PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME
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GE/DP-33027/2019
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Endorsed on: 19 January 2021

PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP02 DEVELOPMENT SUMMARY

TP DRAWINGS

		GFA	Car Park				Bikes				Retail		Res. Communal/ Services	RESIDENTIAL SUMMARY					APARTMENT TYPE			
		Area m² (excl. Private Balcony/ Terrace)	Retail	Resi-dential	Total No	Area (m²)	Resi No.	Visitor No.	Employee No.	Area (m²)	Shop Area m²	Terrace Area m²	Area m²	Apart. No.	Apart. Area m²	Core and ciculation & shared Area m²	GFA of Apart (incl.ter) Area m²	Private Terrace/ Balcony Area m²	2 BED	2 BED + OFFICE	3 BED	3 BED + OFFICE
B -2	BASEMENT 2 CAR PARK/ STORAGE	1764.28		42	42	1764.28	19			30.55			85.51									
B -1	BASEMENT 1 CAR PARK RETAIL & RES	1764.28	30	6	36	1764.28		8	4	28.88			183.01									
LEVEL 1	GROUND FLOOR RETAIL	1670.84									1254.00	93.44	323.40									
LEVEL 2	FIRST FL	1296.72											59.47	10	1132.07	105.18	1291.76	159.69	4	4	2	0
LEVEL 3	SECOND FL	1296.72											59.47	10	1132.07	105.18	1291.76	159.69	4	4	2	0
LEVEL 4	THIRD FL	936.56											3.02	7	870.03	63.51	1214.04	344.01	1	2	1	3
LEVEL 5	FOURTH FL	762.21*											3.02	6	696.23	62.96	879.58	183.35	0	2	4	0
LEVEL 6	ROOF TERRACE (OPEN SPACE)	25.22											506.07									
	ROOF TERRACE (SERVICES)												18.19									
Total (No)			30	48	78		19	8	4					33								
Total Area (m²)		9516.83				3528.56		TOTAL	31	59.43	1254.00	93.44	1241.16		3830.40	336.83	4677.14	846.74	9	12	9	3

* GFA OF ENCLOSED AREA (STAIR AND SERVICES)

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

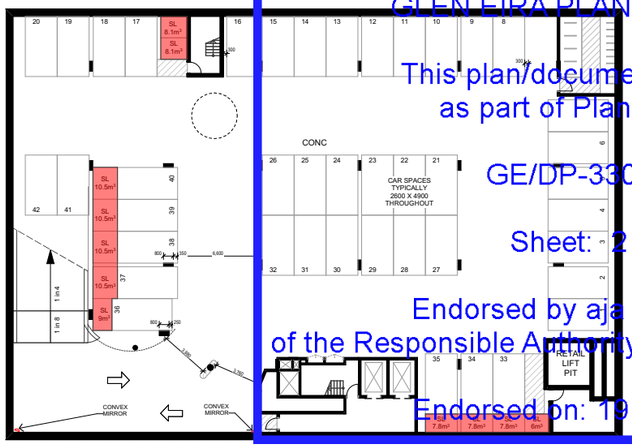
TP03 DEVELOPMENT SUMMARY - PRIVATE OPEN SPACE & STORAGE

TP DRAWINGS

	APARTMENT SCHEDULE				PRIVATE OPEN SPACE	STORAGE				
	APT NO.	APT TYPE	APT AREA (m²)	BAL (m²)	COMPLIES WITH MIN. REQ. STANDARD D19 - TABLE 5	MINIMUM REQUIRED (m^3)	INTERNAL (m^3)	EXTERNAL - B2 (m^3)	EXTERNAL - L2 (m^3)	EXTERNAL - L3 (m^3)
LEVEL 2 - FIRST FL	APT L201	2 BED	89.85	12.64	✓	14m^3	12.3		5.4	
	APT L202	2 BED + OFFICE	128.04	16.48	✓	14m^3	22.4		5.4	
	APT L203	2 BED + OFFICE	110.75	15.60	✓	14m^3	19.4		5.4	
	APT L204	3 BED	136.81	20.03	✓	18m^3	20.3		7.0	
	APT L205	2 BED	100.83	15.93	✓	14m^3	10.5		7.6	
	APT L206	2 BED	100.83	15.93	✓	14m^3	10.5		6.0	
	APT L207	3 BED	130.53	18.21	✓	18m^3	22.8		7.0	
	APT L208	2 BED + OFFICE	106.42	17.22	✓	14m^3	17.3		5.4	
	APT L209	2 BED + OFFICE	133.62	17.36	✓	14m^3	21.6		5.4	
	APT L210	2 BED	94.39	10.29	✓	14m^3	21.0		5.4	
LEVEL 3 - SECOND FL	APT L301	2 BED	89.85	12.64	✓	14m^3	12.3			5.4
	APT L302	2 BED + OFFICE	128.04	16.48	✓	14m^3	22.4			5.4
	APT L303	2 BED + OFFICE	110.75	15.60	✓	14m^3	19.4			5.4
	APT L304	3 BED	136.81	20.03	✓	18m^3	20.3			7.0
	APT L305	2 BED	100.83	15.93	✓	14m^3	10.5			7.6
	APT L306	2 BED	100.83	15.93	✓	14m^3	10.5			6.0
	APT L307	3 BED	130.53	18.21	✓	18m^3	22.8			7.0
	APT L308	2 BED + OFFICE	106.42	17.22	✓	14m^3	17.3			5.4
	APT L309	2 BED + OFFICE	133.62	17.36	✓	14m^3	21.6			5.4
	APT L310	2 BED	94.39	10.29	✓	14m^3	21.0			5.4
LEVEL 4 - THIRD FL	APT L401	3 BED + OFFICE	143.46	51.48	✓	18m^3	25.2	10.5		
	APT L402	2 BED + OFFICE	114.74	15.38	✓	14m^3	20.7			5.4
	APT L403	3 BED + OFFICE	142.07	54.22	✓	18m^3	24.5	8.1		
	APT L404	2 BED	76.66	23.8	✓	14m^3	10.1	7.8		
	APT L405	3 BED	125.72	68.48	✓	18m^3	24.7	7.8		
	APT L406	2 BED + OFFICE	114.67	45.59	✓	14m^3	22.4		5.4	
	APT L407	3 BED + OFFICE	152.71	85.06	✓	18m^3	32.0	7.8		
LEVEL 5 - FOURTH FL	APT L501	3 BED	124.01	36.24	✓	18m^3	19.8	8.1		
	APT L502	2 BED	102.2	47.93	✓	14m^3	13.1	9.0		
	APT L503	3 BED	125.34	48.48	✓	18m^3	17.2	10.5		
	APT L504	3 BED	122.84	23.11	✓	18m^3	14.6	10.5		
	APT L505	2 BED	101.38	14.07	✓	14m^3	12.9	6.0		
	APT L506	3 BED	120.46	13.52	✓	18m^3	13.3	10.5		

NOTE: STORAGE SPACE CALCULATED AS PER "BETTER APARTMENT - DESIGN STANDARDS" GUIDELINES

KEY PLANS (NTS)



B2 - BASEMENT 2 STORAGE

LEGEND

EXTERNAL STORAGE LOCATION

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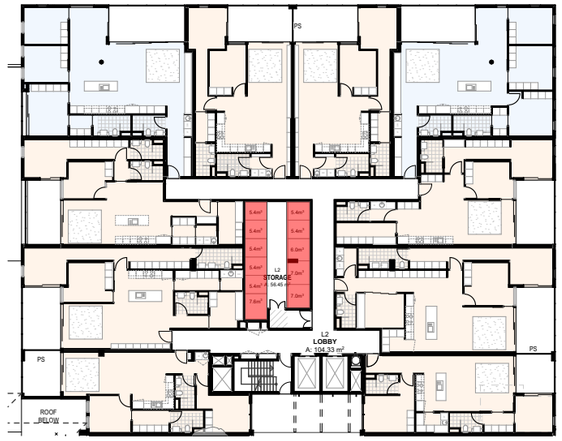
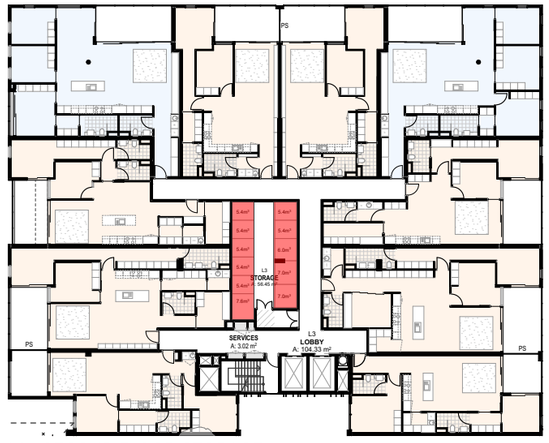


L2 - FIRST FLOOR STORAGE



L3 - SECOND FLOOR STORAGE

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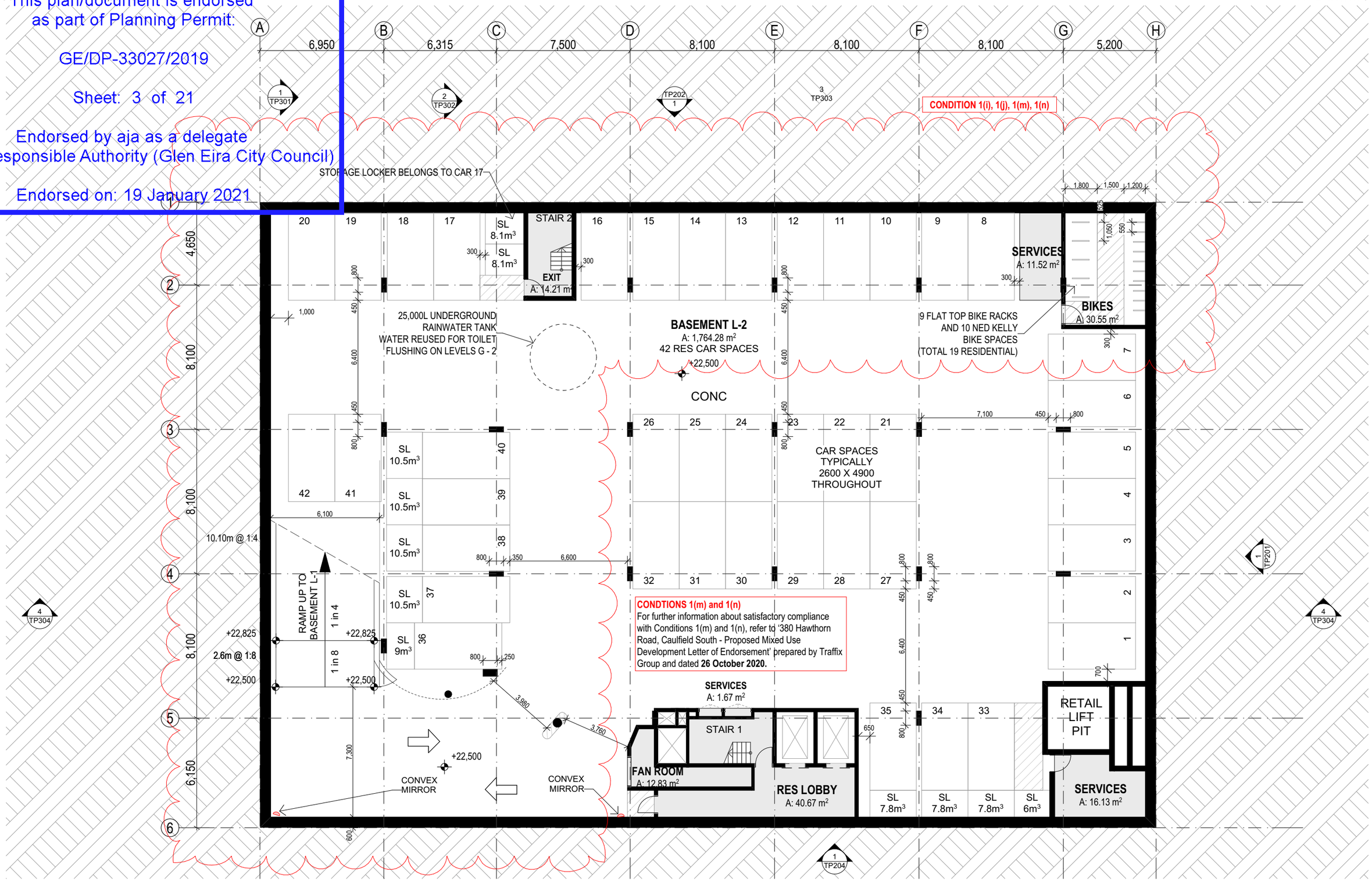
PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP103 L-2 BASEMENT 2

TP DRAWINGS



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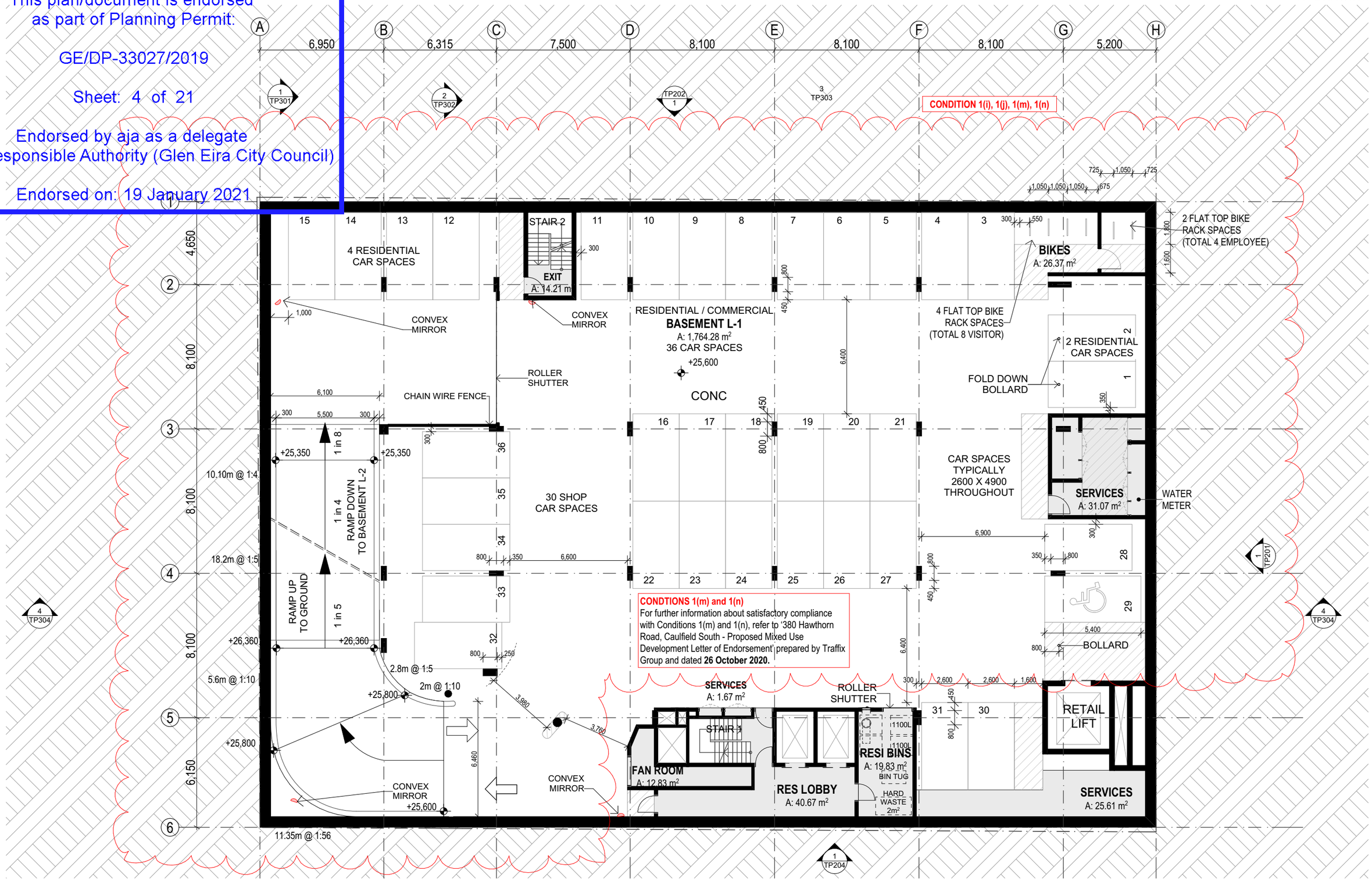
PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP104 L-1 BASEMENT 1

TP DRAWINGS



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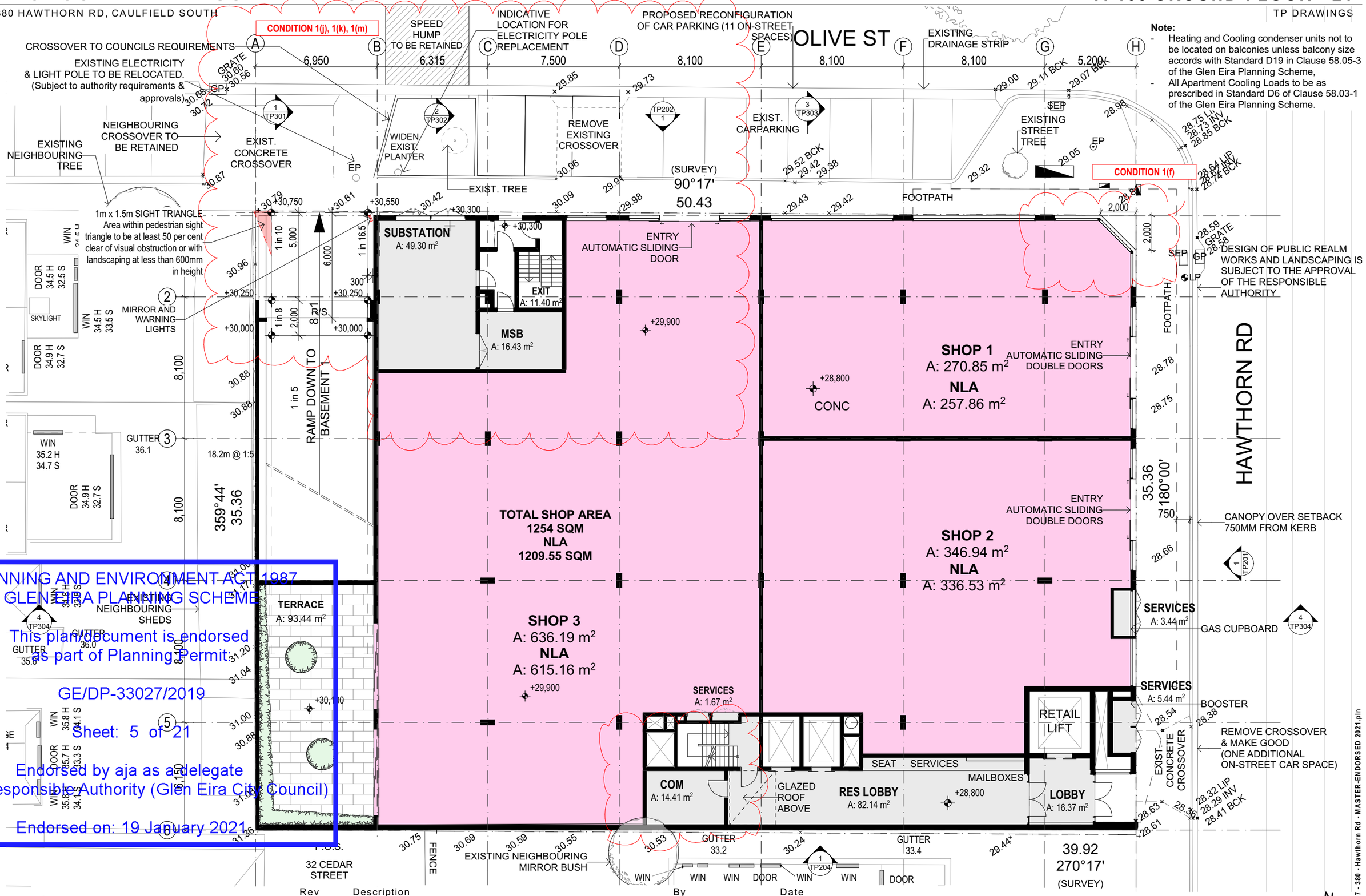
PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP105 GROUND FLOOR - L1

TP DRAWINGS



Note:

- Heating and Cooling condenser units not to be located on balconies unless balcony size accords with Standard D19 in Clause 58.05-3 of the Glen Eira Planning Scheme,
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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP106 FIRST FLOOR - L2

TP DRAWINGS

LEGEND & NOTES

ALL APARTMENT & MAIN BEDROOM DOORS TO HAVE MIN 850mm WIDE ENTRY

ALL BEDROOMS HAVE INTERNAL DIMENSIONS OF MIN. 3m X 3m (EXCL. WARDROBES). MAIN BEDROOMS HAVE MIN. DIMENSION OF 3m X 3.4m

MIN 1200mm WIDE ACCESS ROUTE TO MAIN BEDROOM, BATHROOM & LIVING AREA IN ACCORDANCE WITH STANDARD D17 IN CLAUSE 58.05-1

BATHROOM COMPLIES WITH THE ACCESS STANDARDS IN TABLE D4 IN CLAUSE 58.05-1

95% OF APARTMENTS HAVE ACCESS TO AN ADAPTABLE BATHROOM FROM MAIN BEDROOM

NATURAL CROSS VENTILATION BREEZE PATHS 5m MIN. - 18m MAX.

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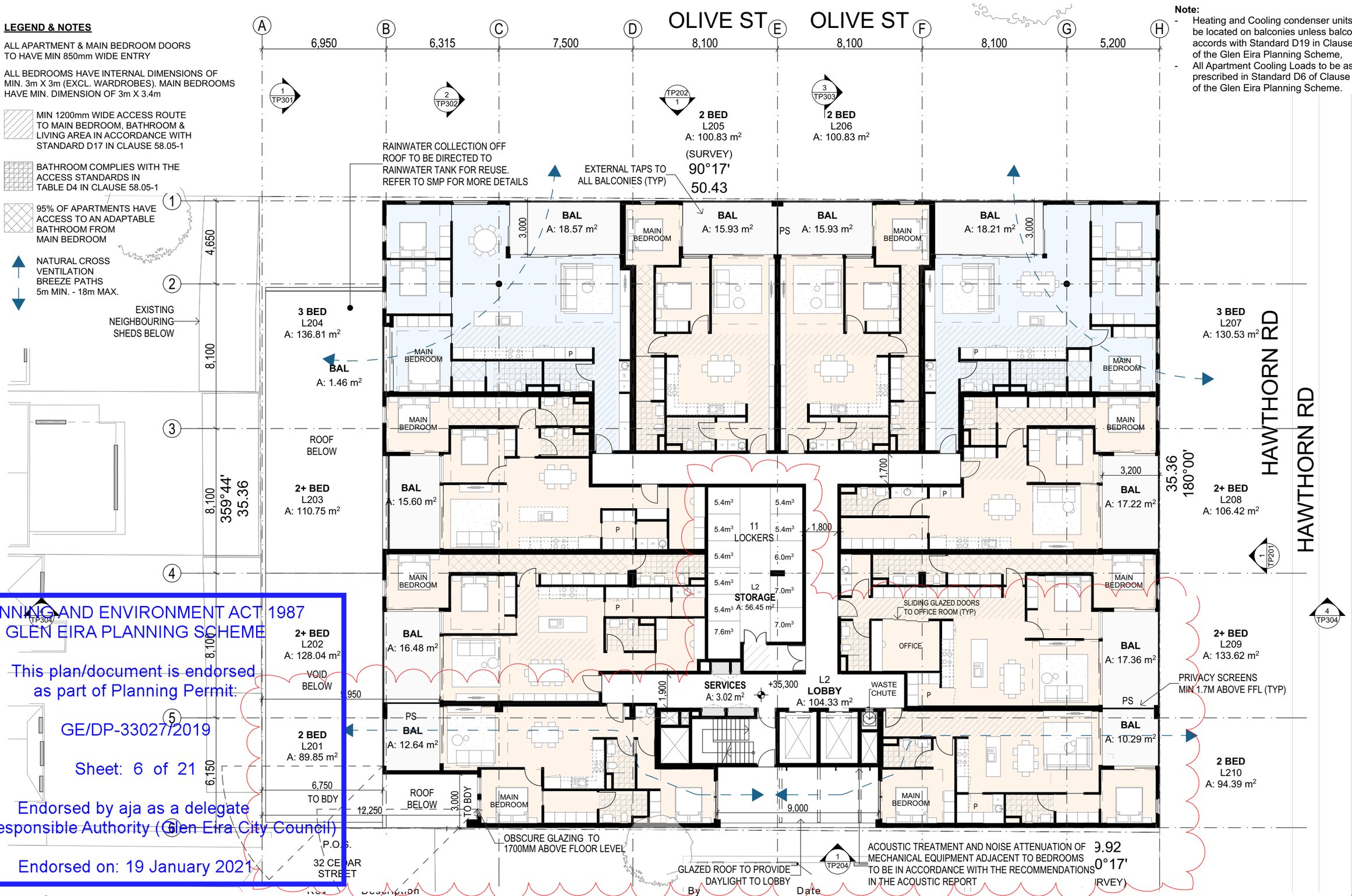

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP107 SECOND FLOOR - L3

TP DRAWINGS

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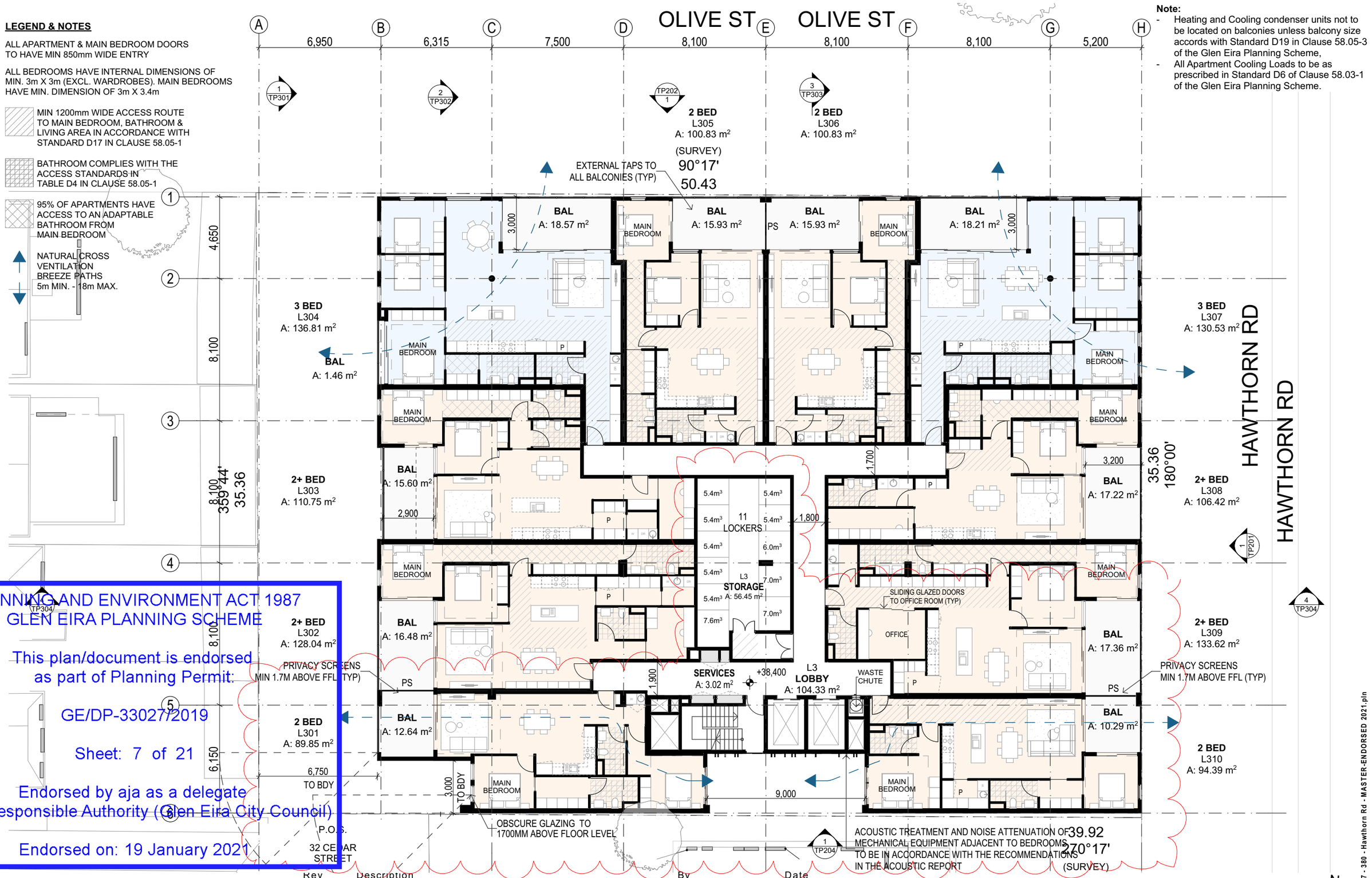

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CONDITION 1(a), 1(e), 1(r), 1(s), 1(t)

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP108 THIRD FLOOR -L4

TP DRAWINGS

LEGEND & NOTES

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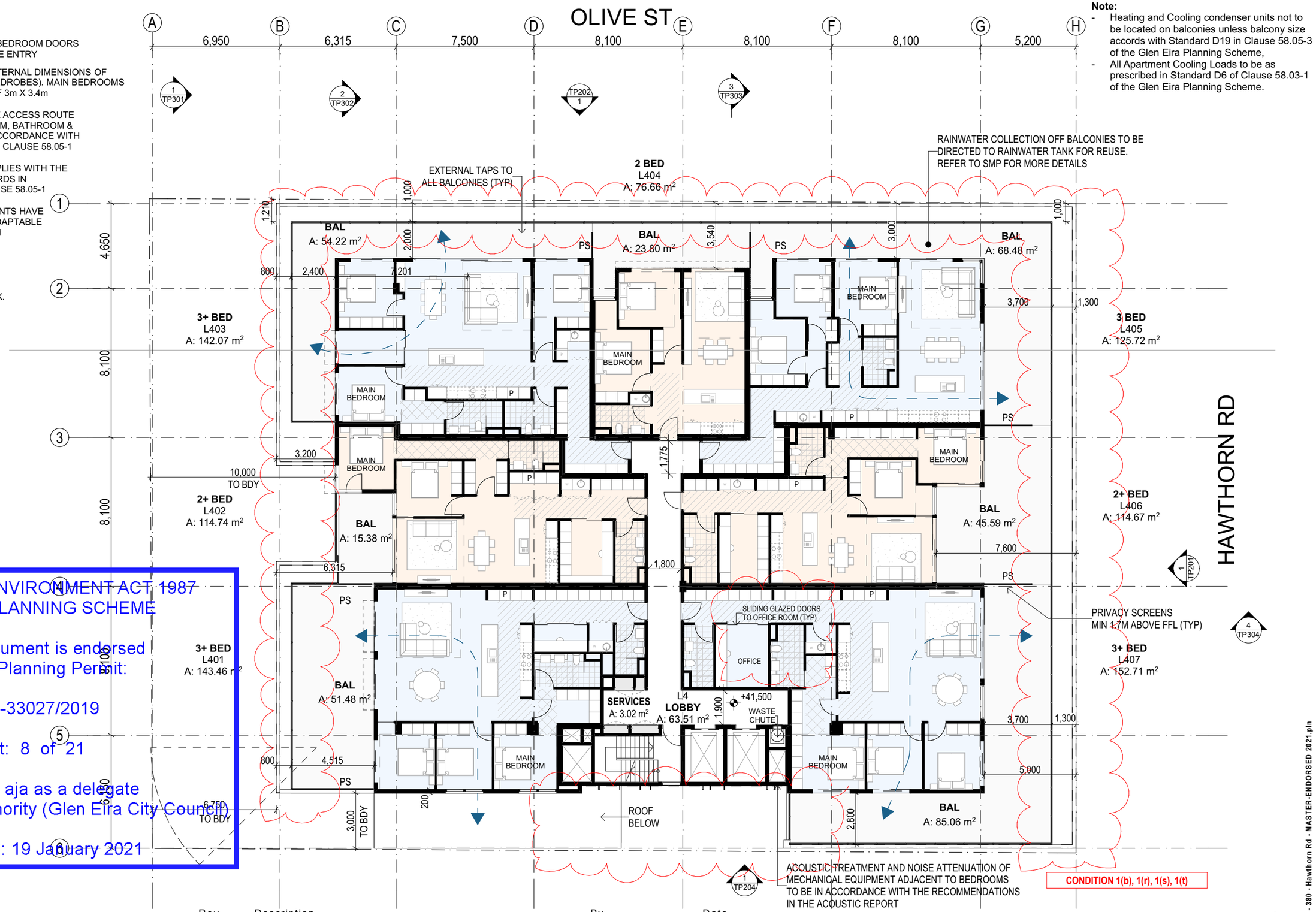

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PROPOSED MIXED USE DEVELOPMENT

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TP109 FOURTH FLOOR -L5

TP DRAWINGS

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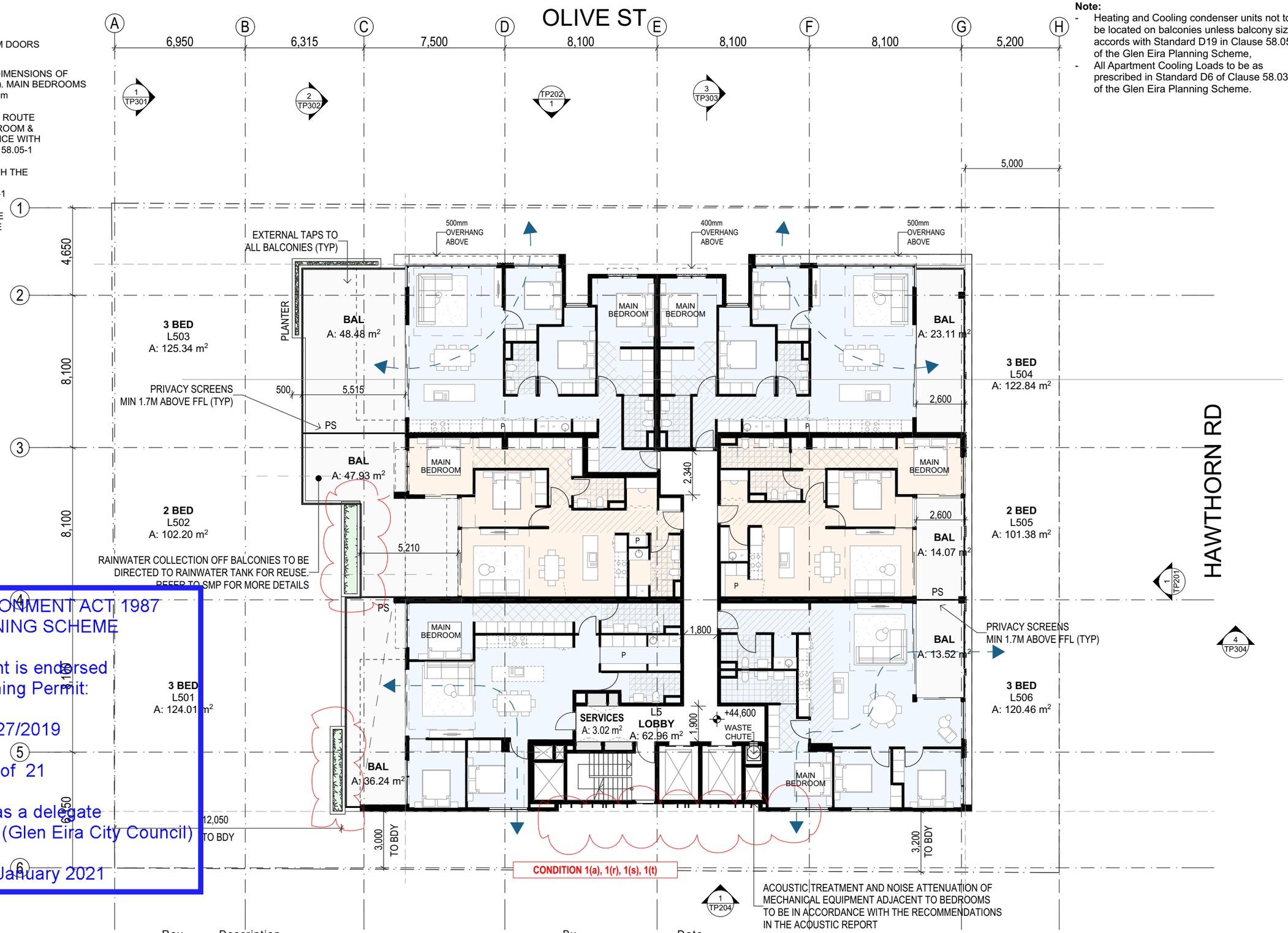

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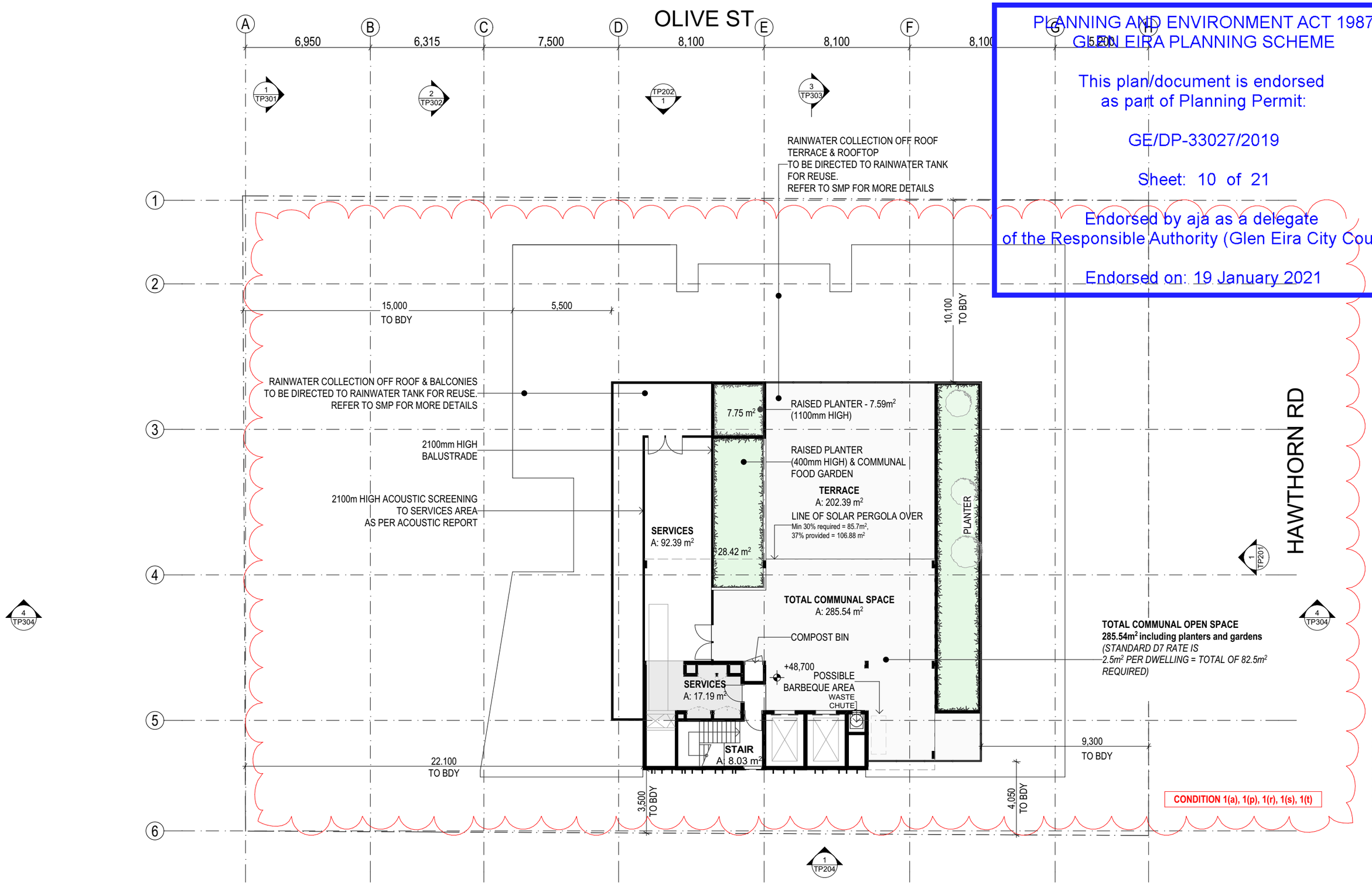
PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP110 ROOF TERRACE

TP DRAWINGS



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Rev	Description	By	Date
A	TOWN PLANNING ISSUE	LH	13.08.2019
B	ISSUE FOR RFI	LH	23.10.2019
C	ISSUE FOR RFI	FD	04.12.2019
D	ISSUE FOR ENDORSEMENT	FD	17.09.2020

Scale 1:200 @ A3

N

18/01/2021 1807 - 380 - Hawthorn Rd - MASTER-ENDORSED 2021.pln

PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME

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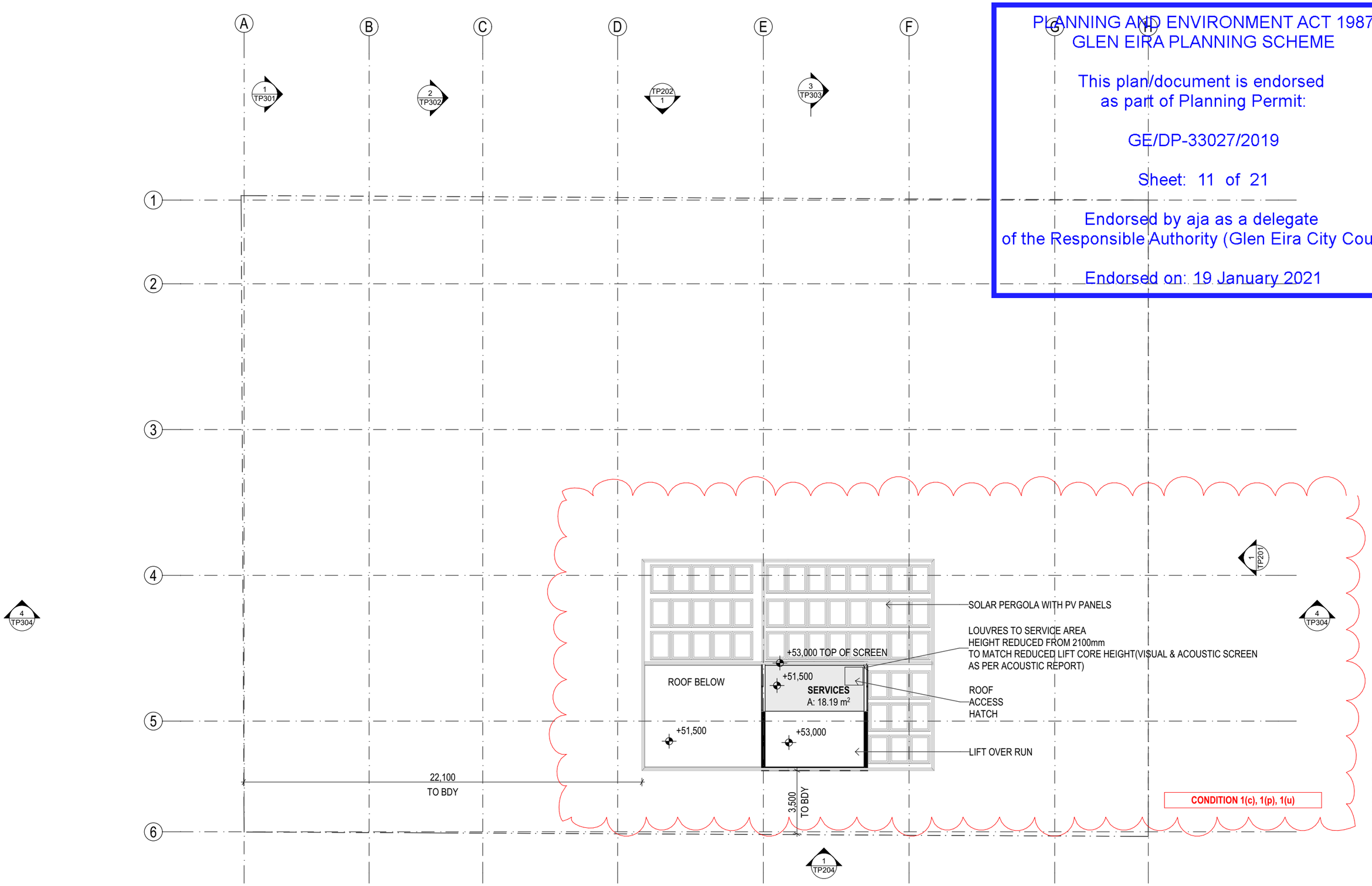

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP201 EAST ELEVATION - HAWTHORN RD

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME

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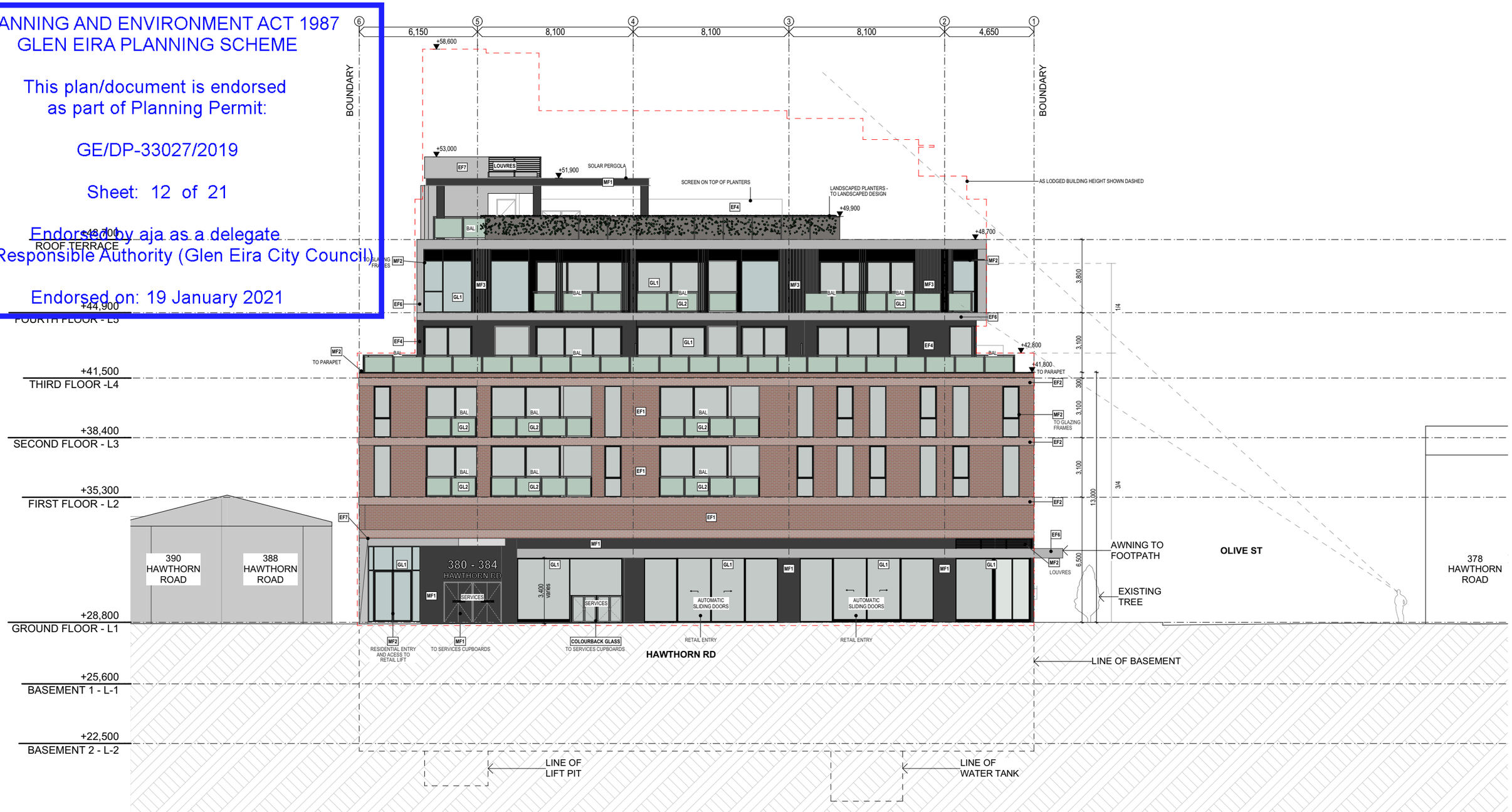

PALETTE OF EXTERNAL MATERIALS & FINISHES

EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK	
EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE	
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'	
EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'	
EF5	COLOUR - NATURAL CONCRETE	
EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY	
EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE	
GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS	
GL2	CLEAR GLAZING (TO BALUSTRADES)	
GL3	OBSCURE GLAZING (25% VISIBILITY)	
MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'	
MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'	
MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'	
MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)	
MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY	
EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST	

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18/01/2021 1807 - 380 - Hawthorn Rd - MASTER-END

PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP202 NORTH ELEVATION - OLIVE STREET

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME

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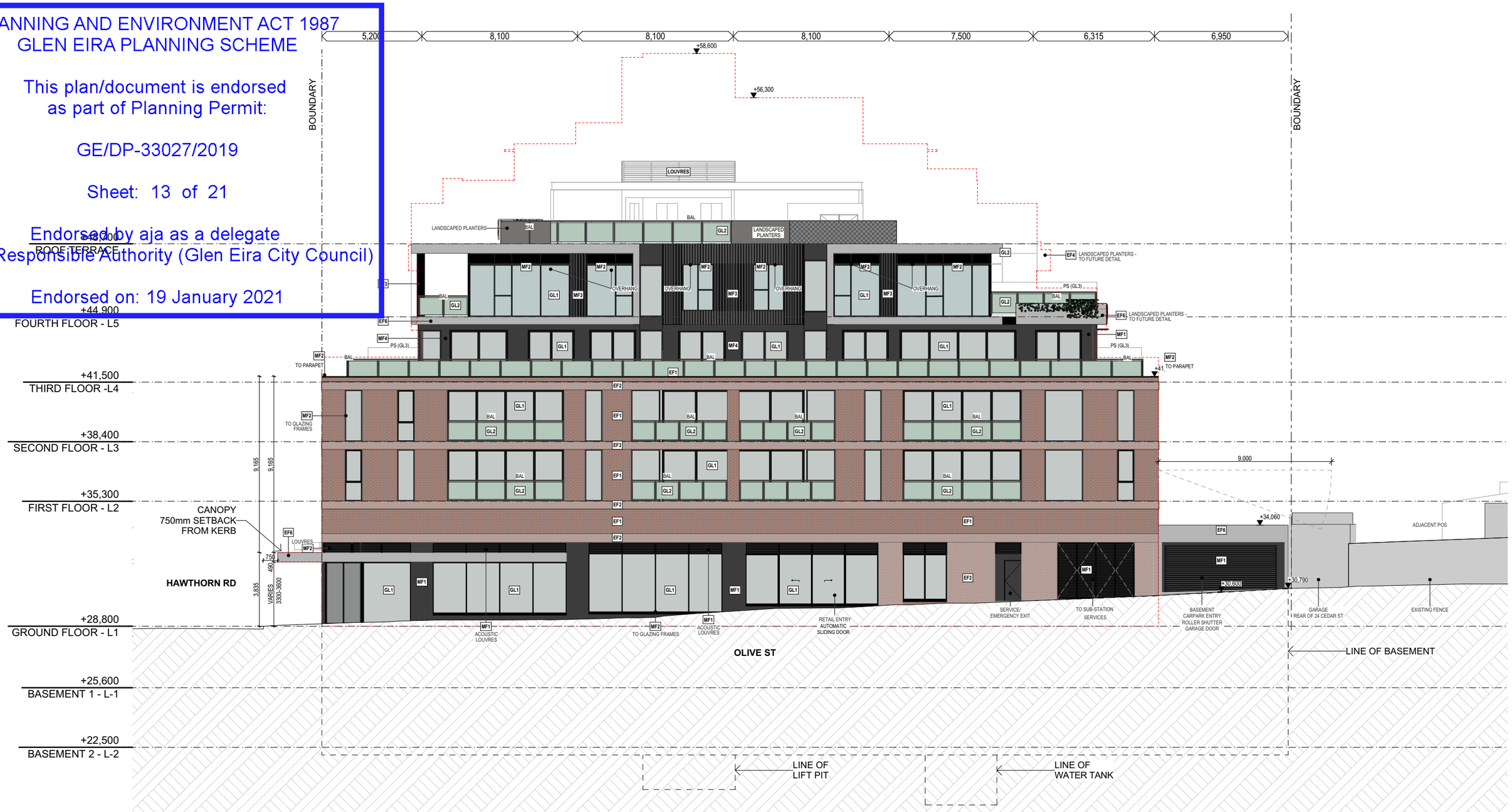

PALETTE OF EXTERNAL MATERIALS & FINISHES

EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK	EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'	EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE	GL3	OBSCURE GLAZING (25% VISIBILITY)	MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'	MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY
EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE	EF5	COLOUR - NATURAL CONCRETE	GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS	MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'	MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)	EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'	EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY	GL2	CLEAR GLAZING (TO BALUSTRADES)	MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'				

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18/01/2021 1807 - 380 - Hawthorn Rd - MASTER-END

PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP203 WEST ELEVATION

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
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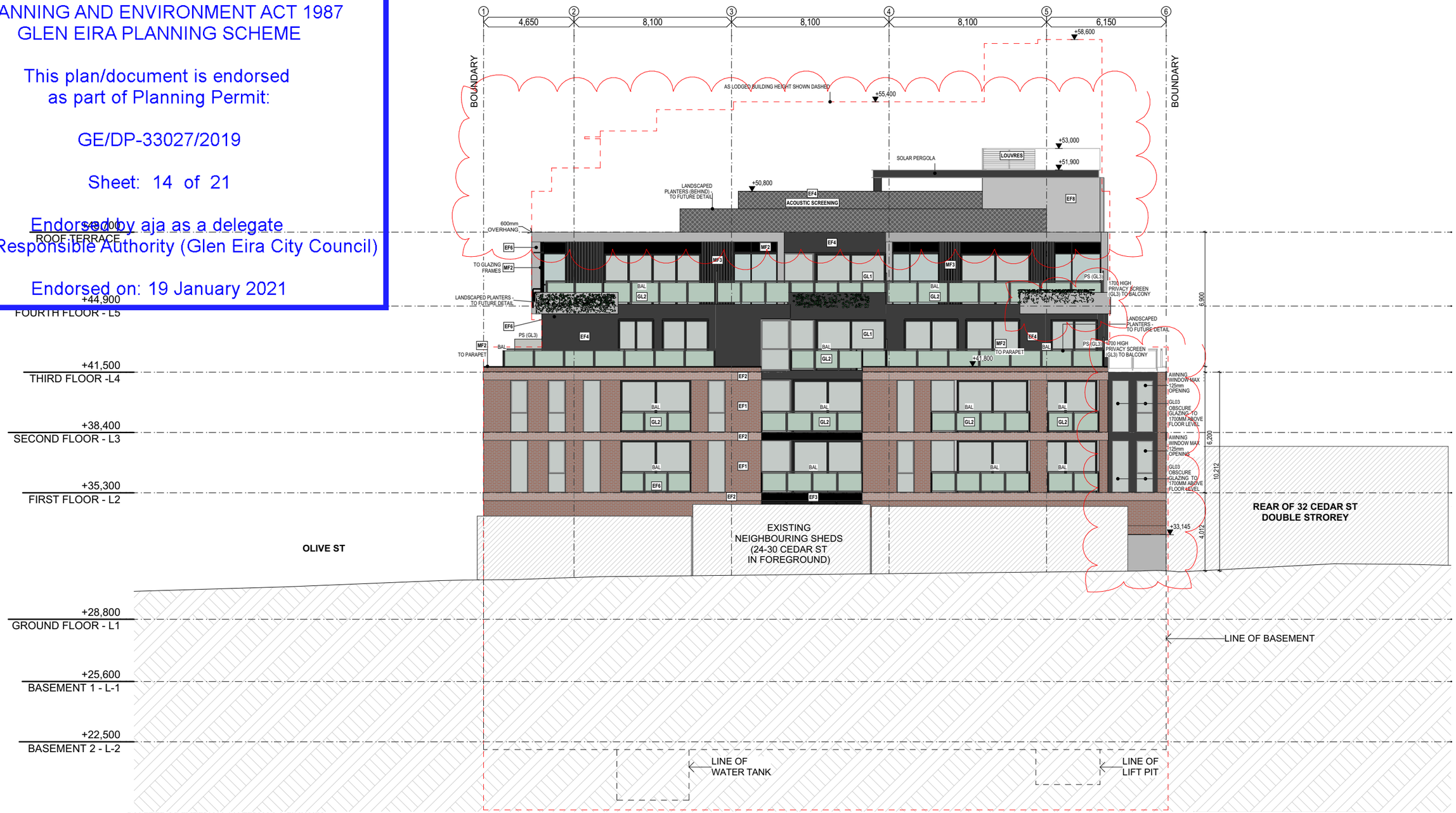

PALETTE OF EXTERNAL MATERIALS & FINISHES

	EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK		EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'		EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE		GL3	OBSCURE GLAZING (25% VISIBILITY)		MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'		MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY
	EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE		EF5	COLOUR - NATURAL CONCRETE		GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS		MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'		MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)		EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST
	EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'		EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY		GL2	CLEAR GLAZING (TO BALUSTRADES)		MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'					

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP204 SOUTH ELEVATION

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
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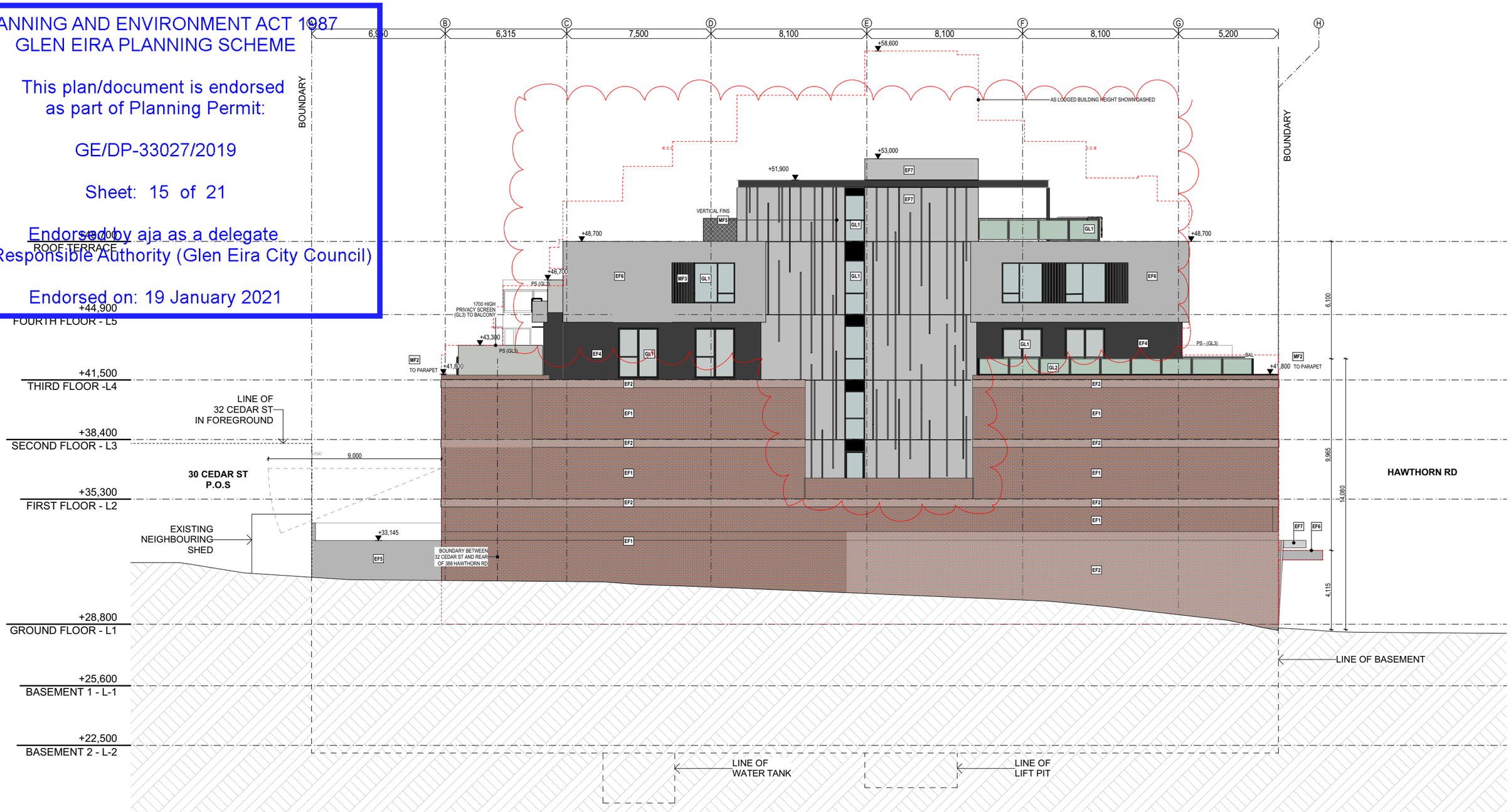

PALETTE OF EXTERNAL MATERIALS & FINISHES

EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK	
EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE	
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'	
EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'	
EF5	COLOUR - NATURAL CONCRETE	
EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY	
EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE	
GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS	
GL2	CLEAR GLAZING (TO BALUSTRADES)	
GL3	OBSCURE GLAZING (25% VISIBILITY)	
MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'	
MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'	
MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'	
MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)	
MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY	
EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST	

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Scale 1:200 @ A3

18/01/2021 1807 - 380 - Hawthorn Rd - MASTER-ENDO

PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP205 FACADE DETAIL

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME

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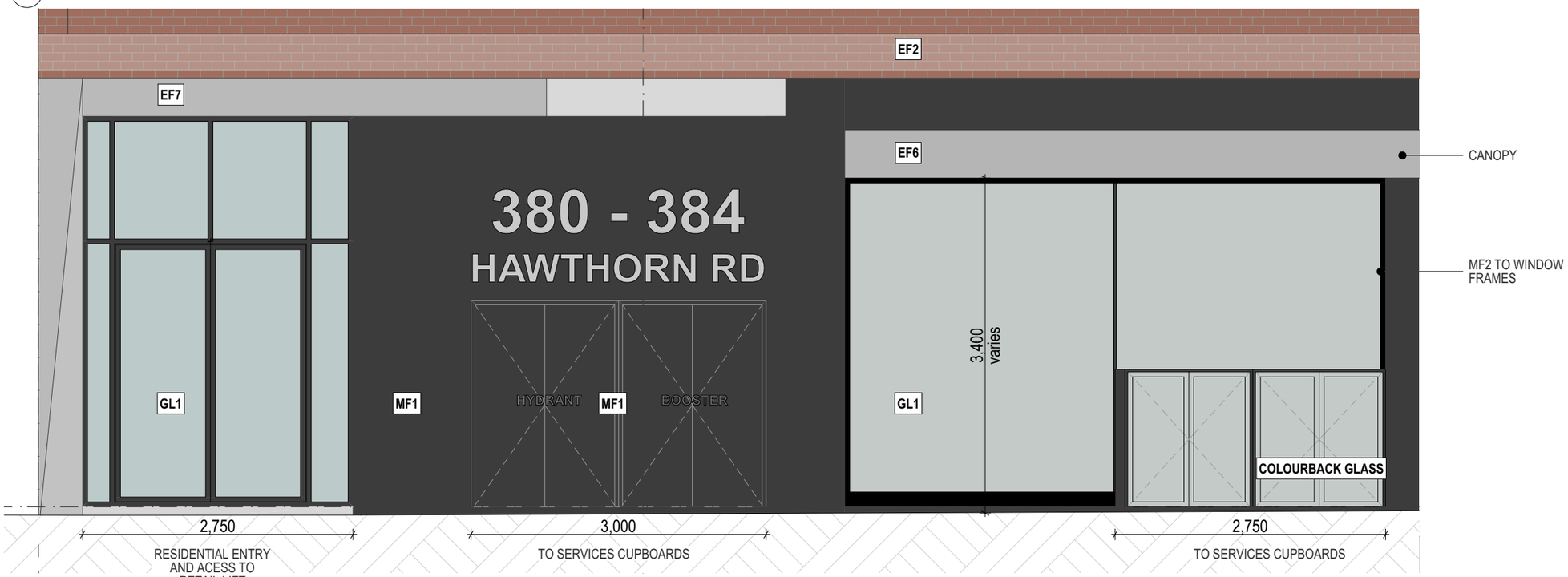
1 DETAIL VIEW



2 EAST ELEVATION DETAIL
1:50

PALETTE OF EXTERNAL MATERIALS & FINISHES

EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK
EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'
EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'
EF5	COLOUR - NATURAL CONCRETE
EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY
EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE
GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS
GL2	CLEAR GLAZING (TO BALUSTRADES)
GL3	OBSCURE GLAZING (25% VISIBILITY)
MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'
MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'
MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'
MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)
MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY
EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP206 FACADE DETAIL

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
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1. DETAIL 1_2
1:1

2 NORTH ELEVATION DETAIL
1:50

PALETTE OF EXTERNAL MATERIALS & FINISHES

EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK
EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'
EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'
EF5	COLOUR - NATURAL CONCRETE
EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY
EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE
GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS
GL2	CLEAR GLAZING (TO BALUSTRADES)
GL3	OBSCURE GLAZING (25% VISIBILITY)
MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'
MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'
MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'
MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)
MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY
EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST

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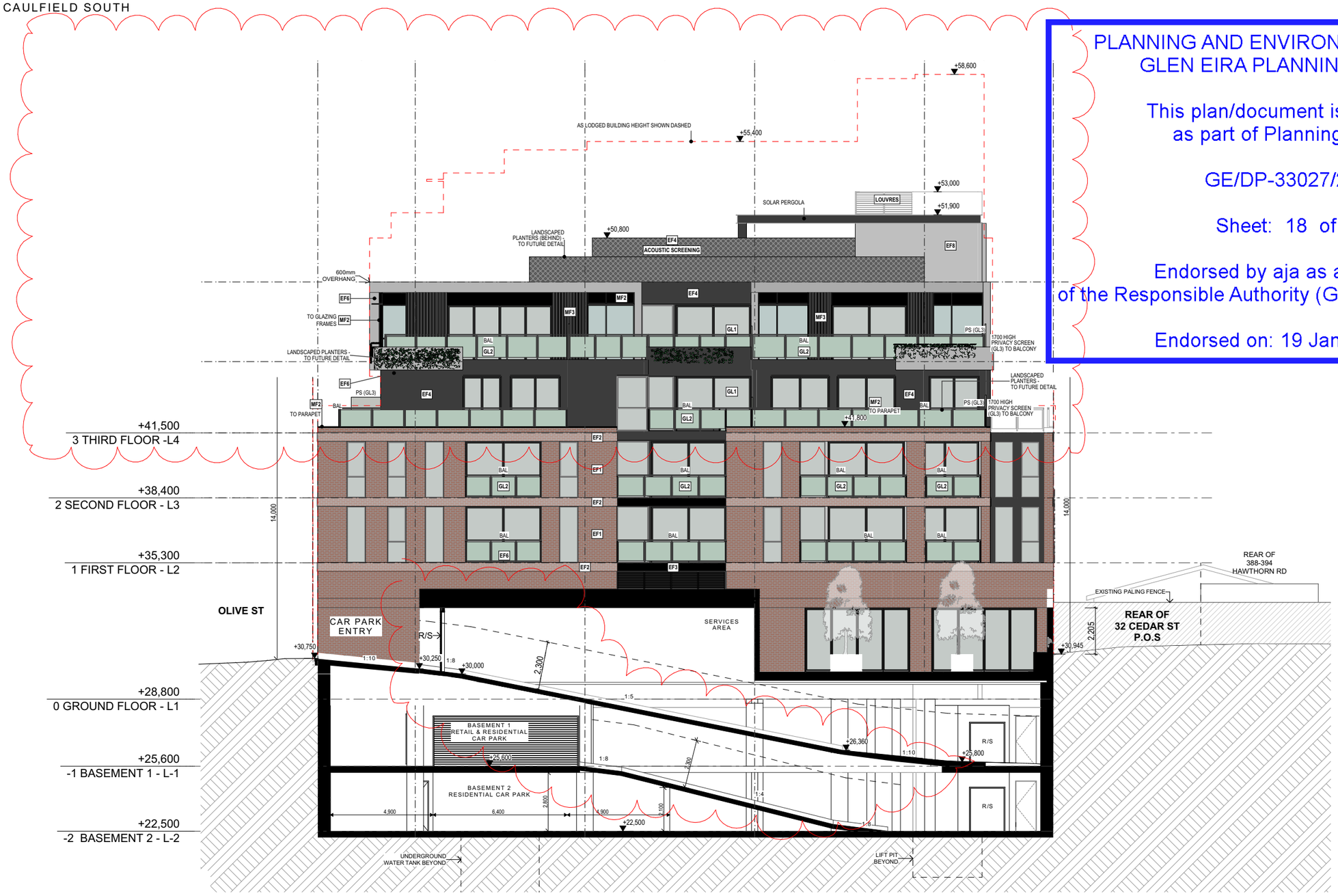

PALETTE OF EXTERNAL MATERIALS & FINISHES

EF1	FEATURE BRICK FINISH; COLOUR - TO MATCH HAWTHORN BLACK	EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'MONUMENT'	EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE	GL3	OBSCURE GLAZING (25% VISIBILITY)	MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'	MF5	FEATURE METAL FINS; LIGHT, MEDIUM AND DARK GREY
EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE	EF5	COLOUR - NATURAL CONCRETE	GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS	MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'	MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)	EF8	FEATURE PATTERNED TEXTURED FINISH: COLOUR - SURF MIST
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'	EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY	GL2	CLEAR GLAZING (TO BALUSTRADES)	MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'				

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP302 SECTIONS

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME

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PALETTE OF EXTERNAL MATERIALS & FINISHES

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EF2	EXTERNAL FEATURE FINISH; COLOUR - TO MATCH CAMBRIDGE	
EF3	RENDERED PAINT FINISH; COLOUR - TO MATCH COLORBOND 'NIGHT SKY'	
EF4	EXTERNAL FINISH; COLOUR - TO MATCH COLORBOND 'WOODLAND GREY'	
EF5	TEXTURED FINISH; COLOUR - NATURAL CONCRETE	
EF6	FEATURE PATTERNED TEXTURED FINISH; COLOUR - LIGHT GREY	
EF7	EXTERNAL FEATURE CLADDING; COLOUR - WHITE	
GL1	CLEAR GLAZING (WITH LOW E - COATING) TO ESD REQUIREMENTS	
GL2	CLEAR GLAZING (TO BALUSTRADES)	
GL3	OBSCURE GLAZING (25% VISIBILITY)	
MF1	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'MONUMENT'	
MF2	POWDERCOATED METAL FINISH TO DOOR & WINDOW FRAMES; COLOUR - COLORBOND 'NIGHT SKY'	
MF3	FEATURE METAL CLADDING; COLOUR - COLORBOND 'MONUMENT'	
MF4	POWDERCOATED METAL FINISH; COLOUR - COLORBOND 'JASPER' (TO MATCH EF2)	

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PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP303 SECTIONS

TP DRAWINGS

PLANNING AND ENVIRONMENT ACT 1987
GLEN EIRA PLANNING SCHEME

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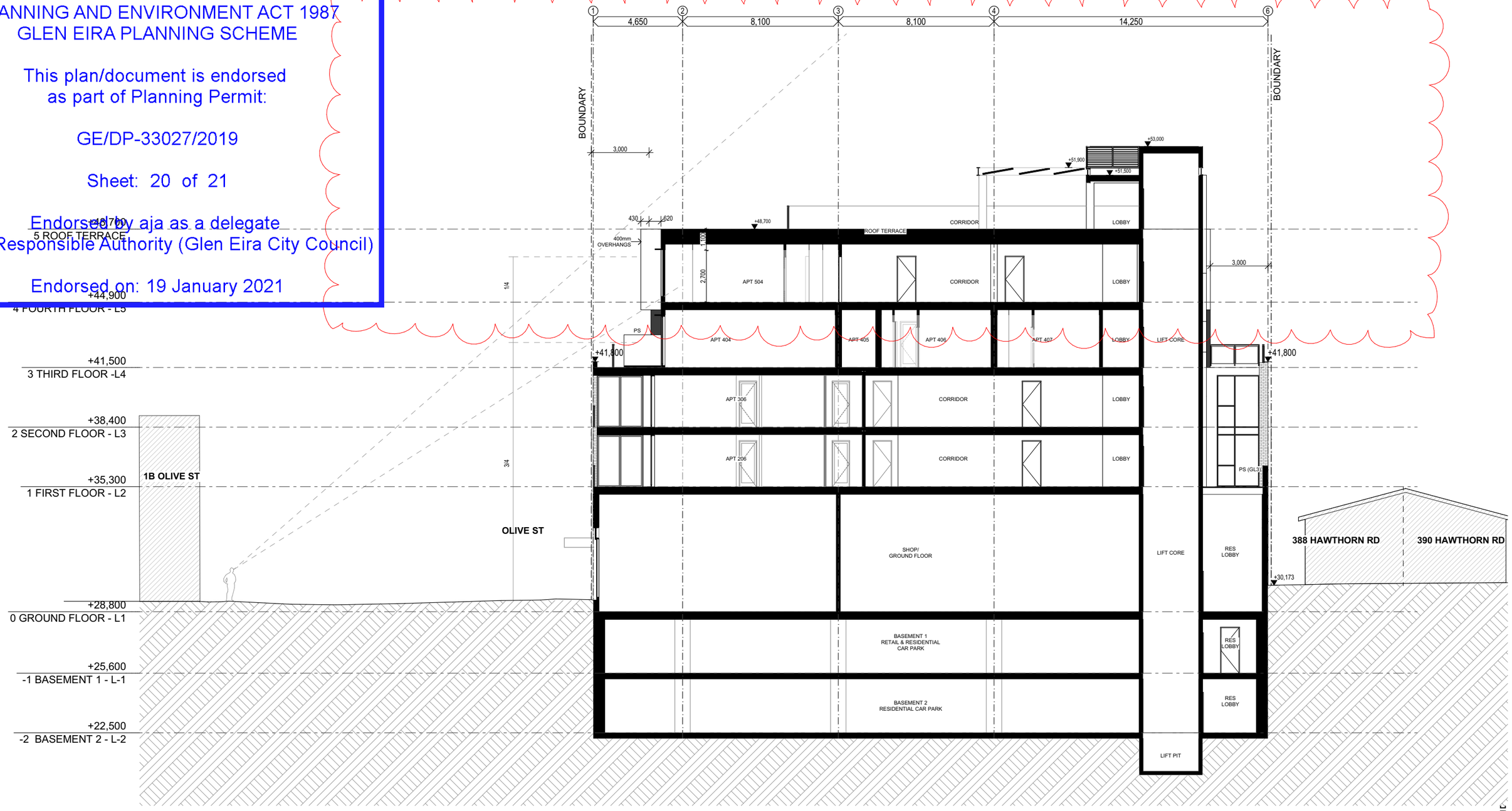

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18/01/2021 1807 - 380 - Hawthorn Rd - MASTER-END

PROPOSED MIXED USE DEVELOPMENT

380 HAWTHORN RD, CAULFIELD SOUTH

TP304 SECTIONS

TP DRAWINGS

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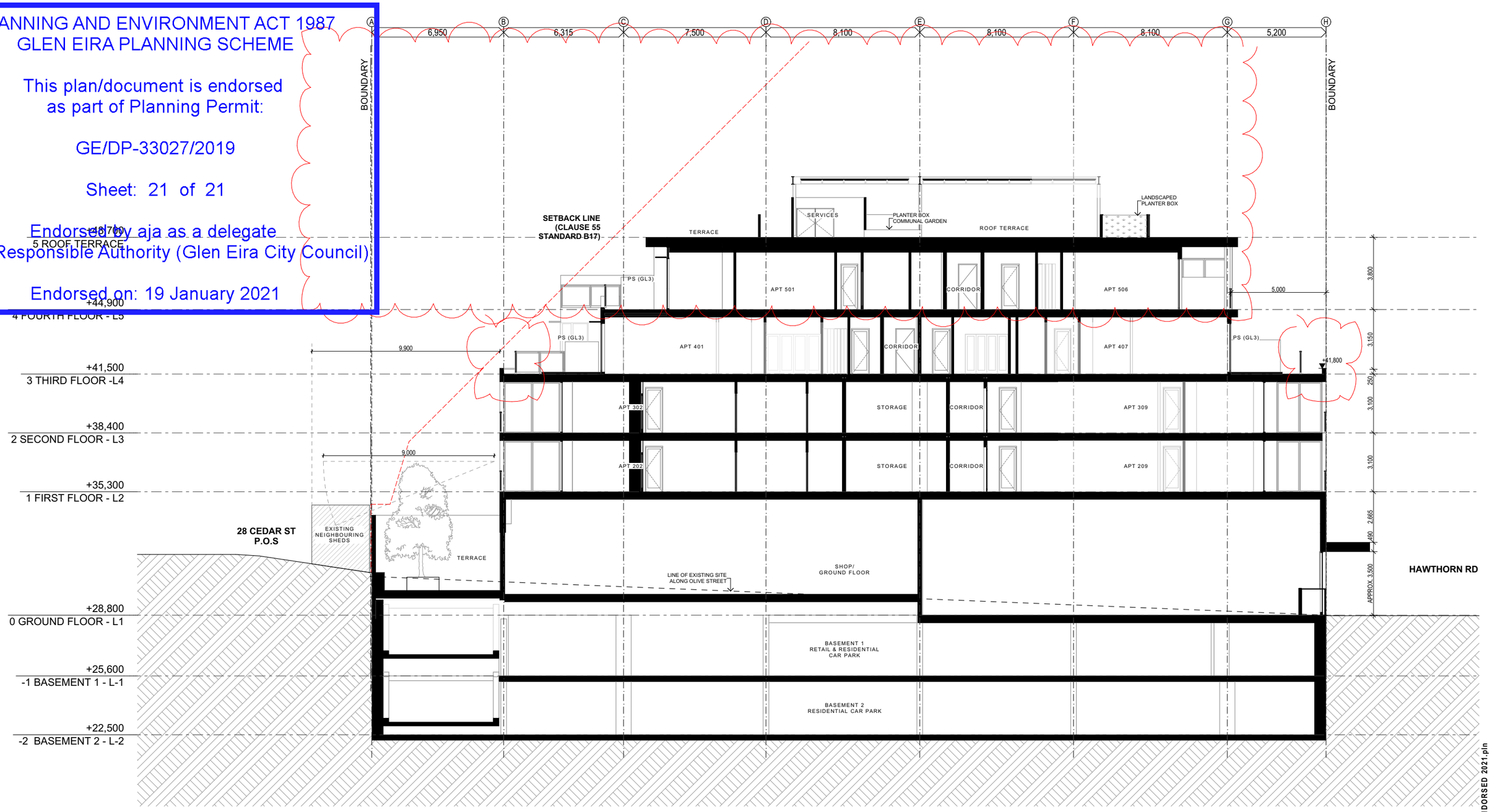
of the Responsible Authority (Glen Eira City Council)

Endorsed on: 19 January 2021



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Rev	Description	By	Date
A	TOWN PLANNING ISSUE	LH	13.08.2019
B	ISSUE FOR RFI	LH	23.10.2019
C	ISSUE FOR RFI	FD	04.12.2019
D	ISSUE FOR ENDORSEMENT	FD	17.09.2020

Scale 1:200 @ A3

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