetrical principal elevations with gabled and eaveless projecting bays
- Detailing including sections of contrasting render, corbelled brickwork to eaves and decorative brickwork patterning using random slim bricks and header bricks
- Timber framed sash windows arranged singularly or grouped
- Diamond patterned leadlight
- Window shutters.

Features that do not contribute to the significance of the precinct include non-original rear additions and alterations, non-original outbuildings, the garage at no.514A, and fences.

How is it significant?

The Corinan Estate Precinct, Murrumbeena is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Corinan Estate Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact row of houses constructed in the late interwar period, the Corinan Estate Precinct clearly illustrates this important phase of development in the City of Glen Eira (Criterion A)

The Corinan Estate Precinct is a cohesive and highly intact collection of interwar houses. Designed and constructed by local master builder Clarence Limbrick, the row of houses displays principal characteristics of the Interwar English Domestic Revival style, including single and attic-storey forms, clinker brick and rendered walls, steeply pitched glazed tile-clad roofs, eaveless gabled ends, simply detailed brick chimneys, asymmetrical principal elevations with gabled projecting bays, decorative brickwork, single and grouped timber-framed sash windows, and diamond-patterned leadlight. The Corinan Estate Precinct remains as a highly intact and consistent group of houses in the English Domestic Revival style of the late interwar period. (Criterion D)

The Corinan Estate Precinct is of aesthetic significance as a highly uniform group of single and attic-storey houses in the English Domestic Revival architectural style, dating to the late interwar period. The highly consistent forms, setbacks and materials – in conjunction with the garden settings – presents as a picturesque and cohesive streetscape with a distinctive architectural character. (Criterion E)

Primary sources

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

Gradings

Number	Address	Grade
514	Neerim Road	Contributory
514A	Neerim Road	Contributory
516	Neerim Road	Contributory
516A	Neerim Road	Contributory

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

HERITAGE CITATION

LINDSAY AVENUE PRECINCT, MURRUMBEENA



Figure 1. Examples of houses in the Lindsay Avenue Precinct, Murrumbena (L-R, starting top left: 20 Lindsay Avenue, 30 Lindsay Avenue, 37 Lindsay Avenue & 216 Murrumbena Road) (GJM Heritage, September 2025)

DATE: April 2026

Place Type: Residential Precinct	Architect: Not known
Construction Date: c1925-1940	Builder: Not known
Recommendation: Include in the Heritage Overlay	Extent of Overlay: See Figure 37

Precinct History

The houses in the Lindsay Avenue Precinct were constructed in the interwar period, between c1925 and 1940.

In August 1924, Harold G Braund, a clerk of Brighton, along with Murrumbeena estate agents August W P Olsen and Percy L Prior, acquired just over 11¼ acres (4.6ha) on the east side of Murrumbeena Road to the south of Murrumbeena Crescent, which included part of the former Rosstown Railway Line on the south side of Murrumbeena Crescent. The joint owners subdivided the property, creating Lindsay Avenue and residential lots fronting Lindsay Avenue, Murrumbeena Road and Murrumbeena Crescent (Figure 2). Lots were on-sold from January 1925 (LV:V4938/F408).

A 1927 Melbourne and Metropolitan Board of Works (MMBW) detail plan shows that almost half of the lots fronting Lindsay Avenue had been developed by this date, along with two lots fronting Murrumbeena Road (Figure 3). An aerial photograph dated 1931 shows the progress of development within the precinct, with all but three of the lots developed: nos. 16, 21 and 32 Lindsay Avenue remained vacant (Figure 4). The Sands & McDougall Directory indicates that nos. 21 and 32 Lindsay Avenue were constructed by 1940.

A 1945 aerial photograph shows that the precinct was fully developed by this date, except for 16 Lindsay Avenue (Figure 5).

It is noted that houses on the south side of Murrumbeena Crescent and at 212 Murrumbeena Road, lots forming part of the original subdivision, have undergone a high degree of alteration and addition and have therefore been excluded from the heritage precinct.

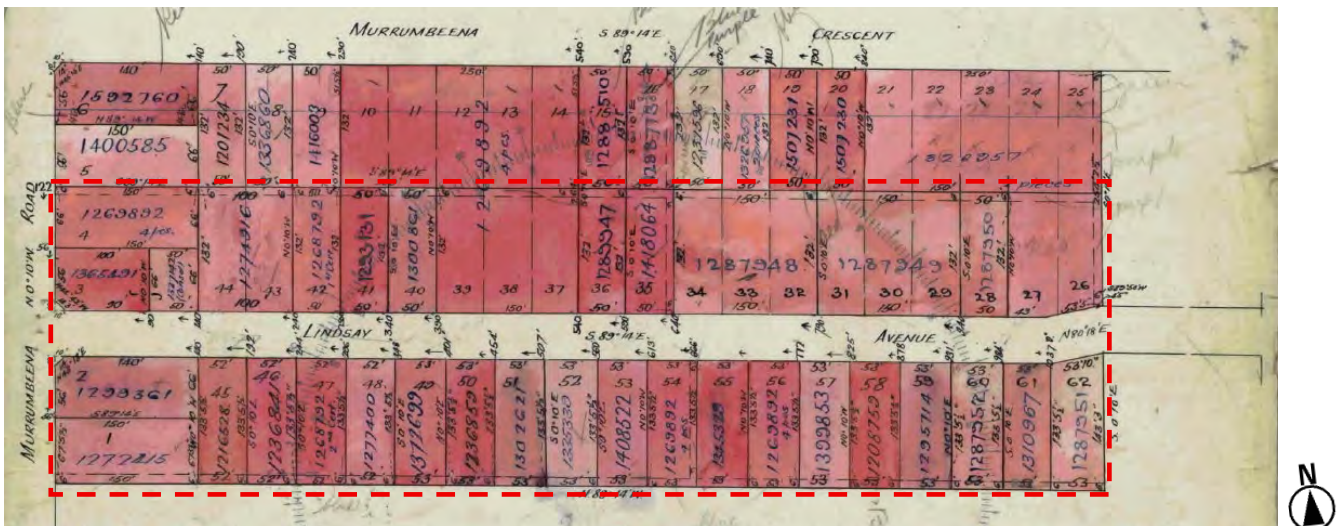


Figure 2. Subdivision plan dated February 1925, creating Lindsay Avenue, under the ownership of Olsen, Prior and Braund. The precinct boundary is indicated by the dashed red line (Source: LP 10497, LV:V4938/F408)

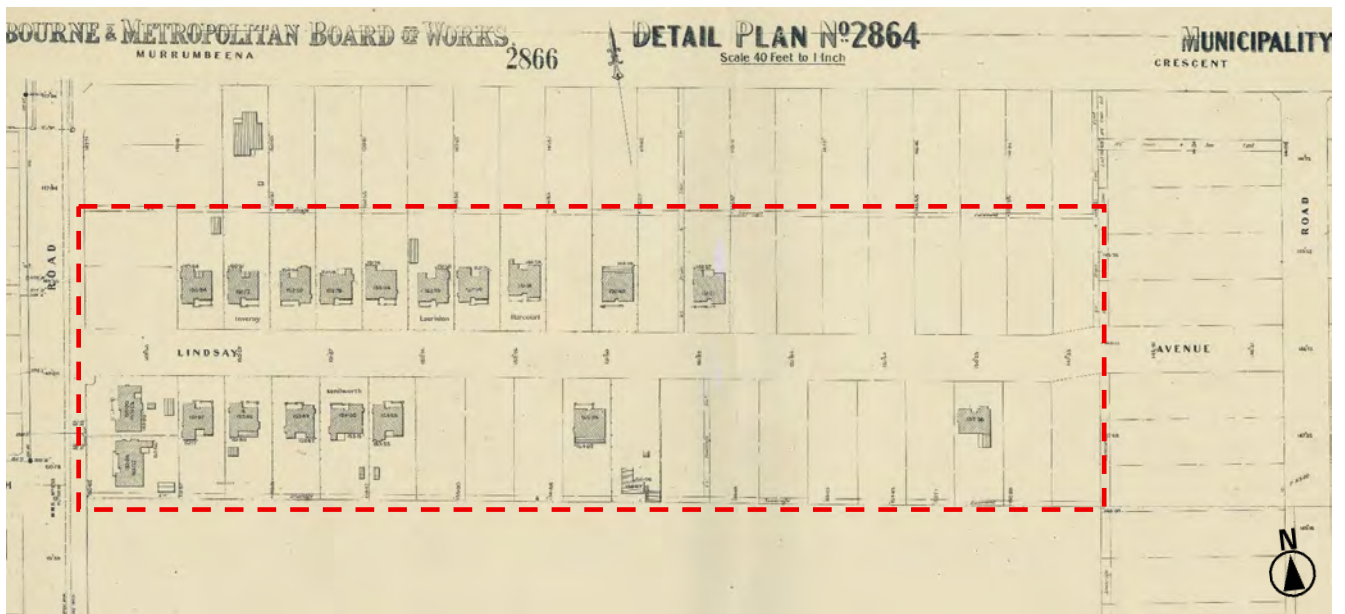


Figure 3. Melbourne and Metropolitan Board of Works Detail Plan No. 2864, dated 1927, showing the extent of development within the precinct (indicated in red) by this date (Source: SLV)

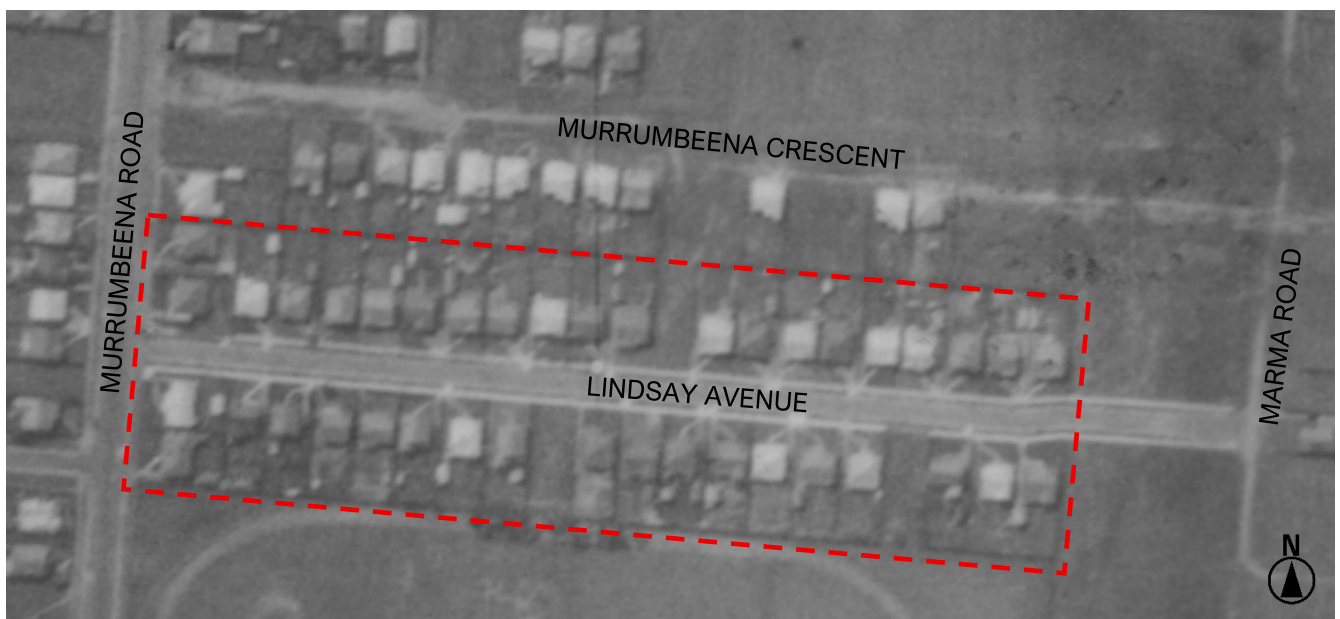


Figure 4. Aerial photograph dated 1931, showing the progress of development within the precinct. Vacant lots are evident at nos. 16, 21 and 32 Lindsay Avenue (Source: Landata Victoria)



Figure 5. Aerial photograph dated 1945, showing development within the precinct – one vacant lot remained at 16 Lindsay Avenue (Source: University of Melbourne, 1945 photo-map 849c1b)

Historical Themes

The place illustrates the following themes as outlined in the *City of Glen Eira Thematic Environmental History [Refresh] 2020*:

- 6 Building towns, cities and the garden state
 - 6.3 Shaping the suburbs
 - 6.7 Making homes for Victorians

Description

The Lindsay Avenue Precinct is located on the east side of Murrumbeena Road and north of the main intersection of North and Murrumbeena roads. It comprises four houses on the east side of Murrumbeena Road (nos. 214, 216, 218 and 220) and 39 houses on the north and south sides of Lindsay Avenue (nos. 1 to 39). Situated on rectangular sites, the houses are generally accessed by driveways adjacent to a side boundary and are set back behind front gardens.

The interwar brick houses are similar in scale and display a range of broadly rectangular forms and a variety of detailing which draws on the Interwar English Domestic Revival and the Interwar Spanish Mission styles. Houses are single-storey, are of brick construction finished with face brick or render, and have tile-clad hipped, gabled or hipped-gable roof forms. Principal elevations are predominantly asymmetrical and common features include projecting gabled or hipped bays to the street elevation; exposed rafter ends; shingling or half-timbering to gable ends; tall simply detailed chimneys; prominent entry porches in a range of forms (including broad arches, substantial masonry piers or colonnettes, and masonry balustrading); angled buttressing to walls and porches; decorative brick detailing to walls, windows, porches and corners; timber-framed windows including tripartite arrangements and windows with projecting frames; and decorative lead-light glazing.

A small number of original low brick fences, some with roughcast render, line the street boundaries.

Alterations include single- and two-storey additions, the construction of carports and garages to side elevations (in some cases by extending the roofline), and the replacement of most original fences. A number of roofs have been re-clad. Houses that are highly altered or were constructed outside the period of significance include nos. 13, 16, 27 and 34 Lindsay Avenue.

Key Features

- Single-storey houses from the interwar period, demonstrating characteristics of the English Domestic Revival and Spanish Mission styles
- Consistent front setbacks within garden settings
- Brick construction, both face brick and rendered brickwork
- Tile-clad hipped, gabled or hipped-gable roof forms
- Predominantly asymmetrical principal elevations, with projecting gabled or hipped bays
- Exposed rafter ends
- Shingling or half-timbering to gable ends
- Tall, simply detailed chimneys
- Prominent entry porches in a range of forms, including broad arches, substantial masonry piers or colonnettes, and masonry balustrading
- Angled buttressing to walls and porches
- Decorative brick detailing to walls, windows, porches and corners
- Timber-framed windows including tripartite arrangements and windows with projecting frames
- Decorative lead-light glazing.



Figure 6. Aerial photograph of the subject properties, February 2026 (Source: Nearmap)



Figure 7. 25 Lindsay Avenue, Murrumbena
(Source: GJM Heritage, September 2025)



Figure 8. 26 Lindsay Avenue, Murrumbena
(Source: GJM Heritage, September 2025)



Figure 9. 31 Lindsay Avenue, Murrumbena
(Source: GJM Heritage, September 2025)



Figure 10. 32 Lindsay Avenue, Murrumbena
(Source: GJM Heritage, September 2025)



Figure 11. 39 Lindsay Avenue, Murrumbeena (Source: GJM Heritage, September 2025)



Figure 12. 214 Murrumbeena Road, Murrumbeena (Source: GJM Heritage, September 2025)

Intactness/Integrity

The Lindsay Avenue Precinct remains highly intact to its period of construction and retains a high degree of integrity to the interwar period in fabric, form and detail. Some residences have undergone some minor alterations, more substantial rear additions, the replacement of roof cladding, and some have new carports or garages constructed to the sides. These changes do not diminish the ability to understand and appreciate the place as a finely detailed and cohesive precinct dating from the interwar period.

Comparative Analysis

The north-western and central portions of the City of Glen Eira initially formed part of the municipality of Caulfield. The north-western suburbs – including St Kilda East, Caulfield and Caulfield North – experienced substantial residential development in the pre-war years, due to their relative proximity to Melbourne and to the earliest established railway stations on the Brighton (now Sandringham) and Gippsland (now Cranbourne/Pakenham/Frankston) lines. In contrast, it was the interwar through to the postwar period that saw the greatest residential growth in both the central suburbs – including Murrumbeena, Carnegie and Caulfield South – and the southern suburbs of the municipality – including McKinnon, Bentleigh and Bentleigh East – the latter located to the south of North Road in the former municipality of Moorabbin.

The bungalow was the dominant house type in the central and southern suburbs in the interwar period, often with an overlay of decorative elements from the popular Spanish Mission, English Domestic Revival and Interwar Moderne styles. Interwar Bungalows remain throughout the central and southern suburbs in varying states of intactness. Precincts of predominantly Interwar Bungalows are also included in the Heritage Overlay of the Glen Eira Planning Scheme.

The Lindsay Avenue Precinct is of note as a highly intact and cohesive group of houses that are characteristic of the suburban development that occurred in the interwar period. This portion of Lindsay Avenue was developed between c1925 and 1940, and the precinct of single-storey brick houses displays a high degree of consistency of scale, materiality and detailing.

The interwar residential precincts that are most comparable to the Lindsay Avenue Precinct include 'Albert Flatman's Estates Precinct' (HO177), 'Beauville Estate Precinct' (HO12), 'Field Street Precinct' (HO188), 'Rose Hill Estate Precinct' (HO168), 'Bentleigh Heights Estate' (HO169) and 'Hillcrest Estate and Environs Precinct' (HO32). These precincts contain comparable streets of highly intact single-storey houses dating to the interwar period as illustrated below:

Albert Flatman's Estates Precinct, Carnegie (HO177):



Figure 13. 63 Shepparson Avenue, Carnegie (Source: Google Street View)



Figure 14. 54 Shepparson Avenue, Carnegie (Source: Google Street View)



Figure 15. 54 Elliott Avenue, Carnegie (Source: Google Street View)



Figure 16. 53 Shepparson Avenue, Carnegie (Source: Google Street View)

Beauville Estate Precinct, Murrumbena, 1934-1936 (HO12):



Figure 17. 15 Dalny Road, Murrumbena (Source: GJM Heritage, August 2025)



Figure 18. 7 Beauville Avenue, Murrumbena (Source: GJM Heritage, August 2025)



Figure 19. 1 Gloucester Court, Murrumbena (Source: GJM Heritage, August 2025)



Figure 20. 15 Beauville Avenue, Murrumbena (Source: GJM Heritage, August 2025)

Field Street Precinct, McKinnon (HO188):



Figure 21. 1 Field Street, McKinnon (Source: Google Street View)



Figure 22. 5 Field Street, McKinnon (Source: Google Street View)



Figure 23. 3 Field Street, McKinnon (Source: Google Street View)



Figure 24. 14 Field Street, McKinnon (Source: Google Street View)

Rose Hill Estate Precinct, Bentleigh (HO168):



Figure 25. 16 Rose Street, Bentleigh (Source: Google Street View)



Figure 26. 259 Centre Road, Bentleigh (Source: Google Street View)



Figure 27. 21 Rose Street, Bentleigh (Source: Google Street View)



Figure 28. 12 Rose Street, Bentleigh (Source: Google Street View)

Bentleigh Heights Estate, Bentleigh, 1939-1942 (HO169):



Figure 29. 27 The Highway, Bentleigh (Source: Google Street View)



Figure 30. 4 The Highway, Bentleigh (Source: Google Street View)



Figure 31. 13 The Highway, Bentleigh, Bentleigh (Source: Google Street View)

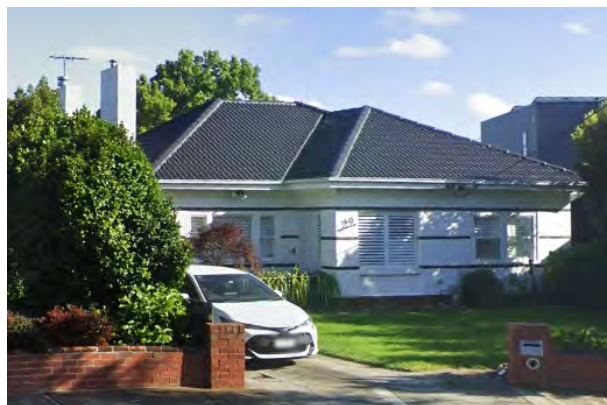


Figure 32. 29 The Highway, Bentleigh (Source: Google Street View)

Hillcrest Estate and Environs Precinct, Caulfield South, 1933-34 (HO32):



Figure 33. 1 Hillcrest Avenue, Caulfield South (Source: Google Street View)



Figure 34. 11 Hillcrest Avenue, Caulfield South (Source: Google Street View)



Figure 35. 8 Hillcrest Avenue, Caulfield South (Source: Google Street View)



Figure 36. 5 Hillcrest Avenue, Caulfield South (Source: Google Street View)

The above examples all contain streets of highly intact houses dating to the interwar period, which illustrate the significant suburban development at this time, particularly in the central and southern parts of the City of Glen Eira. Houses within these precincts display principal characteristics of the interwar period including features of the English Domestic Revival and Spanish Mission styles. The resulting interwar streetscapes in these precincts display a high degree of integrity and are highly consistent in scale, materiality and detailing and have a distinctive architectural character.

The Lindsay Avenue Precinct is comparable in architectural quality and consistency to these precincts already included in the Heritage Overlay.

Assessment Against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay* (August 2018).

Criterion A: Importance to the course or pattern of our cultural or natural history.

The Lindsay Avenue Precinct has strong associations with the major interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses constructed in the interwar period, the Lindsay Avenue Precinct clearly illustrates this important phase of development in the City of Glen Eira.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments.

The Lindsay Avenue Precinct is a cohesive and highly intact collection of interwar houses. The single-storey houses display the principal characteristics of the Interwar English Domestic Revival and Interwar Spanish Mission styles, including brick construction finished with face brick or render, tile-clad hipped, gabled or hipped-gable roof forms, exposed rafter ends, tall simply detailed chimneys, predominantly asymmetrical forms with a projecting gabled or hipped bay, prominent entrance porches of varying forms, decorative brick detailing, timber-framed windows including tripartite arrangements and windows with projecting frames and decorative lead-light glazing. The Lindsay Avenue Precinct remains as a highly intact and consistent group of houses in the English Domestic Revival and Interwar Spanish Mission styles of the interwar period.



Criterion E: Importance in exhibition particular aesthetic characteristics

The Lindsay Avenue Precinct is of aesthetic significance as a highly unified group of single-storey houses drawing on the English Domestic Revival and Spanish Mission styles of the interwar period. The highly consistent forms, setbacks and materials – in conjunction with the garden settings – presents as a picturesque and cohesive streetscape and has a distinctive architectural character.

Grading and Recommendations

It is recommended that the Lindsay Avenue Precinct be included in the Heritage Overlay of the Glen Eira Planning Scheme. Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Glen Eira Planning Scheme are as follows:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	No
Prohibited uses permitted?	No
Aboriginal heritage place?	No

The gradings of individual properties within the precinct are as follows:

Gradings

<i>Number</i>	<i>Address</i>	<i>Grade</i>
1	Lindsay Avenue	Contributory
2	Lindsay Avenue	Contributory
3	Lindsay Avenue	Contributory
4	Lindsay Avenue	Contributory
5	Lindsay Avenue	Contributory
6	Lindsay Avenue	Contributory
7	Lindsay Avenue	Contributory
8	Lindsay Avenue	Contributory
9	Lindsay Avenue	Contributory
10	Lindsay Avenue	Contributory
11	Lindsay Avenue	Contributory
12	Lindsay Avenue	Contributory
13	Lindsay Avenue	Non-contributory
14	Lindsay Avenue	Contributory
15	Lindsay Avenue	Contributory
16	Lindsay Avenue	Non-contributory

<i>Number</i>	<i>Address</i>	<i>Grade</i>
17	Lindsay Avenue	Contributory
18	Lindsay Avenue	Contributory
19	Lindsay Avenue	Contributory
20	Lindsay Avenue	Contributory
21	Lindsay Avenue	Contributory
22	Lindsay Avenue	Contributory
23	Lindsay Avenue	Contributory
24	Lindsay Avenue	Contributory
25	Lindsay Avenue	Contributory
26	Lindsay Avenue	Contributory
27	Lindsay Avenue	Non-contributory
28	Lindsay Avenue	Contributory
29	Lindsay Avenue	Contributory
30	Lindsay Avenue	Contributory
31	Lindsay Avenue	Contributory
32	Lindsay Avenue	Contributory
33	Lindsay Avenue	Contributory
34	Lindsay Avenue	Non-contributory
35	Lindsay Avenue	Contributory
36	Lindsay Avenue	Contributory
37	Lindsay Avenue	Contributory
38	Lindsay Avenue	Contributory
39	Lindsay Avenue	Contributory
214	Murrumbeena Road	Contributory
216	Murrumbeena Road	Contributory
218	Murrumbeena Road	Contributory
220	Murrumbeena Road	Contributory

Extent of the Recommended Heritage Overlay

To the extent of the precinct, as shown in Figure 37 below:



Figure 37. Recommended Extent of Heritage Overlay

References

Built Heritage, *City of Glen Eira Thematic Environmental History [Refresh] 2020*, August 2020.

Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Melbourne and Metropolitan Board of Works (MMBW) Detail Plan No. 2864, dated 1927.

Nearmap ©.

Sands & McDougall Directory.

State Library of Victoria (SLV), images and plans as cited.

The Argus.

The Herald.

University of Melbourne, 1945 photo-map 849c1b.

Lindsay Avenue Precinct, Murrumbeena Statement of Significance

Heritage Place: Lindsay Avenue Precinct, 1-39 (odd and even nos.) Lindsay Avenue & 214-220 (even nos.) Murrumbeena Road, Murrumbeena

PS ref no: HOXX



Figure 1. Examples of houses in the Lindsay Avenue Precinct, Murrumbeena (L-R, starting top left: 20 Lindsay Avenue, 30 Lindsay Avenue, 37 Lindsay Avenue & 216 Murrumbeena Road) (GJM Heritage, September 2025)

What is significant?

The Lindsay Avenue Precinct at 1-39 (odd and even nos.) Lindsay Avenue & 214-220 (even nos.) Murrumbeena Road, Murrumbeena, constructed in c1925-1940.

Elements that contribute to the significance of the precinct include:

- Single-storey houses from the interwar period, demonstrating characteristics of the English Domestic Revival and Spanish Mission styles
- Consistent front setbacks within garden settings
- Brick construction, both face brick and rendered brickwork
- Tile-clad hipped, gabled or hipped-gable roof forms
- Predominantly asymmetrical principal elevations, with projecting gabled or hipped bays
- Exposed rafter ends
- Shingling or half-timbering to gable ends
- Tall, simply detailed chimneys
- Prominent entry porches in a range of forms, including broad arches, substantial masonry piers or colonnettes, and masonry balustrading
- Angled buttressing to walls and porches
- Decorative brick detailing to walls, windows, porches and corners
- Timber-framed windows including tripartite arrangements and windows with projecting frames
- Decorative lead-light glazing.

Properties that do not contribute to the precinct are nos. 13, 16, 27 and 34 Lindsay Avenue. Features that do not contribute to the significance of the precinct include non-original additions and alterations, non-original outbuildings, non-original carports and garages, and later fences.

How is it significant?

The Lindsay Avenue Precinct, Murrumbeena is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Lindsay Avenue Precinct has strong associations with the major interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses constructed in the interwar period, the Lindsay Avenue Precinct clearly illustrates this important phase of development in the City of Glen Eira. (Criterion A)

The Lindsay Avenue Precinct is a cohesive and highly intact collection of interwar houses. The single-storey houses display the principal characteristics of the Interwar English Domestic Revival and Interwar Spanish Mission styles, including brick construction finished with face brick or render, tile-clad hipped, gabled or hipped-gable roof forms, exposed rafter ends, tall simply detailed chimneys, predominantly asymmetrical forms with a projecting gabled or hipped bay, prominent entrance porches of varying forms, decorative brick detailing, timber-framed windows including tripartite arrangements and windows with projecting frames and decorative lead-light glazing. The Lindsay Avenue Precinct remains as a highly intact and consistent group of houses in the English Domestic Revival and Interwar Spanish Mission styles of the interwar period. (Criterion D)

The Lindsay Avenue Precinct is of aesthetic significance as a highly unified group of single-storey houses drawing on the English Domestic Revival and Spanish Mission styles of the interwar period. The highly consistent forms, setbacks and materials – in conjunction with the garden settings – presents as a picturesque and cohesive streetscape and has a distinctive architectural character. (Criterion E)

Primary sources

City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

Gradings

Number	Address	Grade
1	Lindsay Avenue	Contributory
2	Lindsay Avenue	Contributory
3	Lindsay Avenue	Contributory
4	Lindsay Avenue	Contributory
5	Lindsay Avenue	Contributory
6	Lindsay Avenue	Contributory
7	Lindsay Avenue	Contributory
8	Lindsay Avenue	Contributory
9	Lindsay Avenue	Contributory
10	Lindsay Avenue	Contributory
11	Lindsay Avenue	Contributory
12	Lindsay Avenue	Contributory
13	Lindsay Avenue	Non-contributory

14	<i>Lindsay Avenue</i>	<i>Contributory</i>
15	<i>Lindsay Avenue</i>	<i>Contributory</i>
16	<i>Lindsay Avenue</i>	<i>Non-contributory</i>
17	<i>Lindsay Avenue</i>	<i>Contributory</i>
18	<i>Lindsay Avenue</i>	<i>Contributory</i>
19	<i>Lindsay Avenue</i>	<i>Contributory</i>
20	<i>Lindsay Avenue</i>	<i>Contributory</i>
21	<i>Lindsay Avenue</i>	<i>Contributory</i>
22	<i>Lindsay Avenue</i>	<i>Contributory</i>
23	<i>Lindsay Avenue</i>	<i>Contributory</i>
24	<i>Lindsay Avenue</i>	<i>Contributory</i>
25	<i>Lindsay Avenue</i>	<i>Contributory</i>
26	<i>Lindsay Avenue</i>	<i>Contributory</i>
27	<i>Lindsay Avenue</i>	<i>Non-contributory</i>
28	<i>Lindsay Avenue</i>	<i>Contributory</i>
29	<i>Lindsay Avenue</i>	<i>Contributory</i>
30	<i>Lindsay Avenue</i>	<i>Contributory</i>
31	<i>Lindsay Avenue</i>	<i>Contributory</i>
32	<i>Lindsay Avenue</i>	<i>Contributory</i>
33	<i>Lindsay Avenue</i>	<i>Contributory</i>
34	<i>Lindsay Avenue</i>	<i>Non-contributory</i>
35	<i>Lindsay Avenue</i>	<i>Contributory</i>
36	<i>Lindsay Avenue</i>	<i>Contributory</i>
37	<i>Lindsay Avenue</i>	<i>Contributory</i>
38	<i>Lindsay Avenue</i>	<i>Contributory</i>
39	<i>Lindsay Avenue</i>	<i>Contributory</i>
214	<i>Murrumbeena Road</i>	<i>Contributory</i>
216	<i>Murrumbeena Road</i>	<i>Contributory</i>
218	<i>Murrumbeena Road</i>	<i>Contributory</i>
220	<i>Murrumbeena Road</i>	<i>Contributory</i>

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

BACKGROUND INFORMATION

BEAUVILLE ESTATE PRECINCT, MURRUMBEENA (HO12)



Figure 1. Examples of houses in the Beauville Estate Precinct (L-R, starting top left: 15 Dalny Road, 7 Beauville Avenue, 1 Gloucester Court and 15 Beauville Avenue, Murrumbeena) (GJM Heritage, August 2025)

DATE: April 2026

Place Type: Mixed Residential & Commercial Precinct	Architect: Edward Gurney (A V Jennings Construction Co.)
Construction Date: 1934-1936	Builder: William Vine (A V Jennings Construction Co.)

Precinct History

Beauville Estate in Murrumbeena was the first large housing estate undertaken by the A V Jennings Construction Co., developed between 1934 and 1936 (Ward 1996:79; Built Heritage 2020:82). The development comprised over 60 brick villas, a row of five shops on Murrumbeena Road, six tennis courts and clubrooms (Ward 1996:78; *Herald*, 30 Nov 1939:42).

The land upon which Beauville Estate was established was previously owned by Thomas Reid, a Murrumbeena market gardener. Reid owned just over 13¼ acres on the northeast corner of Murrumbeena and Dalny roads, his house and dairy was located at the current 5-5A Dalny Road (Figure 6 - Figure 7). In the early 1930s, Reid subdivided a majority of the property, retaining 5-5A Dalny Road. The Reid family retained ownership of 5-5A Dalny Road until at least the 1960s, constructing the present buildings in the interwar period; in 2026 this property serves as Rovira Friendship House (LV:V3408/F588; SM).

In 1935 Reid sold a subdivided lot at the corner of Murrumbeena and Dalny roads to the Catholic Church who had already established St Patrick's church and school at the site (Figure 6 - Figure 7) (LV:V3408/F588; SM).

Albert Victor Jennings, described as a contractor of McKinnon at this date, purchased the majority of Reid's subdivided land (totalling just under 11¼ acres/4.8ha) in July 1934 (Figure 7) (LV:V5934/F735; V3408/F588). Jennings established Beauville Avenue and Gloucester Court and began to develop the newly subdivided residential lots as part of Beauville Estate (Figure 8).

By late 1934, three villas had been erected in Beauville Avenue, one in Murrumbeena Road and one in Dalny Road. The majority of houses followed in 1935 with another 20 constructed in 1936 (Ward 1996:78). The developed properties began to be transferred to the new owners from February 1935 (LV:V5934/F735).

Jennings purchased additional lots in Murrumbeena in November 1934 on the southwest corner of Lindsay Avenue and Marma Road, with a view to continuing Beauville Avenue through to Marma Road. Sufficient land, however, could not be obtained and Beauville Avenue was terminated in a court with the houses at 40-44 Lindsay Avenue (Ward 1996:78; LV:V5929/F752).

The houses within the estate were of brick construction with consistent setbacks, consistent low brick fences to the street boundaries and matching side boundary fences to front gardens and driveways, providing a uniformity to the streetscapes. A V Jennings Construction Co. advertised Beauville Estate in June 1935, describing the "64 new century brick homes" being built, noting that "each home has an individuality, yet each fits into one artistic and fascinating picture set in picturesque surroundings...", the estate also including a "new shopping centre" (*Sun News-Pictorial*, 1 Jun 1935:31).

An advertisement published in the September 1935 edition of *The Australian Home Beautiful* described Beauville Estate:

The whole scheme of 65 new century all-brick homes, together with modern Tennis Courts, with Dressing and Social Rooms, newly-constructed roads, concrete footpaths, channels and crossings, in Beauville Avenue and Gloucester Court, and concrete footpaths and crossings in Murrumbeena and Dalny Roads, will be completed in the early part of 1936.

Homes are being commenced at the rate of one a week. This gives intending buyers the opportunity of inspecting a building at every stage of construction.

The advertisement further noted that “the company employs an experienced Architect, and every design is different,” and continued to describe the features of the brick houses, the front and side boundary brick fences, and garage at each house (AHB, Vol. 13 No. 9, 2 Sep 1935:55). A photograph of completed houses within the estate was published in a 1935 auction notice for nearby Ardyne Estate to illustrate nearby development (Figure 11).

An advertisement, dated April 1936, described the “Beautiful homes each with an individuality, gardens made, tree planted roads, paths, crossings, the modern Beauville shopping centre and area for tennis courts and social rooms to be constructed shortly” (*Herald*, 18 Apr 1936:42).

The house at 30 Beauville Avenue was unique in style within the estate, adopting an International style that was featured in the Building Industry Congress Board of Publicity's Centenary Houses Exhibition of 1934 (Ward 1996:78).

The house at 10 Beauville Avenue was built for the Colonial Gas Association Ltd (who supplied gas to Caulfield's East Riding, i.e. Carnegie and Murrumbeena). The house was fitted out with the latest gas appliances and opened to the public as the Colonial Gas Association 'display house and home service centre' (Figure 9) (*Dandenong Journal*, 16 January 1936, p 3, cited in Built Heritage 2020:73). Various elements of the company's gas equipment were standardly fitted in houses throughout the estate by Jennings (AHB, Vol. 13, No. 10, 1 October 1935:63).

The 'shopping centre' was developed by AV Jennings in 1935-1936 on the west side of Murrumbeena Road, comprising a row of five two-storey shops and residences at nos. 229, 229A, 231, 231A and 233, which were then individually on-sold (RB). An advertisement for Beauville Estate published in July 1935 noted that a row of “eight new two-storey shops and dwellings” was under construction (Figure 12) (AHB, Vol. 13, No. 7, 1 July 1935:49). While Jennings also owned the land at no. 227 to the north, he did not develop it and on-sold the vacant lot by the mid-1940s, having constructed a row of just five shops. In 1936 the five shops were occupied by a butcher, fruiter, confectioner, dental mechanic and chemist (RB). The row is evident on a 1945 aerial photograph (Figure 13).

Jennings established six tennis courts to the rear of 7-17 Dalny Road, with clubrooms located to the rear of 5 Dalny Road (evident in 1945 at Figure 13; since replaced). The 'Beauville Tennis Courts' were listed in the Sands & McDougall Directories on Dalny Road in 1940. In 2026 the courts are called the 'Beauville Estate Heritage Tennis Centre'.

Known alterations to houses within the precinct include single- and two-storey additions, the construction of new carports and garages to some side elevations (sometimes with an extension of the verandah roof line), and the replacement of some original fences. A number of roofs have been re-clad and some windows to principal elevations have been replaced. No original dwellings within the precinct have been demolished. The original tennis clubrooms at 1 (part) Dalny Road have been removed (and since replaced) and the tennis courts have undergone surface upgrades.

The shopfronts of the commercial premises on Murrumbeena Road have been altered, however no. 231A remains partially intact (retains the tiled recessed entry and metal-finished window frames). The first-floor window has been replaced at 229A Murrumbeena Road.

AV Jennings

Sir Albert Victor Jennings (1896–1993) founded the A V Jennings Construction Co. in 1932. Following service in World War I, Jennings worked as an auctioneer and real estate agent in Glen Huntly. In the early 1930s, with the housing market at a standstill due to the economic Depression, Jennings identified a new concept in home building – the construction of small estates where houses were pre-sold prior to construction. This approach reduced the high capital costs required by Jennings to execute a project while simultaneously allowing owners

some input into the design process. Jennings worked with in-house architect Edward Gurney, and builder William Vine, on his estates (Built Heritage 2020:62-63; Ward 1996:73; Goad 1992:144).

Jenning's first project was the small-scale Hillcrest Estate in Caulfield South (1933-34; HO32, Glen Eira), followed by Beauville Estate in Murrumbeena (1934-36; HO12, Glen Eira) as his first substantial estate development. Beaumont Estate in Ivanhoe (1935-1937; HO4, Banyule) and Beauview Estate in Ivanhoe East (1939; HO91, Banyule) followed.

Due to wartime restrictions on residential construction, A V Jennings undertook mostly government contracts in the 1940s. In 1951 the public company, A V Jennings Industries (Australia) Ltd, was established, and four years later the company re-launched its private housing programme (Heritage Alliance 2008:21; Garden 2017). Later residential estates developed by A V Jennings included Trentwood Estate in Balwyn North (1957-60) and Karingal Estate in Frankston (1961-63).

By the postwar period, A V Jennings Industries was one of the most prolific homebuilding companies in Victoria and Australia, with branches in each State and the Australian Capital Territory. Appealing designs offering good value for money, well-planned community developments, display villages, and a number of innovative marketing techniques contributed to the success of the business (Garden 2017). A V Jennings continues as one of Australia's largest home builders.

Description

The Beauville Estate Precinct is located north of the main intersection of North and Murrumbeena roads. It comprises houses located on the east side of Murrumbeena Road, both sides of Beauville Avenue and Gloucester Court, the north side of Dalny Road and three houses on the south side of Lindsay Avenue at the corner of Marma Road; a row of five commercial properties on the west side of Murrumbeena Road; and six tennis courts which are located to the rear of residential allotments in Beauville Avenue and Dalny Road. Situated on rectangular sites, the houses are accessed by driveways at a side boundary and are consistently set back behind front gardens.

The interwar houses are similar in scale and display a range of broadly rectangular forms and a variety of detailing which principally draws on the Interwar English Domestic Revival and Interwar Moderne styles. Houses are single-storey dwellings of brick construction, finished with face brick or render, with tile-clad hipped and gabled roofs of various forms. Principal elevations are asymmetrical and common features include projecting gabled or hipped bays to the street elevation, prominent entry porches with a range of forms and opening profiles (including shallow pointed arches and flat-roofed curved porches), tall simply detailed chimneys, prominent chimney breasts, tripartite timber-framed windows, corner windows, and decorative brick detailing to windows, porch entries, corners and front gable ends. House names in cast cement are displayed on the brick walls of a small number of houses.

Alterations include single- and two-storey additions, the construction of carports and garages to side elevations (sometimes with an extension of the verandah roof line), the replacement of a small number of windows to principal elevations, and the recladding of roofs. Original low brick front fences line the street boundaries and the front side boundaries between many of the properties.

Accessible from Dalny Road, the tennis courts remain in their original location but do not appear to retain any original fabric and the original clubrooms have been replaced.

The group of five two-storey commercial premises draw on the Interwar Moderne style, with cream brick upper elevations featuring an unadorned stepped parapet, contrasting bands of dark brickwork and sets of tripartite steel-framed windows (replaced at no. 229A). At street level, shopfronts have generally been altered however the tiled recessed entry and metal window framing remain at no. 231A.

Key Features:

Houses

- Single-storey houses from the interwar period, demonstrating characteristics of the Interwar English Domestic Revival and Interwar Moderne styles
- Consistent front setbacks
- Brick construction, finished in both face brick and rendered brickwork
- Tile-clad hipped and gabled roof forms
- Asymmetrical principal elevations, with projecting gables or hipped bays
- Prominent entry porches in a range of forms and opening profiles, including shallow pointed arches and flat-roofed curved porches
- Tall, simply detailed chimneys and prominent chimneys breasts
- Tripartite timber-framed windows and corner windows
- Decorative brick detailing to windows, porch entries, corners and front gable ends, including corbelling
- Cast cement house names to brick walls of some houses
- Original low brick front fences at the street boundaries and front side boundaries between properties
- Original brick garages to rear sides of properties.

Commercial properties

- Two-storey row of five commercial properties from the interwar period, demonstrating characteristics of the Interwar Moderne style
- Cream brick upper-elevations with unadorned stepped parapet and contrasting bands of dark brickwork
- Sets of tripartite steel-framed windows to the first floor of properties (replaced at no. 229A)
- Original recessed entry with floor tiles and metal window framing retained at no. 231A.

Other

- Location of the tennis courts.



Figure 2. The row of five shops at 229-233 Murrumbeena Road (GJM Heritage, January 2026)



Figure 3. Tennis courts to the rear of 7-17 Dalny Road (GJM Heritage, August 2025)



Figure 4. (Later) tennis clubrooms to the rear of 5 Dalny Road (GJM Heritage, August 2025)



Figure 5. Aerial photograph of the subject properties, February 2026 (Source: Nearmap)



Integrity/Intactness

The Beauville Estate Precinct remains highly intact to its period of construction and retains a high degree of integrity to the interwar period in fabric, form and detail. Some residences have undergone minor alterations or have more substantial rear additions, some windows to principal elevations have been replaced, roofs have been reclad, and some new carports or garages have been constructed to the sides of residences (some of which are formed by an extension of the verandah roof line). The associated commercial buildings at 229-233 Murrumbeena Road remain substantially intact to their period of construction and retain a high degree of integrity to the interwar period. Shopfronts have generally been altered and the first-floor window at no. 229A has been replaced. The fabric of the tennis courts has been renewed over time and the original clubrooms have been replaced. These changes do not diminish the ability to understand and appreciate the precinct as a finely detailed and cohesive collection of houses with historically associated tennis courts and commercial buildings, which form an integrated development dating from the interwar period.

Gradings

<i>Number</i>	<i>Address</i>	<i>Grade</i>
1	Beauville Avenue	Contributory
2	Beauville Avenue	Contributory
3	Beauville Avenue	Contributory
4	Beauville Avenue	Contributory
5	Beauville Avenue	Contributory
6	Beauville Avenue	Contributory
7	Beauville Avenue	Contributory
8	Beauville Avenue	Contributory
9	Beauville Avenue	Contributory
10	Beauville Avenue	Contributory
11	Beauville Avenue	Contributory
11A	Beauville Avenue	Contributory
12	Beauville Avenue	Contributory
14	Beauville Avenue	Contributory
15	Beauville Avenue	Contributory
16	Beauville Avenue	Contributory
17	Beauville Avenue	Contributory
18	Beauville Avenue	Contributory
19	Beauville Avenue	Contributory
20	Beauville Avenue	Contributory
21	Beauville Avenue	Contributory
22	Beauville Avenue	Contributory

<i>Number</i>	<i>Address</i>	<i>Grade</i>
23	Beauville Avenue	Contributory
24	Beauville Avenue	Contributory
25	Beauville Avenue	Contributory
26	Beauville Avenue	Contributory
27	Beauville Avenue	Contributory
28	Beauville Avenue	Contributory
29	Beauville Avenue	Contributory
30	Beauville Avenue	Contributory
31	Beauville Avenue	Contributory
32	Beauville Avenue	Contributory
33	Beauville Avenue	Contributory
34	Beauville Avenue	Contributory
35	Beauville Avenue	Contributory
36	Beauville Avenue	Contributory
37	Beauville Avenue	Contributory
39	Beauville Avenue	Contributory
1 (part)	Dalny Road (tennis clubrooms)	Non-contributory
5-17R	Dalny Road (tennis courts)	Contributory
5-5A	Dalny Road (current Rovira Friendship House)	Contributory
7	Dalny Road	Contributory
9	Dalny Road	Contributory
11	Dalny Road	Contributory
13	Dalny Road	Contributory
15	Dalny Road	Contributory
17	Dalny Road	Contributory
19	Dalny Road	Contributory
21	Dalny Road	Contributory
23	Dalny Road	Contributory
25	Dalny Road	Contributory
1	Gloucester Court	Contributory
2	Gloucester Court	Contributory
3	Gloucester Court	Contributory
4	Gloucester Court	Contributory

<i>Number</i>	<i>Address</i>	<i>Grade</i>
6	Gloucester Court	Contributory
40	Lindsay Avenue	Contributory
42	Lindsay Avenue	Contributory
44	Lindsay Avenue	Contributory
222	Murrumbeena Road	Contributory
224	Murrumbeena Road	Contributory
226	Murrumbeena Road	Contributory
228	Murrumbeena Road	Contributory
229	Murrumbeena Road (shop & residence)	Contributory
229A	Murrumbeena Road (shop & residence)	Contributory
230	Murrumbeena Road	Contributory
231	Murrumbeena Road (shop & residence)	Contributory
231A	Murrumbeena Road (shop & residence)	Contributory
232	Murrumbeena Road	Contributory
233	Murrumbeena Road (shop & residence)	Contributory

Recommendations

It is recommended that the name of the precinct be changed from 'Beauville Estate and Environs Precinct' to 'Beauville Estate Precinct'. All houses, shops and recreational areas included in the extent of the Heritage Overlay formed part of A V Jennings' original 1934 Beauville Estate and the addition of 'Environs' is therefore not required.

It is recommended that the 'Outbuildings or fences not exempt under Clause 43.01-4' be triggered to say 'Yes – original brick fences and garages to residential properties' as existing low brick front fences within the precinct and brick garages are contemporary with the residences and form part of the precinct's significance.

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Solar energy system controls?	Yes
Outbuildings or fences not exempt under Clause 43.01-4?	Yes – original front brick fences and brick garages
Prohibited uses permitted?	No
Aboriginal heritage place?	No

References

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Landata Victoria (LV):

Central Plan Office, Historical Aerial Photography

Certificates of Title as cited.

Nearmap ©.

Rate Books (RB), City of Caulfield, East Ward: 1934-35, entries 5760, 5761; 1935-36, entries 5792-5799; 1936-37, entries 5865-5872; 1937-38, entries, 5914-5921; 1944-45, entries 6105-6112.

Sands and McDougall (SM) Directory.

State Library of Victoria (SLV), images and plans as cited.

The Australian Home Beautiful (AHB).

The Herald.

The Sun News-Pictorial [Melb., Vic.].

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Ward, Andrew, *Glen Eira Heritage Management Plan*, Volume 2, 1996.



Historic Images and Plans



Figure 6. Historical aerial dated 1931, showing the largely vacant land on the northeast corner of Murrumbeena and Dalny roads, with the exception of St Patricks church and school building, and the Reid house, both on the north side of Dalny Road (Source: Landata Victoria)

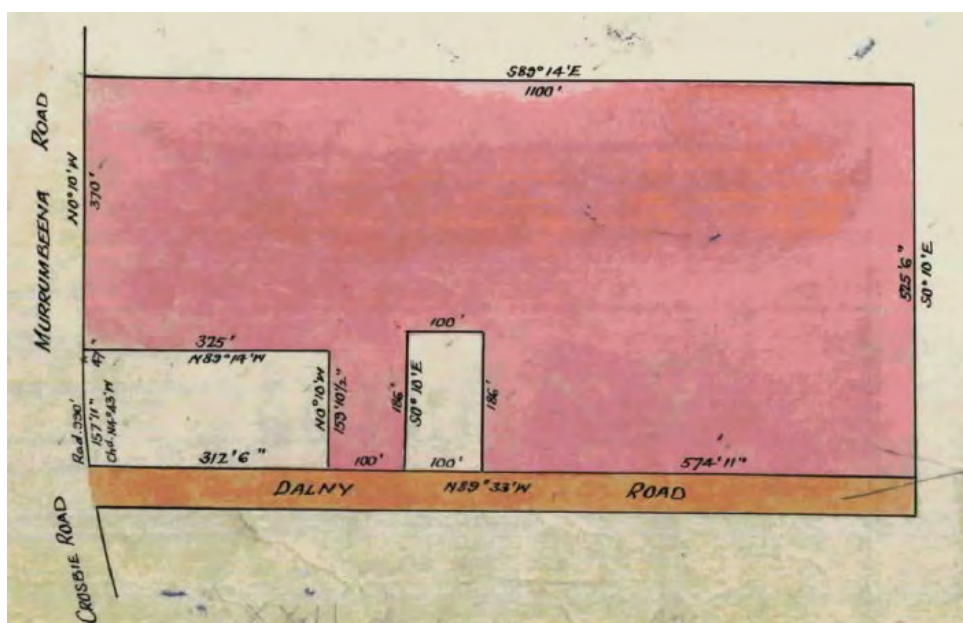


Figure 7. Land acquired by Albert Victor Jennings in July 1934 (Source: Landata Victoria, V5934/F735)



Figure 8. Subdivision plan of Beauville Estate by owner A V Jennings, dated February 1935 (Source: Landata Victoria, LP 13891, V5934/F735)



Figure 9. Photograph of the Display House and Home Service Centre of The Colonial Gas Association Ltd in Beauville Estate, published in 1935, which remains at 10 Beauville Avenue (Source: The Australian Home Beautiful, Vol. 13, No. 10, 1 October 1935:63)



Figure 10. Photograph of 32 Beauville Avenue, published in AV Jennings' publication 'Better Homes' (Source: cited in University of Melbourne Architectural Atelier, 2006:15)



Figure 11. Photograph of 226 Murrumbeena Road (right) and the south side of Beauville Avenue, published in a 1935 auction notice for Ardyne Estate, Murrumbeena, to illustrate existing nearby development (Source: SLV, ID 9911262053607636)

PROGRESSIVE EFFICIENT PLANNING—YES

We have made the
Plans to Suit You

**YOU CAN OWN
Your Own Home**

*On terms to suit your
income.*



BEAUVILLE ESTATE (City of Caulfield)

MURRUMBEENA ROAD—ON THE HILL

64 NEW CENTURY BRICK HOMES

THE ADVANTAGES

BEAUVILLE'S NEW SHOPPING CENTRE



NOW UNDER CONSTRUCTION

Eight New Two-Storey Shops and Dwellings
A 100 per cent. investment. Will sell singly or as one block.

of our research in modern architecture makes inspection of Beauville Estate (Caulfield City) a valued object lesson in sub-divisional planning and modern home styles, which includes public tennis courts with modern social and dressing rooms.

PRICES for exclusive double or triple homes are £950, £975, £995, £1025, £1050, £1075, £1095, £1435, £1950.

STANDARD FITTINGS include the latest built-in baths, finest hot water service (guaranteed for 10 years), stainless steel sink, sliding doors and numerous luxury fittings that have previously been considered impossible to obtain in homes much higher in cost.

LAND is included in PURCHASE PRICE and all Roads, Footpaths, Crossings, Sewerage, etc., PAID for by us.

A. V. JENNINGS CONSTRUCTION CO.

Phone UM1762 all hours, or inspection at any time—office on the Estate

(Mention The Australian Home Beautiful)

Figure 12. Advertisement published in *The Australian Home Beautiful* in July 1935, with a photo of 14 Beauville Avenue and an illustration of a row of eight proposed shops; five of which were constructed (Source: *The Australian Home Beautiful*, Vol. 13, No. 7, 1 July 1935:49)



Figure 13. Historical aerial photograph dated 1945, showing the completed estate development by AV Jennings. The original clubrooms are evident to the rear of Reid's house at 5-5A Dalny Road. The precinct boundary is indicated in red (Source: Landata Victoria)

Beauville Estate Precinct, Murrumbeena Statement of Significance

Heritage Place: Beauville Estate Precinct, 1-39 (odd and even) Beauville Avenue; 1 (part), 5-17R, 5-5A & 7-25 (odd only) Dalny Road; 1-6 (odd and even) Gloucester Court; 40-44 (even only) Lindsay Avenue; 222-232 (even only) & 229-233 (odds only) Murrumbeena Road, Murrumbeena

PS ref no: HO12



Figure 1. Examples of houses in the Beauville Estate Precinct (L-R, starting top left: 15 Dalny Road, 7 Beauville Avenue, 1 Gloucester Court and 15 Beauville Avenue, Murrumbeena) (GJM Heritage, August 2025)

What is significant?

The Beauville Estate Precinct at 1-39 (odd and even) Beauville Avenue; 1 (part), 5-17R, 5-5A & 7-25 (odd only) Dalny Road; 1-6 (odd and even) Gloucester Court; 40-44 (even only) Lindsay Avenue; 222-232 (even only) & 229-233 (odd only) Murrumbeena Road, Murrumbeena, constructed in 1934-1936.

Elements that contribute to the significance of the precinct include:

Houses

- Single-storey houses from the interwar period, demonstrating characteristics of the Interwar English Domestic Revival and Interwar Moderne styles
- Consistent front setbacks
- Brick construction, finished in both face brick and rendered brickwork
- Tile-clad hipped and gabled roof forms

- Asymmetrical principal elevations, with projecting gables or hipped bays
- Prominent entry porches in a range of forms and opening profiles, including shallow pointed arches and flat-roofed curved porches
- Tall, simply detailed chimneys and prominent chimneys breasts
- Tripartite timber-framed windows and corner windows
- Decorative brick detailing to windows, porch entries, corners and front gable ends, including corbelling
- Cast cement house names to brick walls of some houses
- Original low brick front fences at the street boundaries and front side boundaries between properties
- Original brick garages to rear sides of properties.

Commercial properties

- Two-storey row of five commercial properties from the interwar period, demonstrating characteristics of the Interwar Moderne style
- Cream brick upper-elevations with unadorned stepped parapet and contrasting bands of dark brickwork
- Sets of tripartite steel-framed windows to the first floor of properties (replaced at no. 229A)
- Original recessed entry with floor tiles and metal window framing retained at no. 231A.

Other

- Location of the tennis courts.

Features that do not contribute to the significance of this precinct include non-original additions and alterations to residential and commercial properties, the tennis clubrooms, the fabric of the tennis courts, non-original outbuildings and garages, and non-original fences.

How is it significant?

The Beauville Estate Precinct, Murrumbeena, is of local historical, representative and aesthetic significance to the City of Glen Eira.

Why is it significant?

The Beauville Estate Precinct has strong associations with the extensive interwar development phase of Murrumbeena, when the suburb was transformed from a predominantly pastoral one to an almost exclusively residential one by the early postwar period. This period of development transformed the built environment and social and economic character of the area. In this period, extensive tracts of land in Murrumbeena and surrounding suburbs were subdivided into suburban residential estates, and allotments were purchased for the construction of middle-class housing. As a highly intact precinct of houses with associated shops and recreational facilities constructed in the interwar period, the Beauville Estate Precinct clearly illustrates this important phase of development in the City of Glen Eira. (Criterion A)

The Beauville Estate Precinct has strong associations with Albert Victor (AV) Jennings and the A V Jennings Construction Company as the first large-scale housing estate undertaken by the company (following the smaller-scale Hillcrest Estate development in Caulfield South). The A V Jennings Construction Company grew to become one of the most prolific homebuilding companies in Victoria. Jennings revolutionised the affordable housing market in the interwar period with his novel approach to homebuilding, which involved the construction of estates characterised by modest, generally single-storey brick houses with front gardens creating a consistent streetscape appearance. As the first large-scale estate constructed by the A V Jennings Construction Company, including commercial premises and recreational facilities, the Beauville Estate Precinct acted as a template for the future direction of the company. (Criterion A)

The Beauville Estate Precinct is a fine and highly intact example of a cohesive interwar residential precinct with associated commercial premises and recreational facilities. The single-storey houses display principal characteristics of the Interwar English Domestic Revival and Interwar Moderne styles, including rendered and face brick walls with decorative brick detailing, tile-clad hipped and gabled roof forms, asymmetrical principal elevations with prominent porches of varying forms, tall simply detailed chimneys and prominent chimneys breasts, tripartite timber-framed windows, corner windows, low brick fences at the street and side boundaries, and brick garages terminating side boundary driveways. The commercial properties display features illustrative of the Interwar Moderne style, including cream brick construction with bands of dark brickwork, an unadorned stepped parapet and tripartite steel-framed windows. (Criterion D)

The Beauville Estate Precinct is of aesthetic significance as an architecturally cohesive and well-resolved precinct of single-storey houses and two-storey commercial properties demonstrating characteristics of the Interwar English Domestic Revival and Interwar Moderne architectural styles. The highly consistent residential forms, setbacks and materials, the application of decorative brick detailing to windows, porch entries, corners and front gable ends, and the prominent entrance porches in a range of forms and opening profiles – in conjunction with garden settings and original low brick front and side fences – presents as picturesque and unified streetscapes within the estate. Designed by AV Jennings' in-house architect, Edward Gerney, the precinct demonstrates a high degree of consistency in scale, form and materiality and has a distinctive architectural character. (Criterion E)

Primary sources

City of Glen Eira Heritage Management Plan (Andrew Ward, 1996)
Glen Eira City Council Review of Existing Heritage Precincts (Glen Eira City Council, 2017)
City of Glen Eira, Murrumbeena and Carnegie (part) Heritage Review (GJM Heritage, 2026)

Gradings

Number	Address	Grade
1	Beauville Avenue	Contributory
2	Beauville Avenue	Contributory
3	Beauville Avenue	Contributory
4	Beauville Avenue	Contributory
5	Beauville Avenue	Contributory
6	Beauville Avenue	Contributory
7	Beauville Avenue	Contributory
8	Beauville Avenue	Contributory
9	Beauville Avenue	Contributory
10	Beauville Avenue	Contributory
11	Beauville Avenue	Contributory
11A	Beauville Avenue	Contributory
12	Beauville Avenue	Contributory
14	Beauville Avenue	Contributory
15	Beauville Avenue	Contributory
16	Beauville Avenue	Contributory
17	Beauville Avenue	Contributory
18	Beauville Avenue	Contributory
19	Beauville Avenue	Contributory
20	Beauville Avenue	Contributory
21	Beauville Avenue	Contributory

22	<i>Beauville Avenue</i>	<i>Contributory</i>
23	<i>Beauville Avenue</i>	<i>Contributory</i>
24	<i>Beauville Avenue</i>	<i>Contributory</i>
25	<i>Beauville Avenue</i>	<i>Contributory</i>
26	<i>Beauville Avenue</i>	<i>Contributory</i>
27	<i>Beauville Avenue</i>	<i>Contributory</i>
28	<i>Beauville Avenue</i>	<i>Contributory</i>
29	<i>Beauville Avenue</i>	<i>Contributory</i>
30	<i>Beauville Avenue</i>	<i>Contributory</i>
31	<i>Beauville Avenue</i>	<i>Contributory</i>
32	<i>Beauville Avenue</i>	<i>Contributory</i>
33	<i>Beauville Avenue</i>	<i>Contributory</i>
34	<i>Beauville Avenue</i>	<i>Contributory</i>
35	<i>Beauville Avenue</i>	<i>Contributory</i>
36	<i>Beauville Avenue</i>	<i>Contributory</i>
37	<i>Beauville Avenue</i>	<i>Contributory</i>
39	<i>Beauville Avenue</i>	<i>Contributory</i>
1 (part)	<i>Dalny Road (tennis clubrooms)</i>	<i>Non-contributory</i>
5-17R	<i>Dalny Road (tennis courts)</i>	<i>Contributory</i>
5-5A	<i>Dalny Road (current Rovira Friendship House)</i>	<i>Contributory</i>
7	<i>Dalny Road</i>	<i>Contributory</i>
9	<i>Dalny Road</i>	<i>Contributory</i>
11	<i>Dalny Road</i>	<i>Contributory</i>
13	<i>Dalny Road</i>	<i>Contributory</i>
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19	<i>Dalny Road</i>	<i>Contributory</i>
21	<i>Dalny Road</i>	<i>Contributory</i>
23	<i>Dalny Road</i>	<i>Contributory</i>
25	<i>Dalny Road</i>	<i>Contributory</i>
1	<i>Gloucester Court</i>	<i>Contributory</i>
2	<i>Gloucester Court</i>	<i>Contributory</i>
3	<i>Gloucester Court</i>	<i>Contributory</i>

4	<i>Gloucester Court</i>	<i>Contributory</i>
6	<i>Gloucester Court</i>	<i>Contributory</i>
40	<i>Lindsay Avenue</i>	<i>Contributory</i>
42	<i>Lindsay Avenue</i>	<i>Contributory</i>
44	<i>Lindsay Avenue</i>	<i>Contributory</i>
222	<i>Murrumbeena Road</i>	<i>Contributory</i>
224	<i>Murrumbeena Road</i>	<i>Contributory</i>
226	<i>Murrumbeena Road</i>	<i>Contributory</i>
228	<i>Murrumbeena Road</i>	<i>Contributory</i>
229	<i>Murrumbeena Road (shop & residence)</i>	<i>Contributory</i>
229A	<i>Murrumbeena Road (shop & residence)</i>	<i>Contributory</i>
230	<i>Murrumbeena Road</i>	<i>Contributory</i>
231	<i>Murrumbeena Road (shop & residence)</i>	<i>Contributory</i>
231A	<i>Murrumbeena Road (shop & residence)</i>	<i>Contributory</i>
232	<i>Murrumbeena Road</i>	<i>Contributory</i>
233	<i>Murrumbeena Road (shop & residence)</i>	<i>Contributory</i>

This document is an incorporated document in the Glen Eira Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*