

# CAULFIELD SOUTH NEIGHBOURHOOD ACTIVITY CENTRE BUILT FORM FRAMEWORK

Tract



Prepared for Glen Eira City Council

## DRAFT BUILT FORM FRAMEWORK

March 2021



# QUALITY ASSURANCE

Glen Eira NAC`s Built Form Frameworks  
Caulfield South NAC Draft Built Form Framework

Prepared for  
Glen Eira City Council

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# INTRODUCTION

PROJECT OVERVIEW

STUDY AREA

DRAFT







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Property Group

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CAULFIELD  
PRIMARY SCHOOL

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JARLEY.COM.AU

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## PROJECT OVERVIEW

This built form framework for the Caulfield South Neighbourhood Activity Centre (NAC) is one of three built form frameworks being prepared towards addressing an existing policy void. The other centres forming part of the project are the Caulfield Park Neighbourhood Activity Centre and the Bentleigh East Neighbourhood Activity Centre.

The Built Form Frameworks set out preferred development outcomes in each centre. This will ensure new development provides for the continual revitalisation of the shopping strips with high quality design whilst maintaining the valued character of each centre and protecting the amenity of adjoining residential areas.

The Frameworks provide guidance for building heights, setbacks and other design considerations. These frameworks are supported by rigorous analysis and guided by sound urban design principles appropriate to the context of each centre.

The Built Form Frameworks provide requirements around building heights, setbacks and other design considerations. These requirements are supported by rigorous analysis and guided by sound urban design principles appropriate to the context of each centre.

This Caulfield South NAC Built Form Framework consists of the following parts:

**Part 1 - Context and Analysis** - Provides analysis and background research to understand the NAC, its context and drivers for change.

**Part 2 - The Built Form Framework** - Provides the guiding principles and built form framework including building heights and setbacks.

Proposed planning controls have been developed to reflect the requirements of the Caulfield South NAC Built Form Framework. The controls are provided in the form of a Design and Development Overlay.

## STUDY AREA

The study area generally includes the commercially zoned land within the Caulfield South NAC and part of the commercial land within a local centre at the intersection of Glen Huntly and Kooyong Roads. Its primary frontage is to Glen Huntly Road with a length of 1.1km and has a secondary frontage to Hawthorn Road with a length of 520m. The boundaries of the NAC generally align with the existing Commercial 1 Zoning. Refer to Figure 1 - Study Area.

The study area includes a range of retail, hospitality, services, office and community uses and has a number residents living above shops in newer, mixed use developments. A major supermarket is proposed along Hawthorn Road, which will further strengthen the retail role of the NAC.

Caulfield South is experiencing the greatest amount of development pressure out of the three Centres with a significant amount of development activity and approvals along Hawthorn Road.

The centre enjoys convenient access to public transport with tram routes along both Glen Huntly Road and Hawthorn Road.



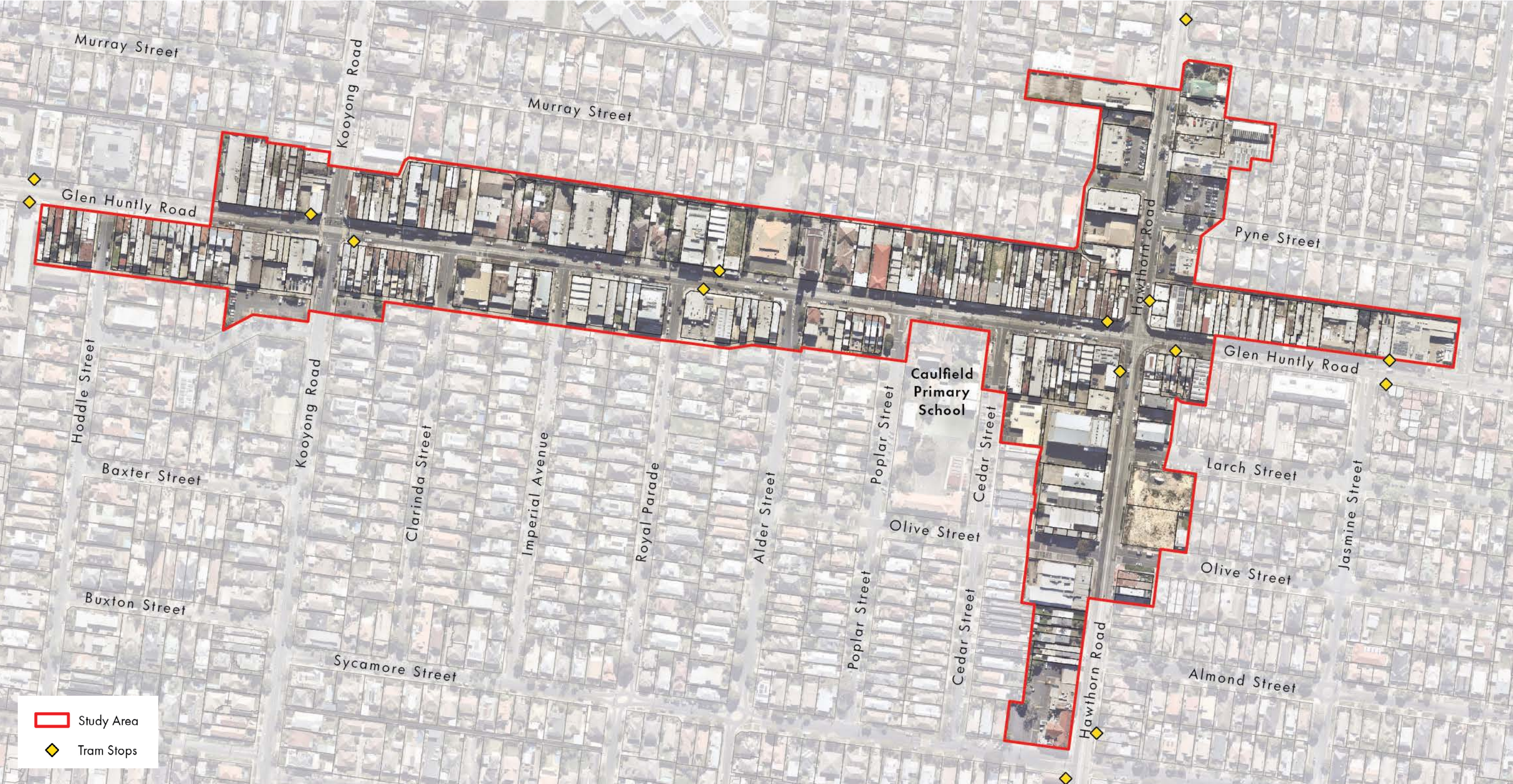


Figure 1. Study Area Plan



# PART 1 - CONTEXT & ANALYSIS

## 1. CONTEXT

- 1.1 STRATEGIC CONTEXT
- 1.2 STRATEGIC DOCUMENTS
- 1.3 PLANNING POLICY FRAMEWORK
- 1.4 LOCAL PLANNING POLICY FRAMEWORK
- 1.5 PLANNING ZONES
- 1.6 OVERLAYS
- 1.7 RECENT DEVELOPMENT CONTEXT

## 2. ANALYSIS

- 2.1 TOPOGRAPHY
- 2.2 LAND USE & INTERFACES
- 2.3 BUILT FORM & CHARACTER
- 2.4 DEVELOPMENT ACTIVITY & CAPACITY







AGE GREEK TAVERN

KAGA JAPANESE RESTAURANT

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RT Edgar

RT Edgar

WINE & BEER

SMILE EAT DRINK  
PARTY LAUGH SING



# 1 CONTEXT

## 1.1 STRATEGIC CONTEXT

Consistent with sustainable land use and development principles, Neighbourhood Activity Centres are identified in state and local planning policy and strategy as suitable locations for accommodating increased residential density. The policy framework including Plan Melbourne, City Plan and the relevant clauses of the Glen Eira Planning Scheme (State and local) establishes this clear direction.

### 1.1.1 PLANNING POLICY CONTEXT

Planning policy relating to Caulfield South Neighbourhood Activity Centre (NAC) identifies the centre as one of 11 NACs in Glen Eira. The higher order centres in Glen Eira are Major Activity Centres, of which there are six. Consistent with sustainable land use principles, NACs in the metropolitan areas are high amenity areas that should accommodate growth to meet the needs of existing and future communities. They differ from the Major Activity Centres identified in Figure 3, which offer a greater amount of transport options, retail and services. As such the level of development and change in the NACs is expected to be less than that experienced in the Major Activity Centres.

The following sections provide a brief outline of this policy context. As noted previously, the centre is largely in the Commercial 1 Zone.

In and around activity centres, a degree of change will occur, consistent with Plan Melbourne, City Plan and the Glen Eira Planning Scheme and commensurate with the level of amenity and accessibility provided by each centre and also taking into account locally-specific amenity and character considerations. Planning controls informed by the built form framework will provide Council with the necessary guidance to assess planning applications and to provide proponents and the community with clear parameters for design in centres.

Council aims to sustainably manage anticipated growth and amenity and to identify and preserve the valued features of the built environment as its activity centres evolve while also protecting the valued amenity of the areas surrounding the centres. For Council to implement built form guidance that is robust and defensible, the guidance must balance the strong

policy objectives of directing more intense development to well-located areas such as neighbourhood activity centres with the need to protect the key elements that make these centres desirable places in their own right. In the Victorian planning system, planning controls that do not achieve a reasonable balance cannot be introduced to the planning scheme.

### 1.1.2 BUILT FORM FRAMEWORKS IN CONTEXT

Built form frameworks, like structure plans, consider locally-specific elements of a centre such as land use patterns, built form and character, function and amenity and form a vision and built form controls for addition to the planning scheme. Figure 2 provides an overview of where built form frameworks sit in the planning framework relative to built form decisions and residential growth.

### 1.1.3 PURPOSE OF THE CAULFIELD SOUTH NEIGHBOURHOOD ACTIVITY CENTRE BUILT FORM FRAMEWORK

Recent development activity and planning applications at Caulfield South NAC and other NACs indicate the need for more detailed and specific built form policy and controls to guide development. While there are existing policies and controls applying to the Caulfield South NAC they generally consist of:

- High-level strategy and planning policy that supports increased densities in NACs.
- Zoning that predominantly guides land use rather than built form outcomes. The Commercial 1 Zone allows for more intense mixed use development and nearby residential zoning provides for a transition up from the residential hinterland towards activity centres.

This built form framework will provide the locally-relevant analysis of physical characteristics and a vision to inform the drafting of built form controls for the planning scheme and provide that more specific and detailed guidance.

The following issues are addressed by the built form framework:

- Preferred building heights based on built form and shadow analyses.
- Street wall and interfaces
- Building setbacks and modulation – for amenity and visual impact
- Transitions to less intense development

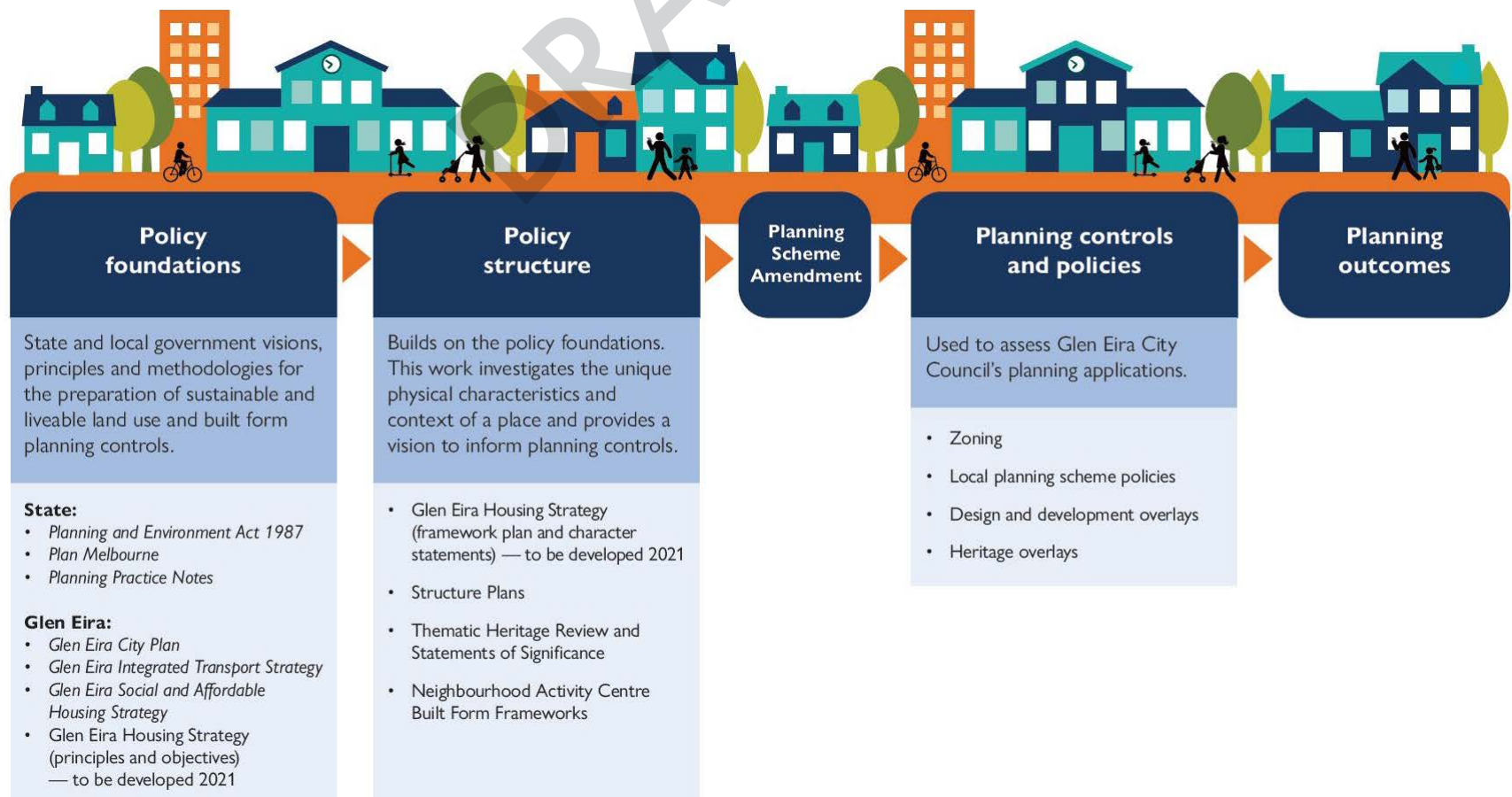


Figure 2. Built Form Framework Planning Context



1.1.4 CAULFIELD SOUTH NEIGHBOURHOOD  
ACTIVITY CENTRE LOCATION AND PHYSICAL  
CONTEXT

The Caulfield South Neighbourhood Activity Centre is located on Glen Huntly Road and Hawthorn Road in Caulfield South. The centre is located towards the north of the municipality in a predominantly residential context and enjoys access to fixed rail (tram) services along both roads. The centre is located approximately 9.0 km south-east of the Melbourne CBD.

The centre also benefits from the heritage character of the existing buildings, particularly along Glen Huntly Road. See the Built Form Analysis section of this report for an overview of the existing built form context. The areas immediately surrounding the centre are low-rise neighbourhoods in the General Residential Zone. The General Residential Zone allows for development of up to three storeys.

As mentioned previously, Council’s planning policies identify the centre as one of 11 NACs in Glen Eira, being second in the activity centre hierarchy in terms of suitability for increased density and height due to the level of amenity offered.



Figure 3. Context Plan

1.2 STRATEGIC DOCUMENTS

1.2.1 PLAN MELBOURNE 2017-2050

The updated Plan Melbourne document provides strategic direction and guidance for some of Melbourne’ state significant employment and activity centre clusters, along with housing and transport directions for greater Melbourne. While the document does not provide specific guidance to the Caulfield South Neighbourhood Activity Centre some of the more relevant directions are:

- Direction 2.1: Manage the supply of new housing in the right locations to meet population growth and create a sustainable city.
- Direction 5.1: Create a city of 20-minute neighbourhoods.

These directions aim to cluster new housing in activity centres and other places that offer good access to jobs, services and public transport and includes a policy for local governments to prepare structure plans for activity centres to accommodate growth.

There are significant opportunities for medium and higher density housing options in locations close to jobs and services including located around Major Activity Centres

The strategic direction closely aligns to the future outcomes envisaged for the NAC. Particularly providing housing opportunities close to transport enabling people to work and live in close proximity.

1.2.2 GLEN EIRA CITY PLAN

The Glen Eira City Plan provides a broad framework to manage growth and change in both housing and employment. Consistent with Plan Melbourne and several existing local planning policies, City Plan aims to direct the majority of new growth into activity centres towards sustainable land use and development outcomes.

To implement the strategic framework (introducing planning controls to the planning scheme), structure planning or built form frameworks need to be prepared for key areas suitable for growth such as major and neighbourhood activity centres and urban renewal areas. These activities produce the built

form, amenity and character material to assist to refine height controls and identify specific ways of managing amenity and character through the planning scheme.

Glen Eira City Plan provides an activity centre hierarchy which identifies Major Activity Centres at the top, followed by Neighbourhood Activity Centres and local centres. The highest levels of growth are to be directed to Major Activity Centres and urban renewal areas. Neighbourhood Activity Centres are identified as suitable for ‘moderate focus for housing growth’.

City Plan provides vision statements for growth locations. The vision for the Caulfield South NAC is:

- **Caulfield South** will be a convenient, diverse and attractive shopping strip that is vibrant both during the day and at night. Enhanced pedestrian and cycling amenity and greenery will foster an active, safe and friendly environment.

The Plan also seeks to nominate appropriate heights for the identified housing change areas with the neighbourhood activity centres identified as being suitable for up to between four storeys (for commercial areas with heritage overlays) and five storeys (for commercial areas without heritage overlays).

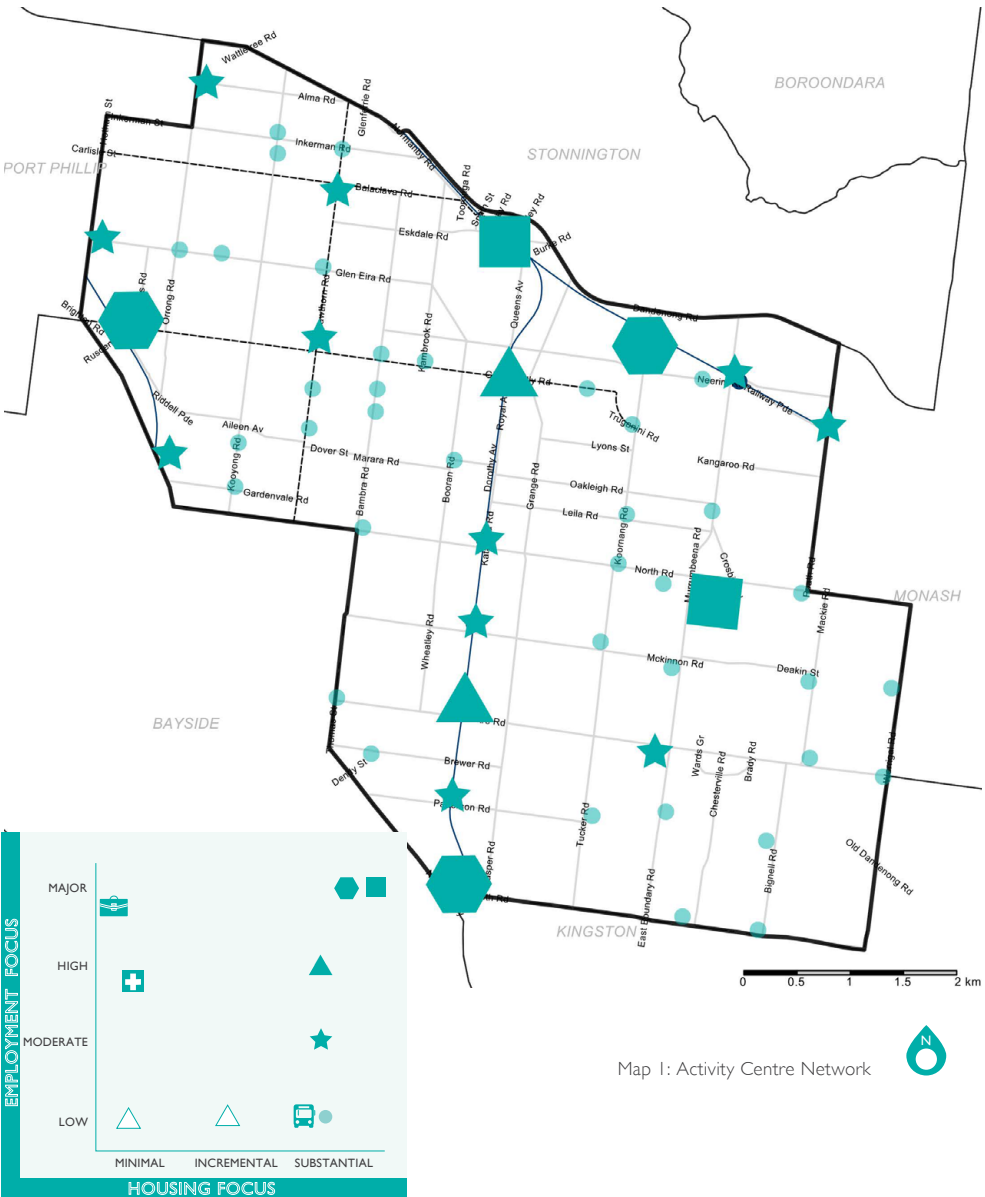
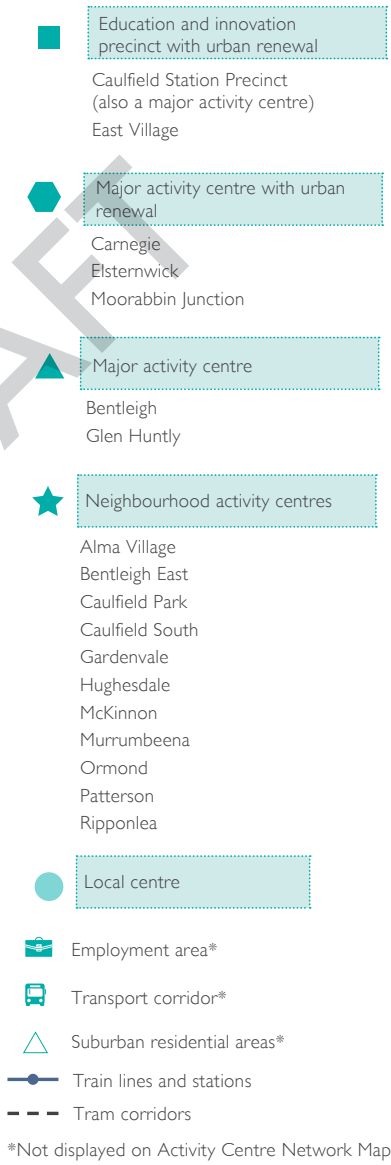


Figure 4: Activity centres — housing and employment focus

Figure 5. Glen Eira Activity Centre Network Map



## 1.3 PLANNING POLICY FRAMEWORK

### 1.3.1 PLANNING POLICY FRAMEWORK

This built form framework has been prepared to contribute towards achieving the objectives and strategies of the following state policies of the Glen Eira Planning Scheme, summarised as follows:

### 1.3.2 CLAUSE 11 – SETTLEMENT

Seeks to anticipate and respond to the needs of existing and future communities through the provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

#### Clause 11.03-1S (Activity Centres)

Seeks to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

#### Clause 11.03-1R (Activity Centres – Metropolitan Melbourne)

Aims to support the development and growth of Metropolitan Activity Centres by encouraging the location of new small scale education, health and community facilities that meet local needs in or around Neighbourhood Activity Centres.

### 1.3.3 CLAUSE 13 (ENVIRONMENTAL RISK AND AMENITY)

Seeks to strengthen the resilience and safety of communities by adopting a best practice environmental management and risk management approach.

#### 13.03-1S (Floodplain management)

Seeks to assist the protection of:

- Life, property and community infrastructure from flood hazard.
- The natural flood carrying capacity of rivers, streams and floodways.

### 1.3.4 CLAUSE 15 – BUILT ENVIRONMENT

Seeks to ensure that all new land uses and development appropriately responds to its landscape, valued built form and cultural context, and protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

#### Clause 15.01-1S (Urban design)

Aims to create urban environment that are safe, functional and provide good quality environments with a sense of place and cultural identity.

#### Clause 15.01-1R (Urban design – Metropolitan Melbourne)

Aims to create a distinctive and liveable city with quality design and amenity by supporting the creation of well-designed places that are memorable, distinctive and liveable.

#### Clause 15.02-1S (Energy and resource efficiency)

Aims to encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions through strategies such as greening urban areas, buildings, transport corridors and open spaces with vegetation to reduce urban heat island effects.

#### Clause 15.03-1S (Heritage conservation)

Seeks to ensure the conservation of places of heritage significance by retaining elements that contribute to the importance of the heritage place.

### 1.3.5 CLAUSE 16 – HOUSING

Seeks to provide for housing diversity and ensure the efficient provision of supporting infrastructure. However, the quantum of development intensification remains relatively open, with appropriate controls to be defined through local planning based on local context.

#### Clause 16.01-1S (Housing supply)

Seeks to facilitate well-located, integrated and diverse housing that meets community needs through measures such as increasing the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas and encouraging higher density housing development on sites that are well located in relation to jobs, services and public transport.

#### Clause 16.01-1R (Housing Supply – Metropolitan Melbourne)

Aims to manage the supply of new housing to meet population growth and create a sustainable city by developing housing and mixed use development opportunities in established areas. Those locations include neighbourhood activity centres - especially those with good public transport connections.



# 1.4 LOCAL PLANNING POLICY FRAMEWORK

This built form framework has been prepared to contribute towards achieving the objectives and strategies of the following local policies of the Glen Eira Planning Scheme, summarised as follows:

Please note that while this content is correct at the time of writing, Council is in the process of updating its local planning policy. While there will be changes to specific policies it is not expected that the general intent of policy relating to NACs will change.

## 1.4.1 CLAUSE 21.04 – HOUSING AND RESIDENTIAL DEVELOPMENT

This policy provides objectives and strategies to guide housing and residential development in Glen Eira. The following policies are considered relevant to this built form framework:

### Objective 4

- To stimulate and improve the vitality of Glen Eira’s commercial centres.

### Strategies

- Encourage a mix of housing types, increased residential densities and mixed use developments within urban villages and neighbourhood centres.
- Encourage residential development, where considered appropriate, subject to consultation with traders and the wider community, above or below existing car parks in urban villages and neighbourhood centres, whilst maintaining or enhancing the existing level of parking.
- Ensure that developments in commercial areas that adjoin residential areas are sensitively designed to protect residential amenity.
- Ensure residential development in commercial areas does not contribute to traffic and car parking problems.

## 1.4.2 CLAUSE 21.06 – BUSINESS

This policy provides objectives and strategies to guide the development of identified urban villages and neighbourhood centres to cater for a wider variety of commercial use while retaining a hub of convenience shops within Glen Eira. The following policies are considered relevant to this built form framework:

### Objectives (amongst others)

- To maintain a mix of commercial centres that cater for the needs of the Glen Eira community.
- To enhance and further develop urban villages and neighbourhood centres as the focus for community life.
- To maintain pleasant and safe public environments in commercial centres in partnership with business.

### Strategies (amongst others)

- Maintain the hierarchy of commercial centres so that centre functions are easily definable and to ensure that retail and other requirements are suitably provided at each level in the hierarchy.
- Ensure that new or expanded land uses are able to be accommodated in existing commercial centres, including the encouragement of non-retail businesses, where appropriate.
- Ensure commercial activities in mixed use zone complement other commercial activities nearby and not undermine the commercial hierarchy.
- Ensure that, wherever possible, additional population growth can be accommodated (for example through multi-unit development) so existing facilities in commercial centres can continue to be supported.
- Ensure that commercial centres have a high standard of urban design and are attractive and appealing to potential customers, traders and investors.

## 1.4.3 CLAUSE 22.07 – HOUSING DIVERSITY AREA POLICY

This policy identifies the areas where housing diversity will be encouraged. It also seeks to ensure that the density, mass and scale of development is consistent with the role, capacity and constraints of each centre.

### Objectives (amongst others)

- To encourage housing diversity in preferred strategic locations that have good access to public transport, commercial, community, educational and recreational facilities.
- To ensure that the density, mass and scale of residential development is appropriate to the location, role and neighbourhood character of the specific housing diversity area.
- To ensure that the siting and design of new residential development takes account of its interface with existing residential development on adjoining sites.
- To ensure that the design of new residential development is sensitive to and respectful of the scale of existing residential development on adjoining sites.

### Strategies for Neighbourhood Activity Centres

- Recognise neighbourhood centres as locations which provide significant opportunities for housing diversity, but at a lesser scale and density than developments in urban villages and the Phoenix Precinct.
- Recognise that different development outcomes are sought in the commercial and residential areas of neighbourhood centres.

### Strategies for commercial areas of centres (amongst others)

- Ensure that the density, mass and scale of development is appropriate to the scale, character and physical size of the neighbourhood centre.
- Ensure that any new residential development is designed and sited to minimise its adverse impacts on adjoining existing residential properties by way of building bulk, overlooking and overshadowing.

- Ensure that residential buildings are encouraged to step down at the rear to achieve a transition to residential areas.
- Ensure that building heights are compatible with their site context and the wider neighbourhood centre.
- Ensure that where the new building is greater in height than the prevailing building height or where significant changes in building height are proposed for residential buildings:
- There is a graduated transition in building height between the proposed building and adjoining buildings.
- The resulting height, mass and scale of the building does not dominate or visually intrude on the streetscape and takes account of views from the wider neighbourhood and at a distance.
- The upper storeys are recessive so that the visibility of upper storeys is reduced when viewed from the footpath opposite or residential properties to the rear.
- Provision be made for the establishment of new landmark buildings on strategic redevelopment sites that are made available through the removal of a level crossing.
- Ensure that the retail function and active frontage of centres is retained on the ground floor.

### Strategies for the residential areas of centres (amongst others)

- Recognise that these areas offer opportunities for multi-unit development, but at a lower scale and density than development in the commercial and mixed use areas of neighbourhood centres.
- Ensure that the density, mass and scale of residential development is appropriate to that of the neighbourhood centre.
- Encourage a decrease in the density of residential development as the proximity to the commercial area of the neighbourhood centre decreases.
- Ensure that the siting and design of residential development responds positively to its interface with existing residential development in minimal change areas.



1.4.4 CLAUSE 21.10 – HERITAGE

This policy provides objectives and strategies to guide the development that does not threaten the heritage aspects of Glen Eira. The following policies are considered relevant to this study:

Objectives

To identify, protect, enhance and promote understanding of Glen Eira’s heritage.

Strategies

- Protect places identified as having architectural, cultural or historical significance.
- Ensure sympathetic redevelopment and renovation of areas and places identified as having architectural, cultural or historic significance in the municipality.
- Enhance knowledge and popular understanding of Glen Eira’s architectural, cultural and historic heritage.

1.4.5 CLAUSE 22.01 – HERITAGE POLICY

This policy applies to all land within the Heritage Overlay and seeks to identify, protect, enhance and promote understanding of Glen Eira’s heritage. More specifically, this Clause builds upon the basis of Clause 15.03 (Heritage) and Clause 21.10 (Heritage) and provides guidance on a number of elements:

Demolition (amongst others)

- Retain significant and contributory buildings.
- Allow the partial demolition of significant and contributory buildings where the fabric to be demolished is of no significance, or for the purpose of additions if the addition will not affect the heritage significance of the building and is sympathetic in its scale and form.
- To retain significant trees, and/or garden layouts that have been identified for their historical significance.

New buildings, Alterations and Additions (Commercial Heritage Areas)

- Encourage the conservation of setbacks that impart significance to those buildings that are surrounded by open space (including but not limited to churches and schools).
- Ensure any new upper level additions and works are respectful to the scale and form of the heritage place or contributory elements of the place and, where relevant, the heritage precinct as a whole.
- Encourage higher building additions to be well set back from the front wall of the building unless the specific context of the site recommends otherwise.
- Encourage the retention, restoration or reconstruction of original shopfronts and verandahs.
- Ensure commercial infill buildings adopt a contemporary architectural form or simplified interpretation of nearby contributory buildings.
- Discourage the introduction of architectural features, where it is known that these features were not originally present.
- Discourage signage above the verandah if it results in visual clutter in the streetscape and obscures views of the subject building and nearby contributory buildings.
- Ensure retention of signage deemed to have heritage value.
- Discourage sky signs, reflective signs, animated signs and electronic signs within heritage precincts



# 1.5 ZONES

## 1.5.1 CLAUSE 34.01 COMMERCIAL 1 ZONE (C1Z)

The NAC is predominantly included within the Commercial 1 Zone the purpose of which is (amongst others) to support vibrant mixed use commercial centres for retail, office, business, entertainment and community uses, and additionally provides for residential uses at densities complementary to the role and scale of the commercial centre.

The zone contains decision guidelines that ask decision makers to consider certain aspects of development when deciding planning applications. The most relevant decision guidelines for this zone are:

### Amenity

- Consideration of the interface with adjoining zones, especially the relationship with residential areas.
- Consideration of the overlooking and overshadowing as a result of building or works affecting adjoining land in a General Residential Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.
- The objectives, standards and decision guidelines of Clause 54 and Clause 55. This does not apply to an apartment development. For an apartment development, the objectives, standards and decision guidelines of Clause 58.

### Built form

- Consideration of the streetscape, including the conservation of buildings, the design of verandahs, access from the street front, protecting active frontages to pedestrian areas, solar access, the treatment of the fronts and backs of buildings and their appurtenances, illumination of buildings or their immediate spaces and the landscaping of land adjoining a road.

### Transport

- Considerations relating to the movement of pedestrians and cyclists, and vehicles providing for supplies, waste removal, emergency services and public transport.

## 1.5.2 CLAUSE 32.08 GENERAL RESIDENTIAL ZONE (GRZ1 AND GRZ2)

A small number of allotments within south-west of the Glen Huntly Road and Hawthorn Road intersection are included within Schedule 1 to the General Residential Zone while five allotments to the east of Hawthorn Road are included within Schedule 2 to the General Residential Zone (see Figure 6).

The General Residential Zone encourages a diversity of housing types and housing growth particularly in locations offering good access to services and transport, and additionally to allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Schedule 1 to the General Residential Zone is designated 'Neighbourhood Centre Areas'.

Schedule 2 to the General Residential Zone is designated 'Tram Routes, Selected Main Roads and Residential Transition Areas'.

In respect to dwellings and residential buildings on land subject to the GRZ, residential developments must not exceed a height of 11 metres in the GRZ1 and GRZ2.

The relevant decision guidelines of the General Residential Zone ask decision makers to consider:

### Residential development

- For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. Clause 55 addresses issues such as neighbourhood character, amenity impacts and on-site amenity.
- Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.

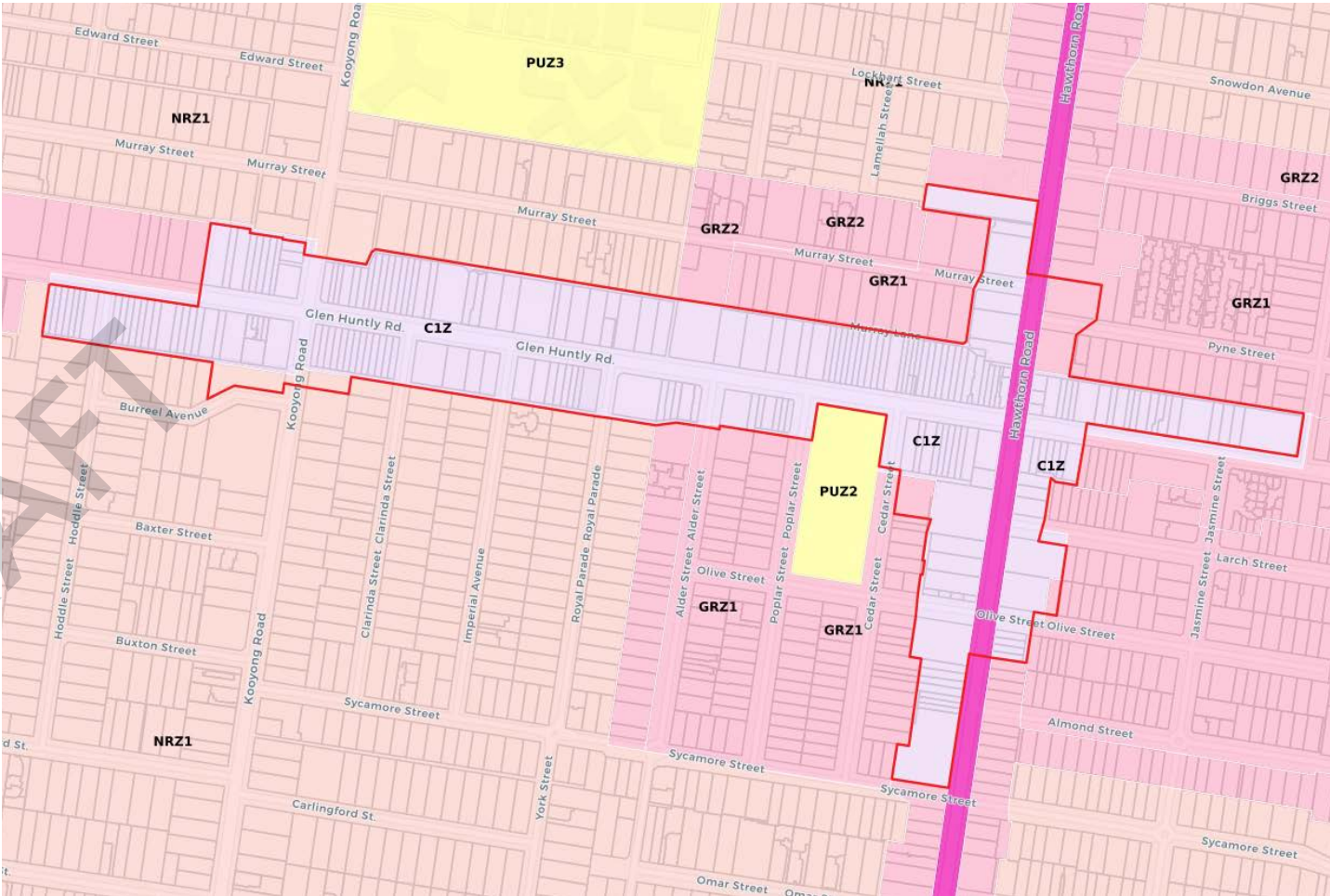


Figure 6. Planning Zones



## 1.6 OVERLAYS

### Non-residential use and development

- Whether the use or development is compatible with residential use.
- Whether the use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

### All development

- Whether opportunities exist to avoid a building being visually obtrusive through the use of alternative building designs, particularly for developments with overall building heights in excess of 10.5 metres.
- The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off-street car parking.

### 1.5.3 CLAUSE 32.09 NEIGHBOURHOOD RESIDENTIAL ZONE (NRZ1)

Two allotments within the southern portion of the Study Area, intersected by Kooyong Road, are included within Schedule 1 to the Neighbourhood Residential Zone. The purpose of the Zone is to recognise areas of predominantly single and double storey residential development, and to ensure development respects the identified neighbourhood character, heritage, environmental or landscape characteristics; whilst allowing educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Schedule 1 to the Neighbourhood Residential Zone is designated 'Minimal Change Areas'.

In respect to dwellings and residential buildings on land subject to Schedule 1 to the NRZ, a new dwelling or residential building must not exceed a height of 9 metres, and additionally must not contain more than two (2) storeys at any point.

The relevant decision guidelines of NRZ ask decision makers to consider:

### Development

- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.
- For the construction and extension of one dwelling on a lot, the objectives, standards and decision guidelines of Clause 54.
- For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55.
- Whether a subdivision proposal has sufficient land area and minimum dimensions to be in keeping with the surrounding subdivision and development patterns.
- Whether opportunities exist to avoid a building being visually obtrusive through the use of alternative building designs, particularly for developments with overall building heights in excess of 8 metres (where permitted).
- The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off-street car parking.

### Use

- In the local neighbourhood context:
- Whether the use or development is compatible with residential use.
- Whether the use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The proposed landscaping.
- The provision of car and bicycle parking and associated accessways. Any proposed loading and refuse collection facilities.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

### 1.5.4 CLAUSE 43.01 HERITAGE OVERLAY (HO66)

The Heritage Overlay aims to conserve and enhance heritage places of natural or cultural significance and to ensure that development does not adversely affect the significance of heritage places.

A portion of the Study Area spanning Alder Street from the west to Hawthorn Road in the east is affected by the Heritage Overlay, Schedule 66.

HO66 is an area specific Schedule to the Heritage Overlay, namely the 'Caulfield South Shopping Centre and Environs, South Caulfield'.

The relevant decision guidelines ask decision makers to consider:

### Heritage significance

- The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.
- Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.

### Built form

- Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.
- Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.
- Demolition, works and subdivision
- Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.
- Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.
- Whether the proposed subdivision will adversely affect the significance of the heritage place.

- Whether the proposed subdivision may result in development which will adversely affect the significance, character or appearance of the heritage place.

### Solar energy systems

- Whether the location, style, size, colour and materials of the proposed solar energy system will adversely affect the significance, character or appearance of the heritage place.



1.5.5 CLAUSE 44.05 SPECIAL BUILDING OVERLAY

The Special Building Overlay applies to land predominantly north of Balaclava Road, including Balaclava Road. The Overlay identifies land in urban areas liable to inundation by overland flows from the urban drainage system and seeks to ensure development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.

Applications are assessed against a set of decision guidelines and are referred to the relevant floodplain management authority for comment.

1.5.6 CLAUSE 45.03 ENVIRONMENTAL AUDIT OVERLAY

The Environmental Audit Overlay applies to a cluster of sites within the southern portion of the Study Area. The purpose of the EAO is to ensure that potentially contaminated land is suitable for a use which could be significantly adversely affected by any contamination.

The EAO requires a certificate of environmental audit or a statement to be issued prior to the use of the land for a sensitive use (residential use, childcare centre, pre-school centre or primary school), or before the construction or carrying out of buildings and works in associated with a sensitive use commences.

1.5.7 CLAUSE 45.09 PARKING OVERLAY (PO2)

Schedule 2 to the Parking Overlay applies to the entire NAC. Schedule 2 to the Parking Overlay is titled ‘Student Housing in Specific Areas’. Where student housing is proposed in this area, the schedule aims to provide car parking at a rate commensurate with the reduced ownership pattern of students, allowing a reduced rate of on-site car parking of 0.5 spaces per student housing bed provided.



Figure 7. Heritage Overlay and Neighbourhood Character Overlay Plan



Figure 8. Special Building Overlay Plan



Figure 9. Parking Overlay and Environmental Audit Overlay Plan



1.7 DEVELOPMENT CONTEXT

The Caulfield South NAC is a desirable location for more intense development, particularly residential. It is well-located, well serviced by public transport and offers a range of services and facilities. Planning policy at both the state and local level support the more intense development of this type of centre.

As a result, several development applications have been applied for, approved or constructed. Without detailed built form guidance in place, resultant development can appear ad-hoc and potentially not in keeping with the vision for a particular centre.

Currently more intense development has been centred on the Caulfield South NAC with some activity also occurring in the Caulfield Park NAC. Given the policy direction to locate more intense development within neighbourhood activity centres, it is prudent to develop detailed guidance for all the neighbourhood activity centres.

Notable development in the Caulfield South NAC includes:

348-354 Hawthorn Road, Caulfield South

An application for a nine storey building was refused by Council. The permit applicant appealed to the Tribunal who approved the building at eight levels based on amended plans substituted at the hearing. In its decision, the Tribunal found that the amended proposal substantially met all relevant provisions in the Glen Eira Planning Scheme and that the size of the site, its location within the NAC and lack of sensitive interfaces meant that the proposal would make a positive contribution to the centre. There was significant discussion around what was the most appropriate street wall height and commentary made that an appropriate street wall height will be different on Hawthorn Road than it is on Glen Huntly Road.

In particular, the Tribunal noted that acceptable building heights could not be based on heights developed for other centres. Any preferred heights needed to be based on detailed work for the specific centre taking into account its strategic and contextual basis.



348-354 Hawthorn Road, Caulfield South

371-377 Hawthorn Road, Caulfield South

This site has had a number of applications. A proposal for a nine storey building was refused by Council and that refusal upheld by the Tribunal. Amended plans were substituted at the hearing that reduced the overall height of the building to seven storeys. Although the Tribunal upheld Council’s refusal their main concern related to the design of the upper levels of the building and not the overall concept of the development.

The Tribunal noted the lack of detailed built form guidance and stated that any decision made on development needed to be context specific. The Tribunal also re-iterated comments that acceptable building heights could not be based on heights developed for other centres. The decision of the Tribunal contained speculation on preferred outcomes for the site, seemingly a consequence of the lack of overall direction.

A subsequent proposal for a six storey building was approved via consent at a Compulsory Conference.



371-377 Hawthorn Road, Caulfield South

380 Hawthorn Road, Caulfield South

This site has had a permit approved by the Tribunal (through consent at a Compulsory Conference) at five storeys.

388-394 Hawthorn Road, Caulfield South

An application for a seven storey building was refused by Council. The permit applicant appealed to the Tribunal and it was subsequently approved by VCAT on 15 January 2021.

As the Tribunal can only make decisions on the proposals it has before them, it is not in a position to best determine an overall and consistent approach to the built form guidance for the centres. However, it is clear that for Council to implement built form controls that are robust and defensible it needs to develop guidance that is based on both the policy context and the physical context and capacity of the centres. This will also likely result in areas within the same centre having higher built form outcomes than other areas due to site context and capacity.



380 Hawthorn Road, Caulfield South



# 2 ANALYSIS, ISSUES AND OPPORTUNITIES

The following chapter outlines analysis, issues and opportunities to be addressed through the development of the Built Form Framework for the Caulfield South NAC.

## 2.1 TOPOGRAPHY

Figure 10 reveals the elevation of landform within the NAC and surrounds, and identifies key topographic features.

The landform of Caulfield South rises gradually to a central ridgeline where the Holy Cross Church is located. This high point is noticeable in views along Glen Huntly Road from the west and east. Development near the hilltop will need to be of a high quality to enhance long views to the NAC.

Although the topography falls, it is relatively flat making it easy to walk along both Glen Huntly and Hawthorn Roads.

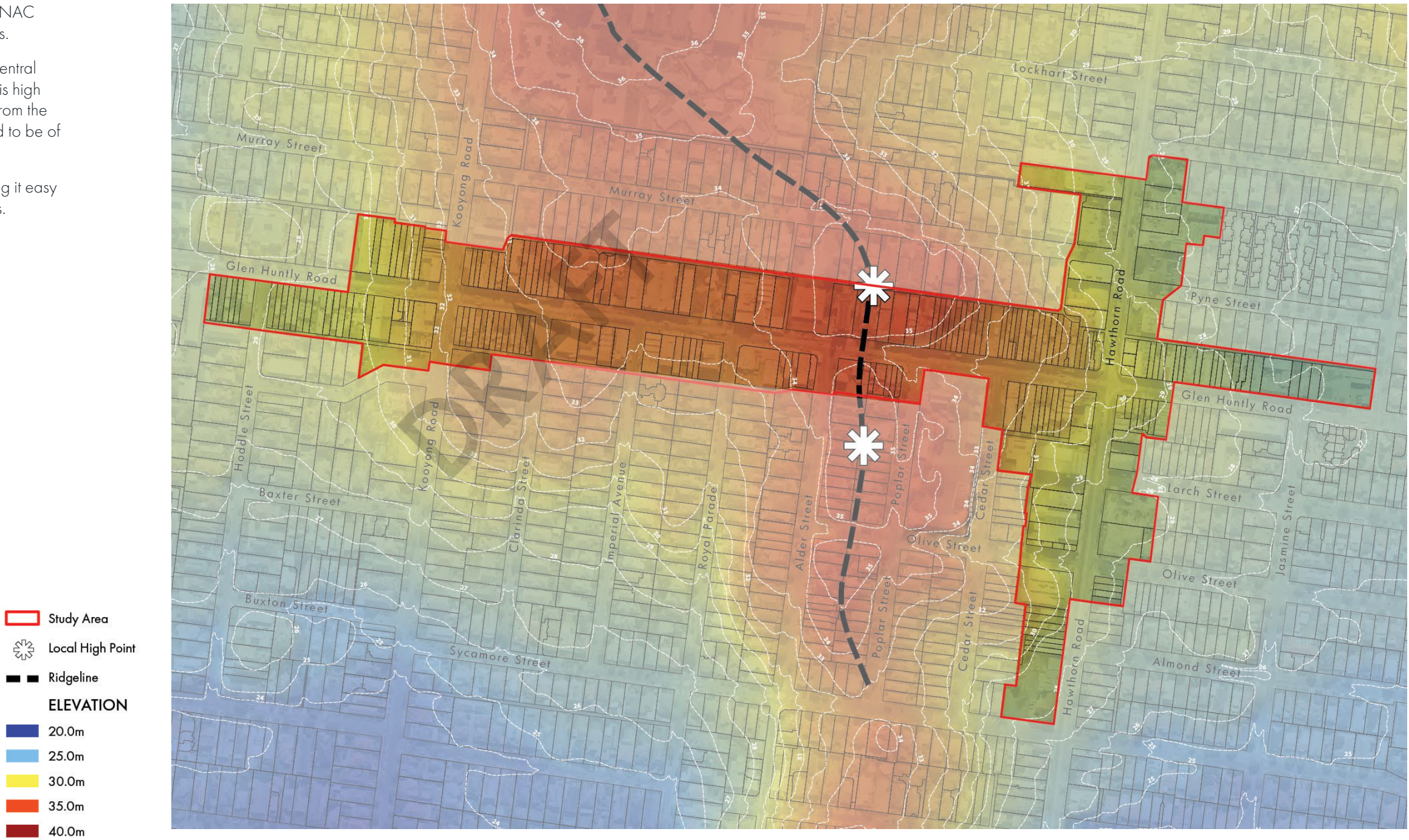


Figure 10. Caulfield South - Elevation



Figure 11 provides an assessment of land slope within the NAC.

The slope is generally subtle for properties along Glen Huntly Road with falls generally in the 0-2.5% range and some localised areas of 2.5-5.0% fall. There is a greater amount of slope across properties on the western side of Hawthorn Road with falls of approximately 2-4 metres across individual sites.

It will be important for development to respond to the fall across sites to ensure the ground level of buildings matches the street level as closely as possible.

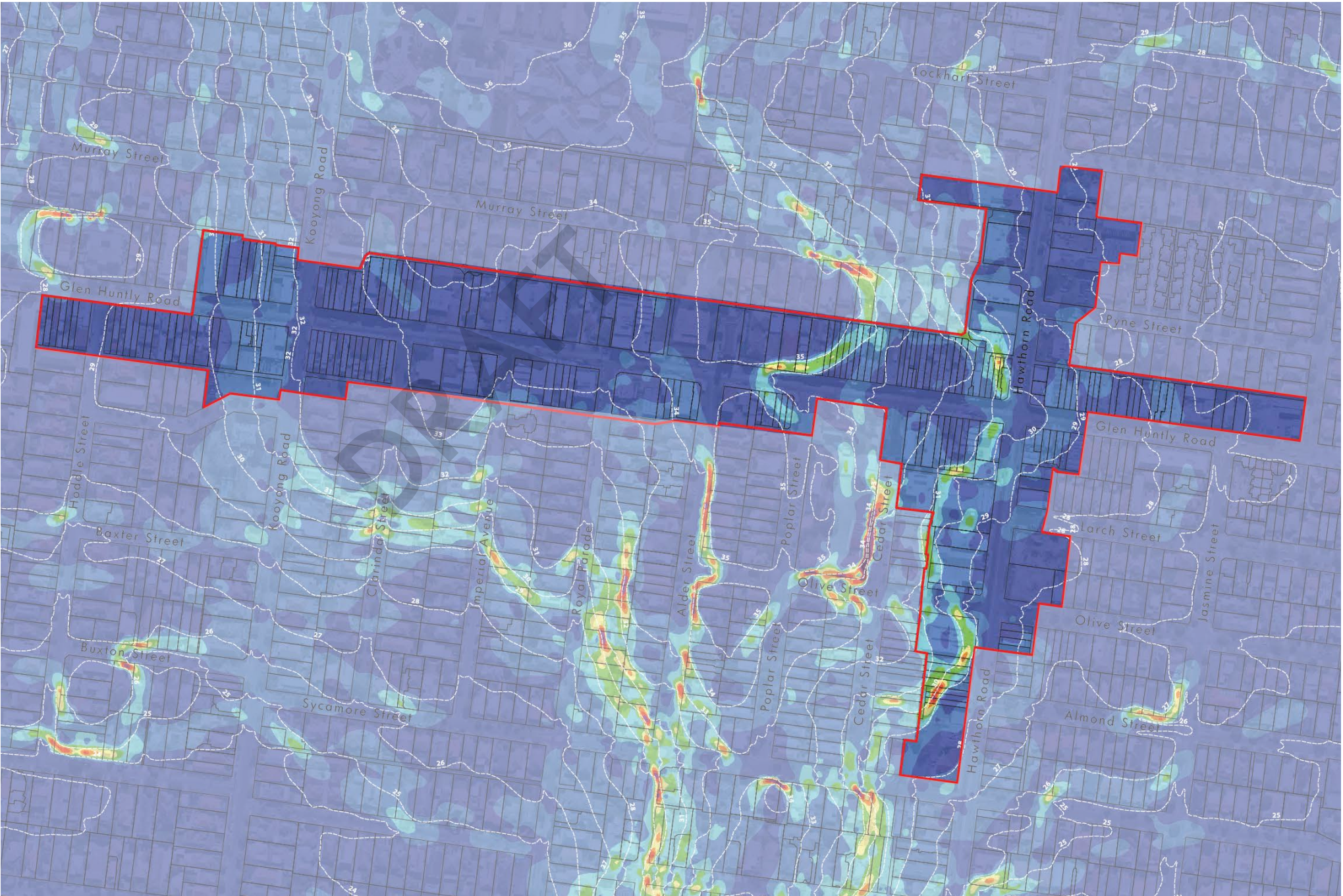
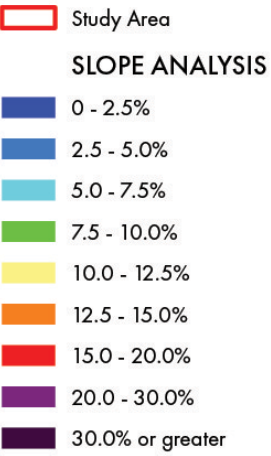


Figure 11. Caulfield South - Slope Analysis



## 2.2 LAND USE & INTERFACES

Figure 12 identifies land use precincts and range of interface conditions across the NAC.

The study area extends along Glen Huntly Road for a length of 1.1km and Hawthorn Road for a length of 520m. Its provides a local retail, hospitality and service role for the community (see Image 1). It is also very well served by public transport with two tram routes running through the centre.

The centre is broadly divided into four activity areas. Primary retail and hospitality activity is focused around the Glen Huntly Road and Hawthorn Road intersection, and the Glen Huntly Road and Kooyong Road intersection (see Image 3). Activity gradually reduces further away from these areas.

There is a secondary retail area along Glen Huntly Road, which sits between the two primary retail areas. Land uses within this area includes lower order retail, personal and business services and offices. There are several newly constructed mixed use developments and a small number of detached residential dwellings within the area. The mix of setbacks and uses diminishes street activity through the area.

Hawthorn Road is the least active part of the NAC. It includes a range of office uses, warehouse and personal and business services (see Image 4). Buildings are larger format with limited windows and active frontages to the footpaths. This is likely to improve with a number of approvals for mixed use developments. One approval includes a major supermarket which could significantly increase street activity along Hawthorn Road.

The NAC has a predominant interface with residential uses. There is a mix of laneways separating residential and commercial uses, and direct abuttal between the uses. There is a large section of the NAC with residential uses located to the south of commercial properties. Potential shadow impacts from new development will be the greatest in this location.

### 2.1.1 KEY ISSUES AND OPPORTUNITIES

- There are significant opportunities to enhance Hawthorn Road through new, mixed use developments that provide more active ground level uses.
- The central sections of Glen Huntly Road are less active due to a mix of setbacks and uses. There is an opportunity to enhance this area with new development that provides for greater activation of the footpaths (see Image 5).
- The residential interface to the south, west and east provide constraints for future building heights and setbacks. Development will require a sensitive design response to transition to adjoining residential areas (see Image 6).



**Image 1.** A mix of retail, hospitality and personal services activate the retail areas along Glen Huntly Road near the Hawthorn Road junction.



**Image 3.** Hospitality uses help to activate the western end of the NAC, near Kooyong Road.



**Image 5.** Activity diminishes in the central sections of Glen Huntly Road as this area is further away from the arterial road junctions and provides less customer focuses businesses.



**Image 2.** A prominent unarticulated side wall of a commercial building on Hawthorn Road. There are opportunities for highly visible buildings at entries to NAC to provide better articulation and enhance views to the centre



**Image 4.** Hawthorn Road's warehouse and commercial uses reduce pedestrian activity. There are significant opportunities to enhance this strip



**Image 6.** An interface between a recent mixed use development and residential. The development scales effectively and provides surveillance of the laneway. The development also provides a ground level setback to assist with servicing.



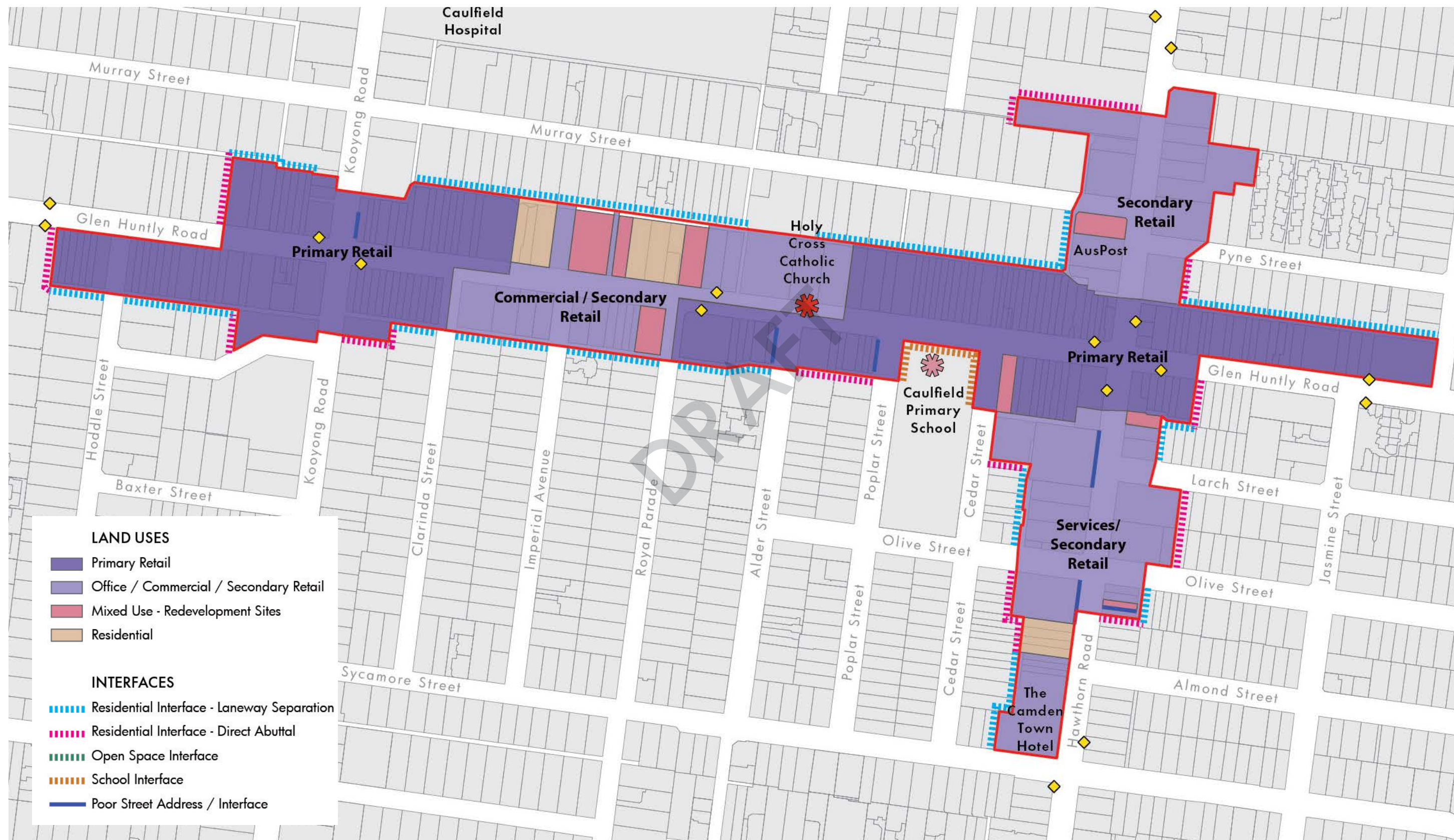


Figure 12. Land Use and Interface Analysis



## 2.3 BUILT FORM CHARACTER & PUBLIC REALM

Figure 13 maps a range of built form character and public realm elements across the Caulfield South NAC.

Understanding the existing and emerging built form and character of the Caulfield South NAC is important in order to identify heritage and character elements that should be protected, how built form could be improved and assess the impact of new, taller development on the streetscapes.

The Caulfield South NAC has a mixed built form character. The existing heritage precinct on Glen Huntly Road exhibits the strongest character in the centre with consistent double storey shopfronts from the interwar era (see images 7 and 9). The fine-grain character of these buildings provides for visual interest in the streetscape. The Heritage Precinct terminates at the tower of Holy Cross Catholic Church, which is located on a high point and is visually prominent.

This fine grain double storey shopfront character also exists on Glen Huntly Road east of Hawthorn Road however there are fewer interwar shopfronts than in the heritage precinct (see image 14). Similarly, east and west of Kooyong Road includes a number of double storey shopfronts from the interwar period (see image 13).

Outside of these areas on Glen Huntly Road, the built form character is mixed. Building setbacks are varied, original shopfronts are generally single storey and have less of a presence in the streetscape.

There are a number of more recent developments of up to five storeys dispersed along Glen Huntly Road. These buildings have a mixed impact on the streetscape. On the north side of Glen Huntly Road, recent development has varied upper level setbacks and does not create a cohesive street wall. These developments also have large vehicle entries to basement car parks which disrupts the retail activity (see images 11 and 17). On the south side of the road there is one recent development which makes a more positive contribution to the streetscape by retaining the existing two storey street wall and locating basement car park access to the rear of the site (see image 12).

Hawthorn Road also lacks a cohesive character and buildings generally provide a poor address to the street. This character will change, with a number of newly completed mixed use developments over three-storey, as well as other development applications and permits submitted and issued.

Existing awnings provide weather protection to footpaths along the primary retail areas of Glen Huntly Road. Weather protection is however limited along other parts of Glen Huntly Road and Hawthorn Road. This is a reflection of existing land uses in the NAC.

The footpaths along Glen Huntly Road and Hawthorn Road are key public spaces. They have good access to sunlight and provide good opportunities for on street dining and gathering. Although there is currently limited pedestrian activity along Hawthorn Road, this is expected to change as redevelopment occurs.

### 2.2.1 KEY ISSUES AND OPPORTUNITIES

- The consistent two storey shopfronts within the heritage precinct and other sections of Glen Huntly Road is an important character element which also provide a good sense of 'human scale' to the streets. There is an opportunity to adopt this street wall scale in new development (see Image 7).
- The street wall along Hawthorn Road is changing with a number of approvals for a three storey street edge. There is an opportunity to continue this scale in new development to create a cohesive streetscape.
- The heritage precinct is protected by Schedule 66 to the Heritage Overlay (HO66). It will be important to maintain the prominence of the heritage shopfronts within the streetscape by providing appropriate heights and upper level setbacks for new development.
- The Holy Cross Church is an important landmark in the NAC with clear views to the Church's spires along sections of Glen Huntly Road. The ground level setbacks on the neighbouring sites allow the tower to be seen from a distance. It will be important to maintain views to the Church and its spires (see Image 8).
- There are opportunities to strengthen the built form character on Hawthorn Road with high quality architecture and development that provides an improved interface with the footpath.
- The narrow or 'fine-grain' shopfronts focused along parts of Glen Huntly Road, are an important part of the streetscape. This should be retained and reflected in new development across the NAC to provide visual interest and a diversity of land uses.
- It will be important to maintain solar access to key pedestrian street in the activity centre particularly the southern footpath of Glen Huntly Road and the east and west footpaths on Hawthorn Road and Kooyong Road. This will support the role of the streets as key public spaces.
- There is generally a lack of "green" public spaces in the core retail area, and no public open space near the activity centre. There are opportunities to create more green elements in the streetscape, widen footpaths in strategic locations, and encourage public plazas and spaces through the redevelopment of larger sites.
- There are a number of recent developments on Glen Huntly Road with large basement car park entries to the street, which disrupts street activity and pedestrian movement. New development should provide access from existing laneways where they exist to prevent this from occurring.
- As the existing laneways are typically only 3 metres wide and do not support two way traffic, this may present constraints in the long-term for car parking and service access.
- There is no north-south pedestrian connection on the north side of Glen Huntly Road between Hawthorn Road and Kooyong Road apart from narrow laneways. There may be opportunities to create mid-block linkage and widen /activate laneways through the redevelopment of properties.



**Image 7.** The existing heritage shopfronts provide a consistent double storey street wall. It will be important maintain the prominence of the heritage buildings through the development of building heights and setbacks.



**Image 8.** The Holy Cross Church is visually prominent along Glen Huntly Road, particularly the two spires. The ground level setbacks on the neighbouring properties helps to keep this view open. It will be important to maintain views to this important landmark.



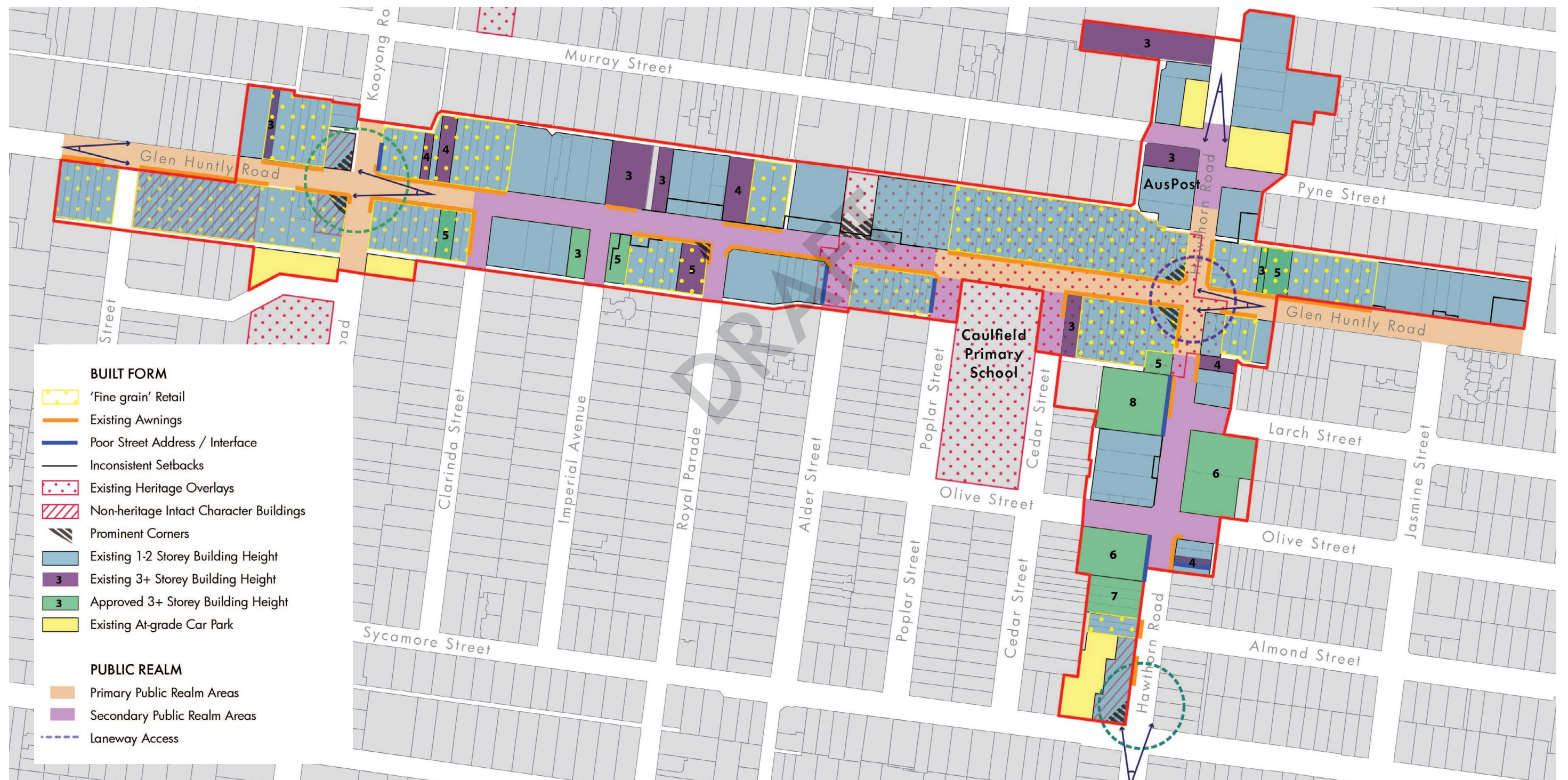


Figure 13. Built Form Character & Public Realm Analysis





**Image 9.** The double storey buildings in the Heritage Precinct create a consistent street wall height that should be maintained with new development



**Image 10.** A recent development at the western edge of the heritage precinct which exceeds the height of the heritage street wall. The building activates the secondary street frontage with active uses at ground level and weather protection



**Image 11.** The central section of Glen Huntly Road has a mixed built form character. Recent development has varied upper level setbacks and does not create a consistent street wall. Existing detached dwellings with ground level setbacks diminish street activity.



**Image 12.** A recent four storey development on Glen Huntly Road, near Kooyong Road which retains the original double storey shopfront and recesses additional development behind.



**Image 13.** The two images above show consistent two storey street buildings on Glen Huntly Road, west of Kooyong Road. These buildings are not covered by a Heritage Overlay however they make an important contribution to the streetscape character.



**Image 14.** The two images above show consistent two storey street buildings on Glen Huntly Road, east of Hawthorn Road. These buildings are not covered by a Heritage Overlay however they make an important contribution to the streetscape character.





**Image 15.** The retail areas of Glen Huntly Road provide a good pedestrian environment with a diversity of uses, outdoor dining and continuous weather protection. There are opportunities to fill the activity gaps along Glen Huntly Road and Hawthorn Road through new development



**Image 16.** Hawthorn Road provides an undesirable pedestrian environment with tired concrete paving, inactive building frontages and inconsistent awnings for weather protection. There are opportunities for new development to enhance the streetscape.



**Image 17.** Recent mixed use development on Glen Huntly Road with a major entry to a basement car park. The entry disrupts the footpath and shopfront activity. Access should be provided from the rear where possible to avoid this outcome.



**Image 18.** Panorama of Hawthorn Road Northern section



2.3.1 EXISTING SHADOW ANALYSIS

Figure 14 demonstrates the shadows cast by existing buildings within the Caulfield South NAC. Development above 3 storeys and recent approvals are shown separately in green.

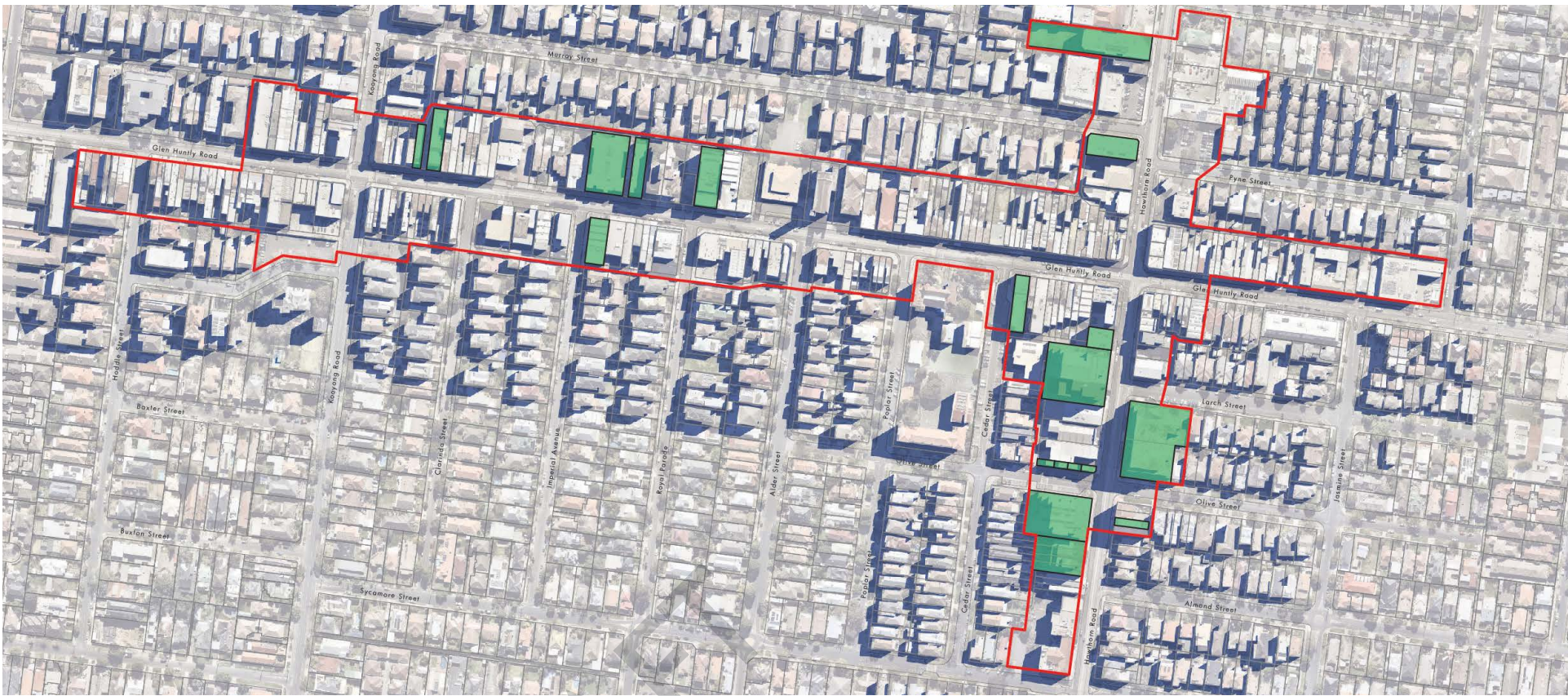
The date selected for the shadow analysis is September 22 - the equinox. This represents the mid-point between the summer solstice and winter solstice. It is the date commonly used in planning assessments to assess the impact of shadows.

The analysis demonstrates that more recently developed buildings on Hawthorn Road shadow the footpath at 9am and from 3pm onwards at Equinox. The lower scale shopfronts have minimal shadow impact on footpaths.

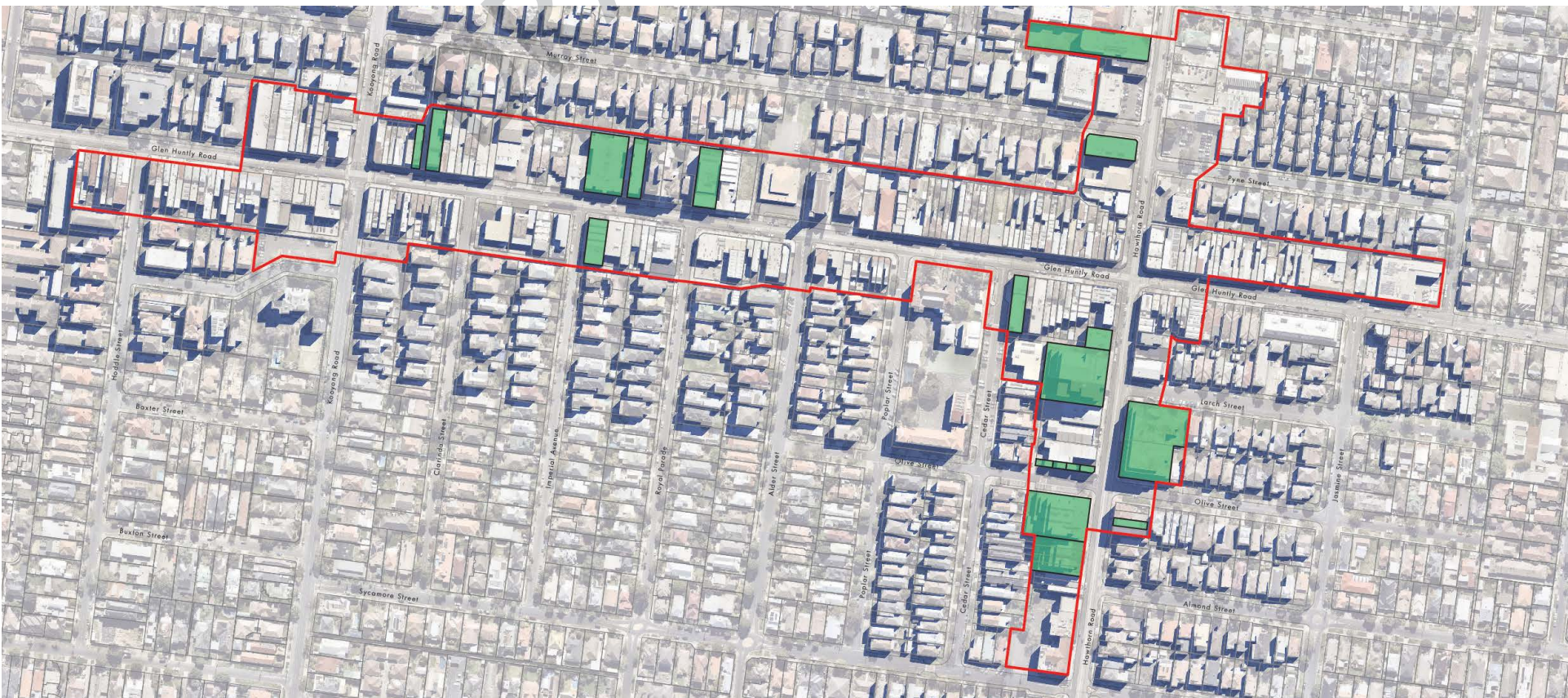
The analysis also demonstrates there is minimal shadow impact on existing residential areas from commercial buildings.

The 3D model for the shadow analysis has been developed using PSMA Geoscape building footprint data which provides an outline of the building footprint and overall roof height. The building footprints have been extruded up to the overall roof height and integrated into a topographic model.

9am - Sept 22



10am - Sept 22






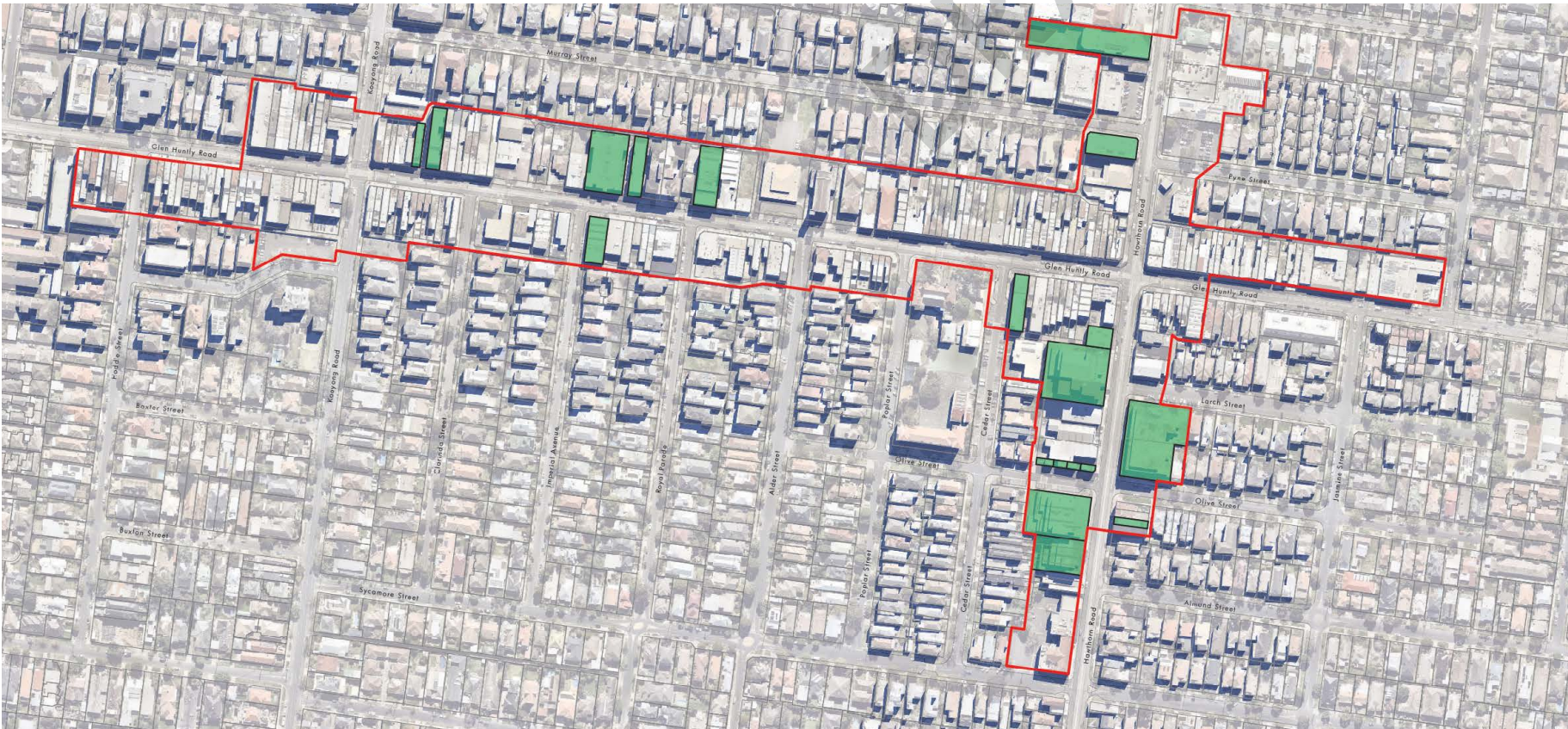
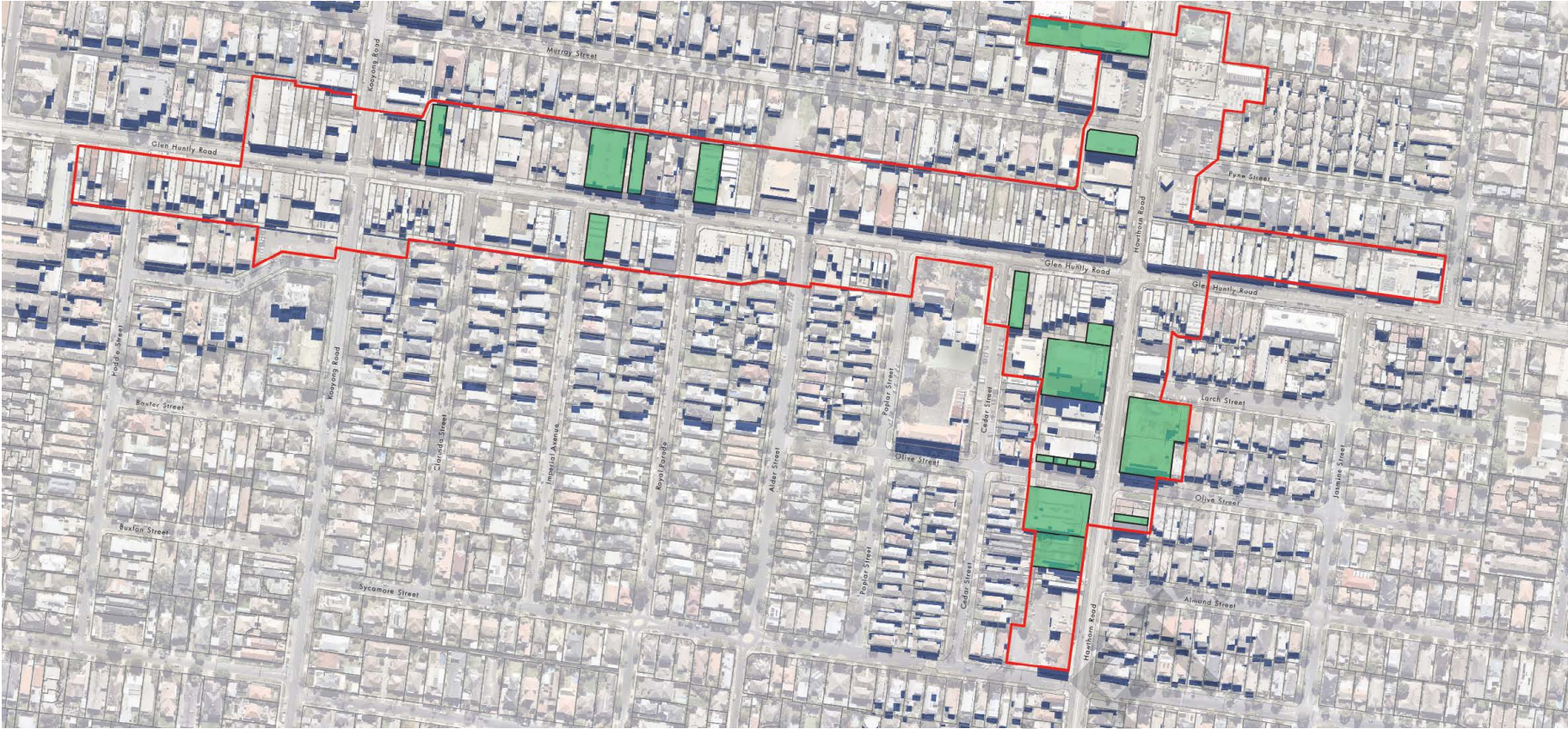
-  NAC Boundary
-  Approved / Constructed Development of 3 storeys or greater
-  Shadow from existing and approved buildings

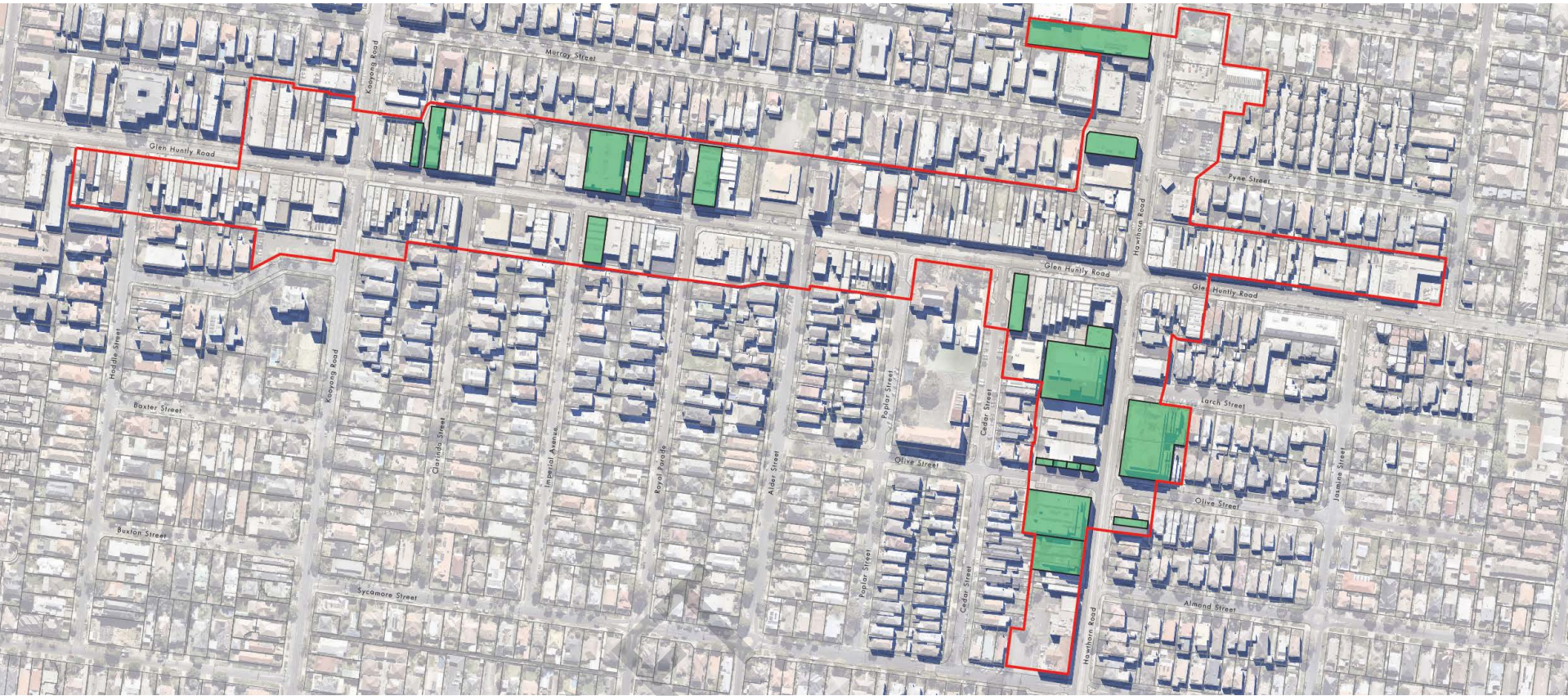
Figure 14. Existing Shadow Analysis



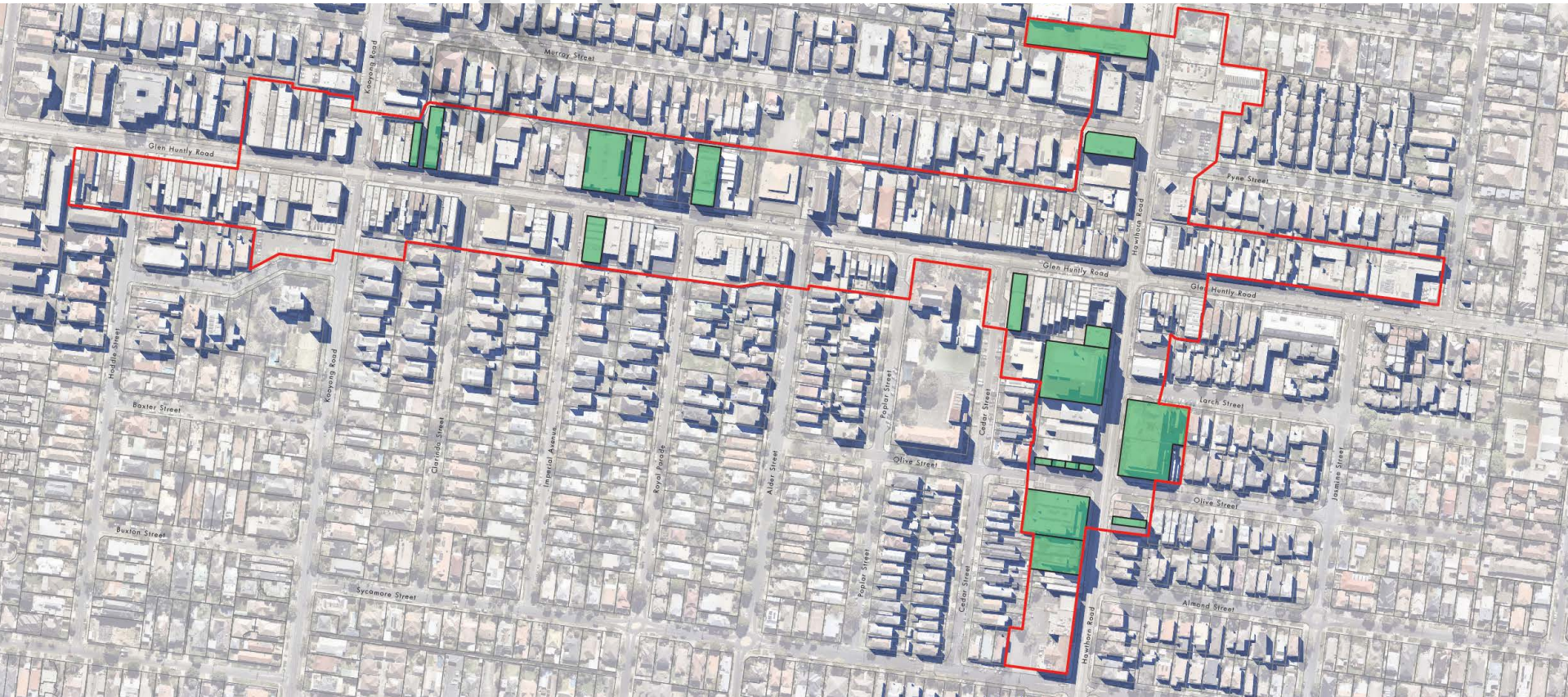




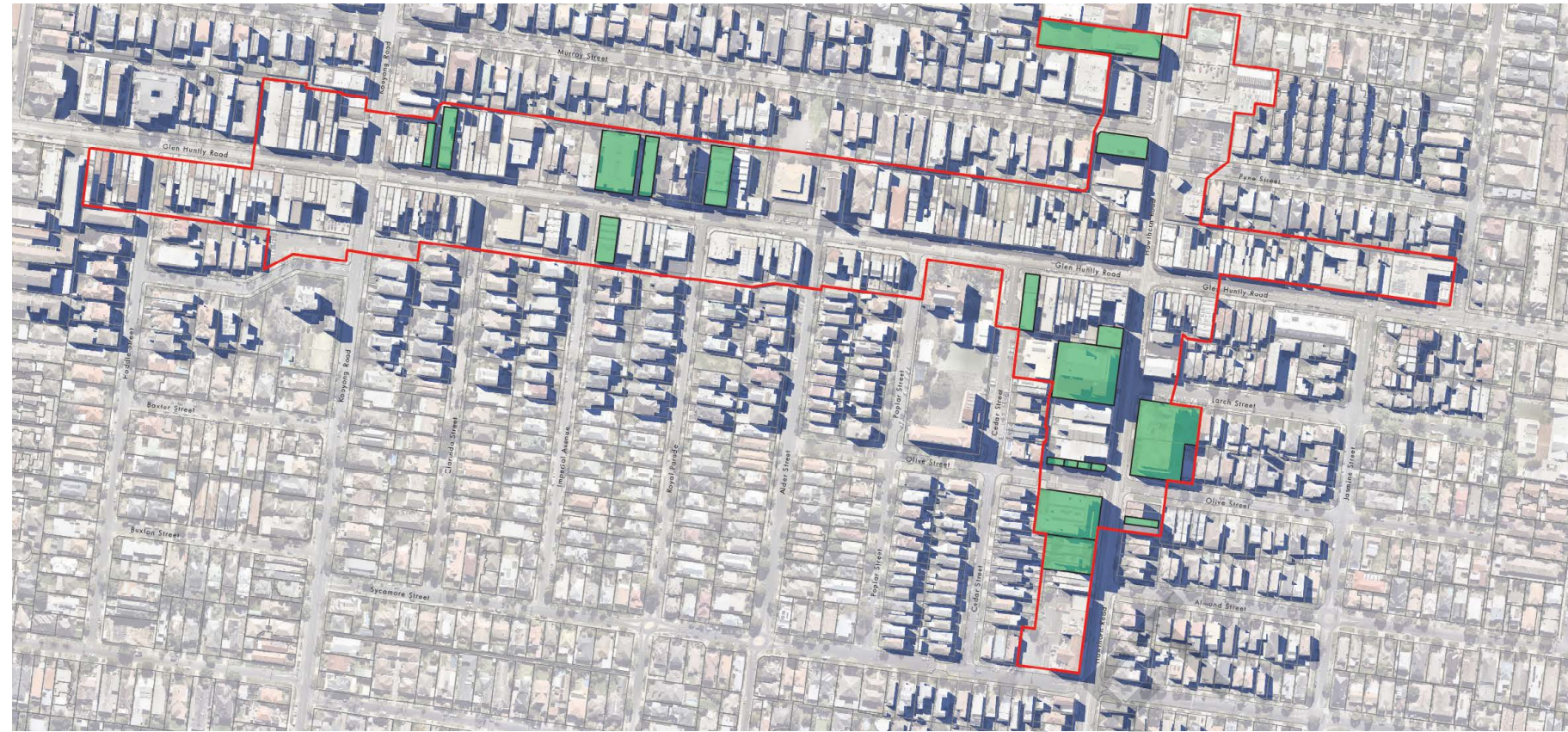
1pm - Sept 22



2pm - Sept 22









## 2.4 DEVELOPMENT ACTIVITY AND CAPACITY

Figure 16 maps recent development activity within the Caulfield South NAC, sites that are constrained for development and sites that present good development opportunities.

Development activity and capacity is an important consideration in preparing the Built Form Framework. Recent development can indicate the type of development that the centre will attract in the future. Analysing the potential capacity of the centre is also important to understand the scale and type of development that could potentially be accommodated.

Development activity within the Caulfield South NAC is generally focused along Hawthorn Road which has seen a number of recent development applications and VCAT decisions. The approved heights range between 5-8 storeys. A number of large sites remain along Hawthorn Road which will further change the character of the centre if redeveloped.

The central section of the centre between Kooyong Road and Royal Parade is another focus for development with a number of constructed buildings. Heights are generally lower than Hawthorn Road ranging between 3 and 5 storeys however there is one development of 8 storeys which was not supported by Council.

### 2.4.1 KEY ISSUES AND OPPORTUNITIES

- The mapping opposite identifies areas at the western and eastern ends of Glen Huntly Road where future development may be constrained, due to lot size, width and depth. Lot consolidation may be required to support development
- The existing heritage overlay area is likely to present a constraint to development as the prominence of the heritage buildings will need to be retained (see Image 20).
- There are a number of sites that present good opportunities for development based on lot size. These include a number of sites on Hawthorn Road (see Image 21) and sites in the central sections Glen Huntly Road. These sites generally benefit from laneway access or a secondary street frontage which can assist with future vehicle and service access.
- The eastern half of the centre has an interface with the General Residential Zone which allows development of up to three storeys. The western half has an interface with the Neighbourhood Residential Zone which limits development to two storeys. It will be important for future building heights to transition sensitively to the surrounding residential areas.

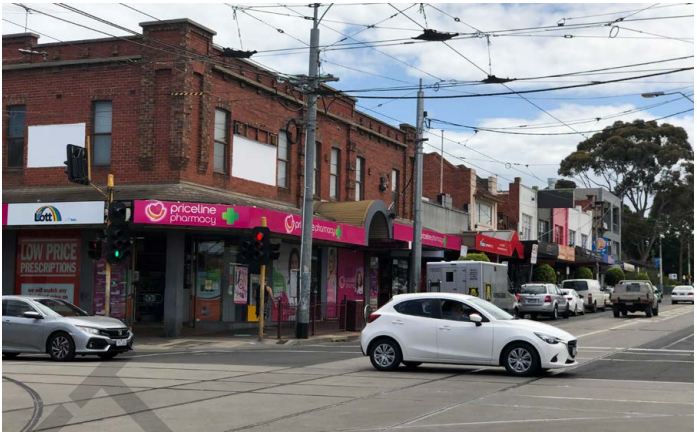


Image 20. Heritage properties on Glen Huntly road should be retained and will present a constraint for future development. These lots are also narrow in width.



Image 22. Narrow sites at the western end of Glen Huntly Road that may be constrained for development unless they are consolidated.



Image 21. Large sites on Hawthorn Road provide redevelopment opportunities.



Image 23. A recent development on Hawthorn Road of three storeys.





Figure 16. Development Activity and Capacity Analysis



## 2.5 LOT WIDTH ANALYSIS & TYPOLOGIES

Figure 17 provides analysis of lot widths across the Caulfield South NAC and Figure 18 provides an indication of the potential development outcomes that could be accommodated on each site based on the lot width.

The typology analysis has been undertaken on the basis of a residential development outcome. Commercial development would be less constrained with less of a need to provide daylight into habitable rooms.

Front and rear facing apartments provide the simplest development outcome for narrow lots, as they can facilitate 1-2 apartments facing the street, and one facing the rear of the property, on each floor (subject to width). This type of development occupies the entire width of the lot, and does not provide any articulation or activation to either side of the development (which is assumed will develop in a similar manner).

Wider properties can accommodate a different model of development, podium and tower, which can have an outlook to other developments either side. This type of development can provide for a greater range of apartment types with varying aspects. It does however create issues of apartment separation for privacy and daylight that need to be considered.

The analysis indicates that there are mixed lot widths across the centre. Existing lot widths will limit development opportunities in the heritage precinct and at the western end of the centre, west of Clarinda Street.

Elsewhere lot widths will support a range of different outcomes for apartment developments. Hawthorn Road provides significant opportunities with the widest allotments.

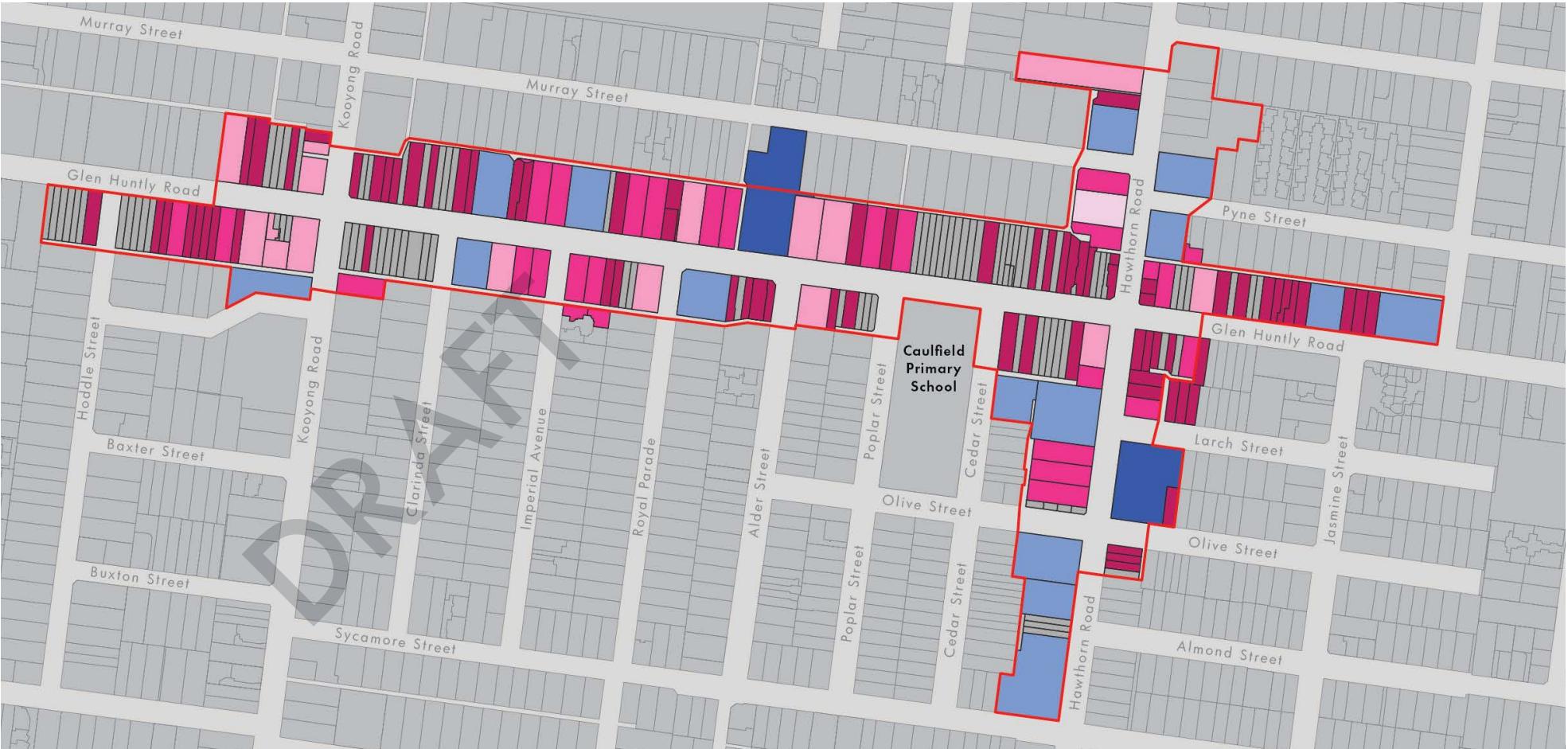


Figure 17. Caulfield South - Lot Width Analysis

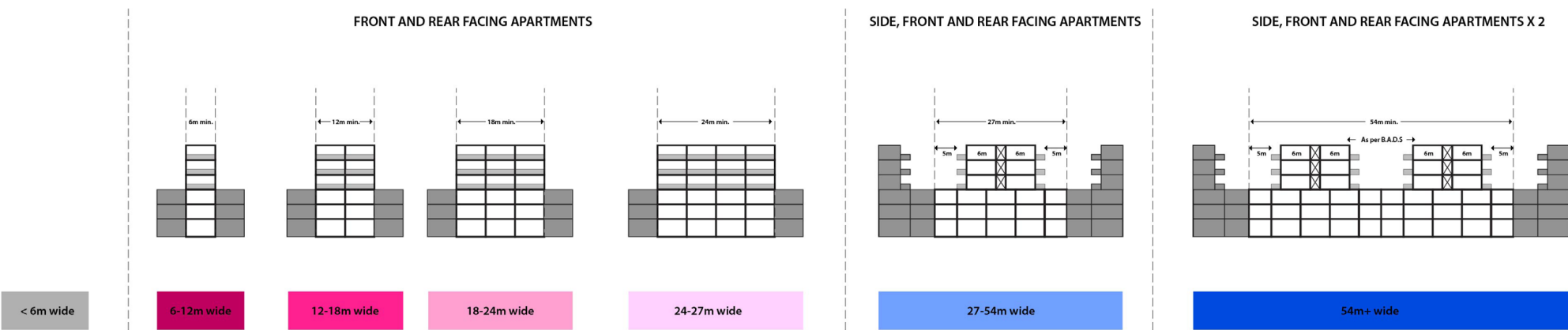


Figure 18. Lot Width Typologies



## 2.6 LOT DEPTH ANALYSIS & TYPOLOGIES

### 2.6.1 LOT DEPTH ANALYSIS & TYPOLOGIES

Figure 19 provides an analysis of lot depths across the NAC and Figure 20 provides an indication of the potential development outcomes that could be accommodated on each site based on the lot depth.

Similar to lot width, the depth of a property has an impact on the type of development that can be provided as shown on the typologies opposite.

The typologies indicate that shallow lots provide a limited opportunity for development, and allow for only single aspect apartments. This takes into account a typical setback to a residential interface, and a suitable upper level setback to the primary street frontage.

Lots which are deeper provide opportunities for dual aspect apartments, addressing the primary street, and the rear of the lot.

Lots greater than 55m (approx.) could allow for two buildings with both front and rear facing apartments. This outcome does create apartment separation issues that need to be considered.

Lot depths across Caulfield South would generally be able to support front and rear facing apartments. Lots on the north side of Glen Huntly Road are deeper which will allow development to transition in scale to the adjoining residential uses.



Figure 19. Caulfield South - Lot Depth Analysis

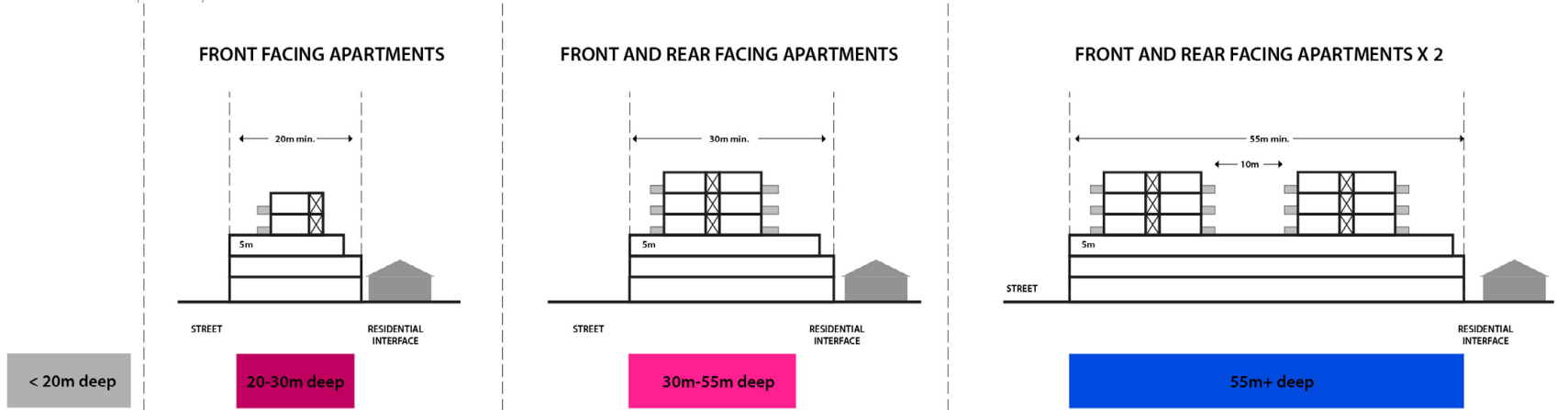


Figure 20. Lot Depth Typologies



# PART 2 - THE BUILT FORM FRAMEWORK

## 3 DESIGN PRINCIPLES

### 3.1 THE PRINCIPLES

## 4 BUILT FORM FRAMEWORK

### 4.1 BUILT FORM FRAMEWORK

### 4.2 CENTRE-WIDE DESIGN OBJECTIVES AND REQUIREMENTS

### 4.3 PRECINCT 1 - HAWTHORN ROAD

### 4.4 PRECINCT 2 - GLEN HUNTLY ROAD EAST

### 4.5 PRECINCT 3 - GLEN HUNTLY ROAD HERITAGE

### 4.6 PRECINCT 2 - GLEN HUNTLY ROAD WEST







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# 3 DESIGN PRINCIPLES

The following over-arching principles have been prepared to guide the drafting of design objectives and requirements for the Caulfield South NAC. The principles aim to respond to the issues and opportunities identified in Part 1 relating to amenity and character, and an understanding of the centre’s strategic role in meeting future housing and employment needs.

## 3.1 THE PRINCIPLES

### PRINCIPLE 1 - A VIBRANT NEIGHBOURHOOD CENTRE WITH A MID-RISE CHARACTER THAT VALUES HERITAGE

#### MID-RISE CHARACTER

The approach for Caulfield South is to establish a mid-rise character providing for building heights in the 4-6 storey range. These heights will support further growth of the centre whilst sensitively integrating into the surrounding residential context and responding to the important heritage precinct along Glen Huntly Road. The proposed heights also recognise the emerging character along Hawthorn Road, which is reflected in heights of 6 storeys in this location.

Glen Eira includes a mix of both Major Activity Centres (MACs) and Neighbourhood Activity Centres. The MACs play a significant role for the community providing a number of public transport options, and access to retail, services and employment opportunities. The NACs play an important, though less significant role in meeting future needs for housing and employment as they are smaller in size with less retail and employment opportunities. They tend to serve the surrounding local neighbourhoods.

The Glen Eira City Plan outlines the preferred focus for the NACs and notes that they will have a ‘medium’ focus for employment growth and a ‘moderate’ focus for housing growth. Caulfield South is identified as a Neighbourhood Activity Centre and as such is intended to experience moderate growth.

The Caulfield South NAC is somewhat constrained for development. It includes a substantial heritage precinct, some areas of smaller lots, a residential interface along most of its edges and key footpaths which need to be protected from overshadowing. Combined together, these constraints will limit development opportunities.

#### PROTECT AND ENHANCE HERITAGE

Caulfield South includes a substantial heritage precinct recognised for its Inter-war shopfronts. It also includes the Holy Cross Church site, which is a major landmark along Glen Huntly Road.

The Built Form Framework will ensure these heritage buildings and their prominence in the streetscape is maintained.

This will be achieved by matching the street wall height of existing contributory and individually significant heritage buildings and adequately recessing upper levels to ensure the street wall is the dominant element in the streetscape. Overall building heights are also lower within the heritage precinct and mandatory building heights are proposed. Additional design details will ensure the new buildings and additions do not compete with the heritage facades.

For the Holy Cross Church, additional ground level setbacks are proposed on neighbouring sites to ensure it remains a dominant feature when looking east and west along Glen Huntly Road.





PRINCIPLE 2 - AN ENJOYABLE AND SAFE PLACE TO SHOP, WORK, GATHER, DINE AND EXERCISE

REINFORCE THE HUMAN SCALE TO KEY STREETS

Existing buildings within the Caulfield South NAC are generally low scale, between one and two storeys in height. The low scale character of the centre will change over time.

It is important that new, taller buildings are designed in a way that integrates with the existing low scale of the centre and do not dominate the streetscape. This is possible by providing a lower scale building at the street edge and setting the taller elements further behind.

A two-to-three storey building height at the street is recommended for the Caulfield South NAC, which will maintain a scale that is both compatible with existing heritage and non-heritage shopfronts, and does not overwhelm the streetscape. This has been evidenced by recent developments in the NAC that provide a three storey street wall.

Another aspect to the human scale in the Caulfield South NAC is the ‘fine-grain’ narrow shopfronts, which provide visual interest and provide for a greater diversity of uses and experiences. It is recommended this character is continued through new developments across the centre.

MAINTAIN SOLAR ACCESS TO KEY FOOTPATHS

The Caulfield South NAC is limited in terms of its public gathering spaces such as squares and parks. Therefore the footpaths play an important role as spaces for people to gather and interact. Maintaining sunlight to key footpaths is important to encourage outdoor dining and street based retail, and support the vitality of the centres.

The Built Form Framework Plan for the Caulfield South NAC identifies the key footpaths where access to sunlight is considered to be important. This includes the southern footpath of Glen Huntly Road, where retail and hospitality activity is currently focused, and the east and west footpaths of Hawthorn Road and Kooyong Road.

Sunlight access is often measured at the equinox (22 September) in Planning Schemes across Victoria. This date sits mid-point between the winter solstice (June 22) where shadows are at their longest, and the summer solstice (December 22) where shadows are at their shortest. For the Caulfield South Built Form Framework, the Equinox was selected as the date to measure solar access.

The following measures for solar access have been adopted for the Built Form Framework. These time periods will ensure sunlight is provided to the footpaths at the most active times of the day, which will help to support hospitality and retail uses.

These measures were tested and considered to provide a balance between providing good solar access whilst not unreasonably limiting development opportunities in the centre.

Maintain sunlight to key footpaths as follows:

- Southern footpaths of Glen Huntly Road - Solar access from 10am on September 22
- Western footpaths of Hawthorn Road and Kooyong Road - Solar access from 10am - 12pm on September 22
- Eastern footpaths of Hawthorn Road and Kooyong Road - Solar access from 12pm - 2pm on September 22

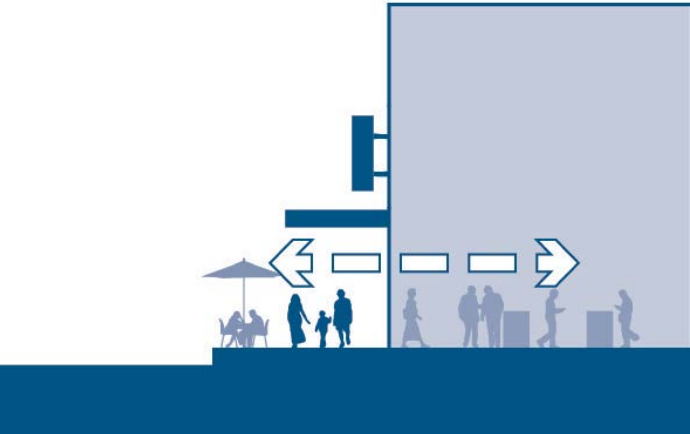
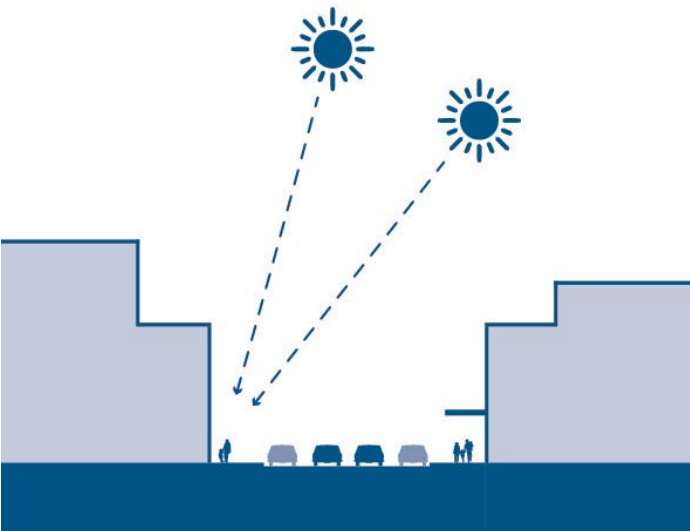
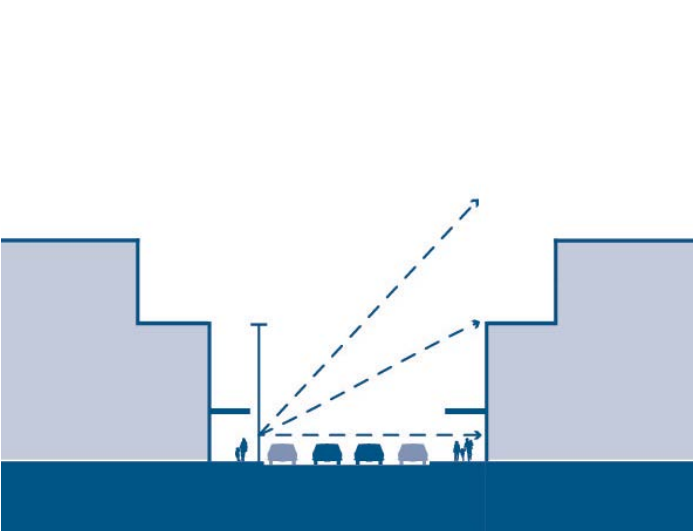
PROVIDE FOR A CONTINUOUS NETWORK OF ACTIVE FRONTAGES WITH WEATHER PROTECTION

Continuous retail and business activity across the Caulfield South NAC is key to providing a positive pedestrian experience. Locations where there are blank walls, car park or loading areas to the street, disrupt the flow of retail activity and provide limited passive surveillance of the footpaths.

It is recommended that all of Glen Huntly Road, Hawthorn Road and Kooyong Road are treated as active frontages, with windows at ground level, and uses at the front of the building that provide for customer engagement. Buildings on corners would provide active frontages to both streets. In addition, uses above the ground level are encouraged to address the street with windows and balconies.

All buildings should be constructed with floor to ceiling heights that would support retail, commercial and hospitality uses at ground level. This will allow for buildings to be easily adapted for such uses into the future and further strengthen street based activity.

Existing awnings provide weather protection along the majority of properties on sections of Glen Huntly Road within the core retail areas. New developments should continue this element along both Glen Huntly Road, Hawthorn Road and Kooyong Road, with awnings placed at lowered heights to reinforce an intimate pedestrian environment.





**PRINCIPLE 3 - A CENTRE THAT EMERGES SENSITIVELY FROM THE SURROUNDING NEIGHBOURHOOD AND CONSIDERS RESIDENTIAL INTERFACES BOTH WITHIN AND OUTSIDE THE CENTRE**

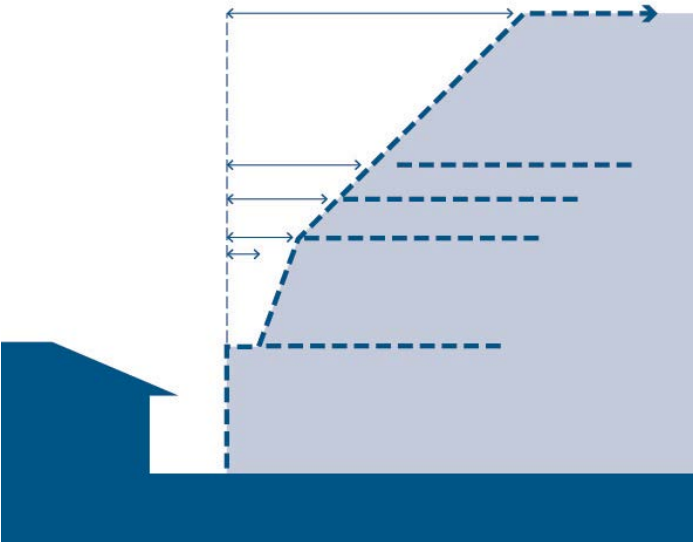
**ENHANCE THE RESIDENTIAL INTERFACE**

The Caulfield South NAC abuts residential uses along most of its edges. The interface varies between direct abuttal to a residential property or a laneway separating the uses.

It is important that development in the NAC transitions appropriately to the residential edge to protect the amenity of these areas.

For locations where there is a direct abuttal to residential uses, a single storey built form edge is proposed, which is then recessed to minimise visual impact and reduce the impacts of overlooking and overshadowing. Where a laneway exists, a two storey built form edge is proposed to the laneway which then recesses considerably.

In addition to the upper level setbacks, development will need satisfy relevant requirements from Clause 54, 55 and 58 of the Glen Eira Planning Scheme to further protect residential amenity.

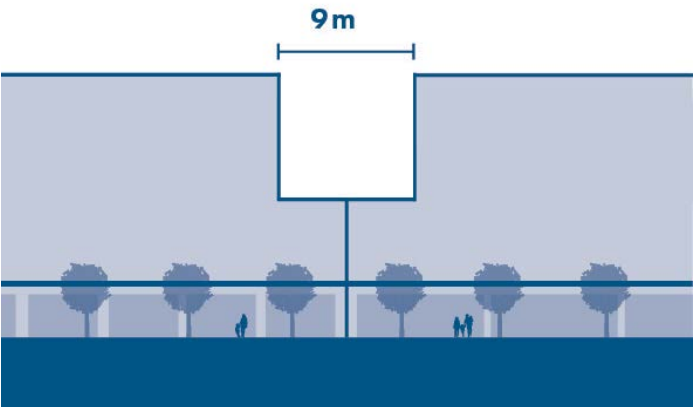


**PROVIDE FOR EQUITABLE ACCESS TO AMENITY**

Development across the Caulfield South NAC is likely to be sporadic with potential for new, taller buildings to be located adjacent to existing, low scale buildings for a substantial period of time. It is important to have measures in place to ensure the future development potential of adjoining sites is not significantly compromised by the first development.

A key consideration in equitable access is ensuring adjoining buildings have sufficient separation, to limit overshadowing and ensure adequate privacy for apartments and access to daylight. The centre-wide Requirements provide for a 9 metre separation distance between apartment developments where they have balconies or windows of habitable rooms facing each other.

However, for 1 to 3 storeys, zero side and rear setbacks are recommended in most cases. Land uses on these levels will typically be retail or office uses where access to sunlight and privacy issues are less critical.



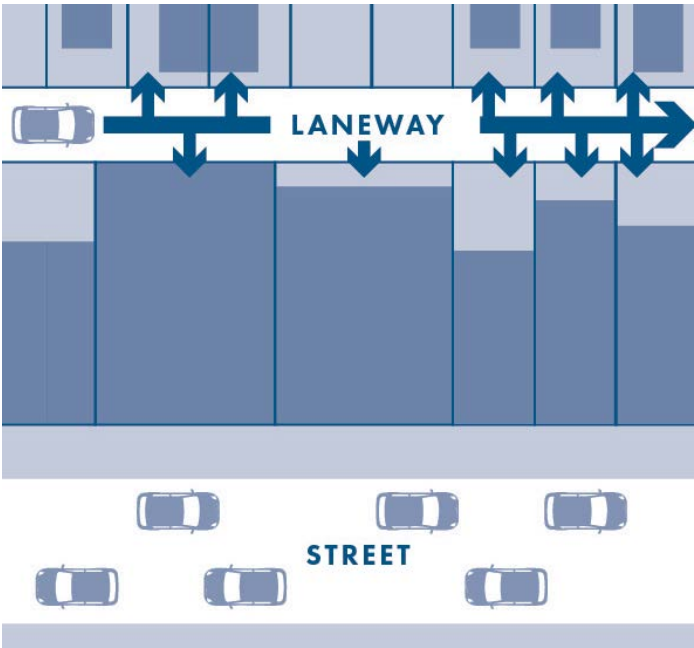
**PRINCIPLE 4 - A WELL SERVICED AND ACCESSIBLE CENTRE**

**ENSURE ADEQUATE SERVICING OF EXISTING AND NEW DEVELOPMENTS**

As the Caulfield South NAC grows and intensifies with additional development, so do its servicing and access requirements for buildings. This includes access to car parking for residents, workers and customers, access for service vehicles, and pedestrian and cycle access.

It is important that new development takes advantage of existing service access arrangements through laneways in order to avoid vehicle disruption to footpaths, and to prioritise ground floor active frontages and land uses rather than access and parking infrastructure. Where no laneway exists, driveway crossovers should be located on secondary frontages and minimised in width.

Another important consideration is ensuring new development can be accessed adequately by pedestrians and cyclists.





# 4 BUILT FORM FRAMEWORK

This section outlines Centre-Wide Design Objectives and Requirements that will apply to all development within the NAC, and more specific building height, setback and design requirements that apply to four Built Form form precincts identified in Figure 21.

## 4.1 BUILT FORM FRAMEWORK

Figure 21 - Built Form Framework Plan, identifies the preferred and mandatory heights, setbacks and other built form requirements across the Caulfield South NAC.

The proposed building heights have been developed through application of the design principles outlined above, responding to key issues and opportunities identified in Part 1 of this report, and testing of the built form outcomes through 3D modelling. The recommended heights have taken into account a number of considerations including responding to sensitive interfaces, ensuring solar access to key footpaths and public spaces, and understanding the development potential of properties based on size and heritage requirements.

This plan identifies the key public realm areas, where good access to sunlight is required. These areas include existing footpaths where there is a high amount of pedestrian activity. Upper level setbacks are recommended at these locations to maintain good access to sunlight.

The strategic justification and rationale for the application of building heights and setbacks in each precinct is discussed in detail in Sections 4.3 to 4.6.

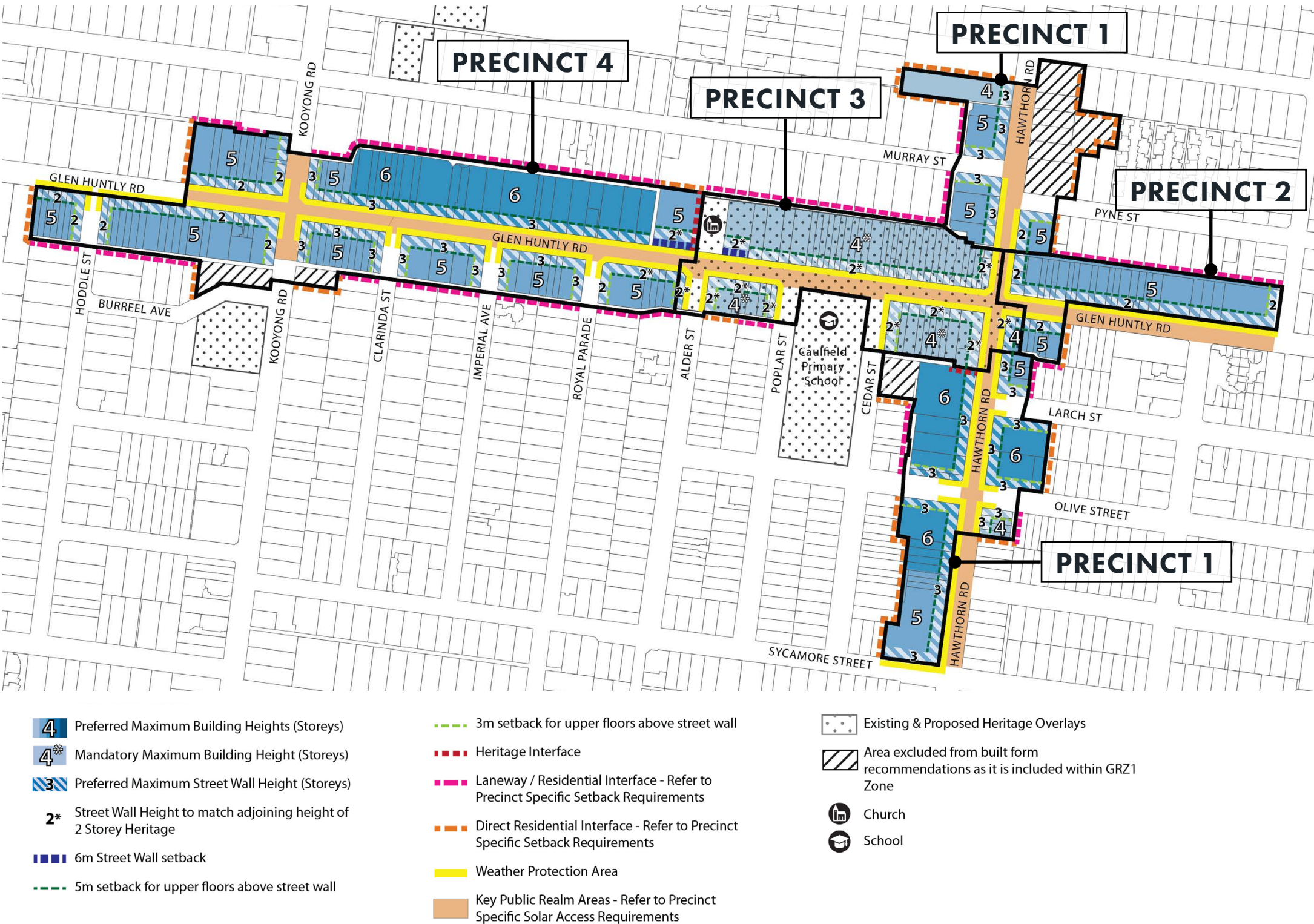


Figure 21. Built Form Framework Plan



4.2 CENTRE-WIDE DESIGN OBJECTIVES AND REQUIREMENTS

4.2.1 DESIGN OBJECTIVES

- To support a new mid-rise scale built form character for the centre with lower built form at the street interface and to adjoining residential areas.
- To provide a more cohesive built form character and improved street interface along Hawthorn Road
- To ensure development maintains the prominence of heritage buildings within HO66 and respects the heritage the Holy Cross Church.
- To ensure development enhances the pedestrian experience through improved activation at ground floor and maintaining sunlight to the Glen Huntly Road, Hawthorn Road and Kooyong Road footpaths.
- To ensure development protects existing residential amenity and does not overwhelm adjoining residential properties.

4.2.2 DESIGN REQUIREMENTS

Building heights

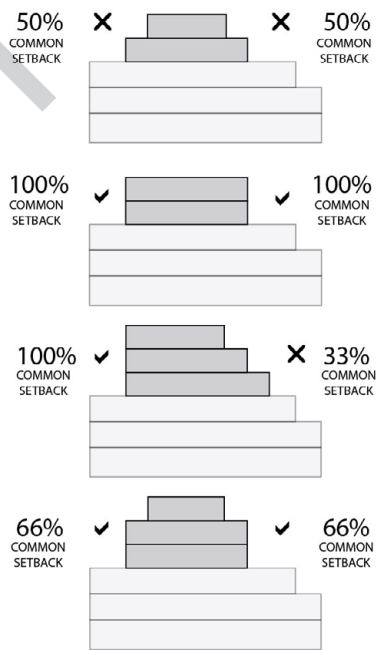
- The preferred maximum building height excludes rooftop services which should be hidden from view from any adjoining public space or designed as architectural roof top features. Roof top services includes but is not limited to plant rooms, air conditioning, lift overruns and roof mounted equipment.
- Buildings should be designed with a floor-to-floor dimension of a minimum of 4.0 metres at ground floor to enable adaptation for other uses in the future.

Building separation

- Where development shares a common boundary, upper level development should:
  - Be setback a minimum of 4.5m from the common boundary, where a habitable window or balcony is proposed.
  - Be setback a minimum of 3.0m from the common boundary where a commercial or non-habitable window is proposed.

Building form and design

- Building design should minimise the visual bulk of large buildings through significant breaks and recesses in building massing.
- Development should avoid repetitive stepped building forms by providing a common street and rear setback for a minimum of 65% of the upper levels above street wall. Refer to diagram below:



- Buildings should reflect the existing fine grain pattern (narrow shopfronts) within the shopping strip by incorporating separate ground floor tenancies and vertically and horizontally modulated forms that integrate with the streetscape context.
- Roof forms should be integrated with the overall building façade design.
- Buildings should utilise materials that do not generate glare, and can withstand the effects of weathering.
- All new buildings are to incorporate best practice Environmentally Sustainable Development (ESD) principles. Refer to the Sustainable Design Assessment in the Planning Process (SDAPP) Framework.

Heritage Design

- These requirements apply to properties within an existing or proposed Heritage Overlay or abutting an existing or proposed Heritage Overlay.
- Facade design and details for infill buildings and new buildings should:
    - Be simple and not compete with the elaborate detailing of the adjoining heritage buildings.
    - Respect the vertical proportions of the heritage streetscape and adjoining heritage buildings.
    - Avoid large expanses of glazing except for ground floor shopfronts.
  - Adaptation and reuse of heritage buildings should:
    - Maintain existing openings and avoid highly reflective glazing in historic openings.
    - Encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings.
    - Maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings.
  - Development above the street wall on land within a Heritage Overlay or adjoining a Heritage Overlay should:
    - Be visually recessive and not dominate the heritage building and streetscape.
    - Utilise materials and finishes that are recessive in texture and colour.
    - Incorporate simple architectural detailing that does not detract from the heritage buildings and streetscape
    - Reflect the fine-grain pattern of subdivision of the streetscape.



Street interface

- Provide a minimum of 80% of the building façade at ground floor level with a visually permeable façade incorporating windows and door openings with clear glazing to ‘Key Public Realm Areas’.
- Buildings on corner sites should be designed to actively address both frontages at street level.
- Upper levels of buildings should be designed to provide habitable rooms with windows or balconies that overlook the public realm.
- Buildings fronting laneways should be designed for passive surveillance with a permeable façade, including windows and door openings.
- Ensure car parking is not visible from the street by incorporating design measures such as sleeving, or alternatively providing as basement parking.

Residential Interface

- Development should provide upper level setbacks in accordance with the precinct specific setbacks (refer to sections 4.3 to 4.6).
- Development must satisfy the objectives and standards of Clauses, 54,55 or 58, which aim to protect the amenity of adjoining residential areas.

Weather protection

- Provide verandahs on all buildings located in the ‘Weather Protection Areas’.
- Verandahs should be at an appropriate height above the footpath to avoid damage whilst still providing effective weather protection, generally between 3.0 and 4.0m and consistent with adjoining sites.
- Verandahs should be designed to mitigate the potential for visual clutter effects from light fittings, service cables and under awning signage.

Access and services

- Pedestrian entries to buildings should be clearly visible and easily identifiable from the street and accessible for all abilities.
- Residential entries should be distinguished from retail and commercial entries.
- Loading, service access and car park access should be provided from laneways and secondary streets. Where this not possible, vehicle crossovers should be minimised to reduce disruption to the footpaths and active frontages and located to avoid street trees if present.
- Provide appropriate setbacks at the rear of the building to laneways ensure adequate space for car park access and servicing. Further details at Clause 52.06 of the Glen Eira Planning Scheme.
- Screen air conditioning services, antennas and other utilities from public view using balcony treatments / roof structures / architectural elements. Avoid using walls to screen services.
- Avoid and minimise building services and utilities at ground floor street frontages to prioritise active frontages at these locations. Integrate services and utilities with the building design.
- Waste storage, loading and recycling facilities should be screened from public view. They should be easily accessed by residents and well ventilated.

Landscaping

- Communal garden spaces should be provided at podium and rooftop levels where appropriate to create amenity for residents, workers and visitors. The gardens should take into consideration, aspect, materials and solar orientation.
- Large development sites are encouraged to contribute to improved pedestrian amenity of the centre by providing for new private/public pedestrian/cycling links through the centre, where sites present an appropriate and useful opportunity to do so.



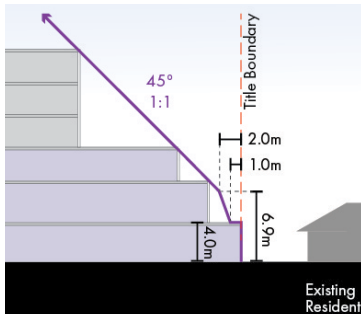
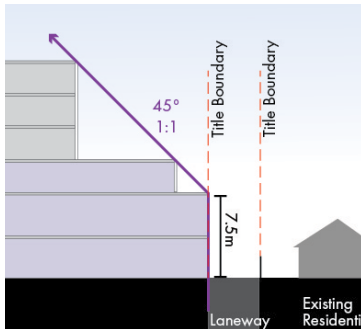
4.3 PRECINCT 1 - HAWTHORN ROAD

4.3.1 PRECINCT OVERVIEW

Hawthorn Road will continue to evolve into an active street providing more cohesive built form and a continuous street wall.

The large lots will accommodate significant development of up to six storeys and transition sensitively to adjoining residential areas.

4.3.2 BUILT FORM REQUIREMENTS

Building height	Street Wall	Setbacks	Specific Requirements
<div><div>Preferred Maximum Heights</div><div><ul style="list-style-type: none"><li>Up to 4 storeys (15.0m) for land at 379-385 Hawthorn Road and 306 Hawthorn Road.</li><li>Up to 5 storeys (18.0m) for land at 365-369 Hawthorn Road, 312-336 Hawthorn Road, 355 Hawthorn Road and 396-414 Hawthorn Road.</li><li>Up to 6 storeys (21.0m) elsewhere.</li></ul></div></div>	<div><div>Preferred Street wall Height</div><div><ul style="list-style-type: none"><li>3 storeys (11.0m).</li></ul></div></div>	<div><div>Preferred Setbacks</div><div><ul style="list-style-type: none"><li>Zero front and side setbacks for development up to height of the street wall.</li><li>5.0m front setback for development above the street wall.</li><li>3.0m setback to the secondary street frontage for development above the street wall on corner sites.</li><li>Development directly abutting a residential zone to the rear or side should provide setbacks in accordance with the diagram below:</li></ul></div><div></div><div><ul style="list-style-type: none"><li>Development that abuts a laneway directly abutting a residential zone should provide setbacks in accordance with the diagram below:</li></ul></div><div></div></div> <div><div>Solar Access</div><div><ul style="list-style-type: none"><li>Ensure solar access is maintained to the entire eastern footpath of Hawthorn Road from 12pm - 2pm on September 22.</li><li>Ensure solar access is maintained to the entire western footpath of Hawthorn Road from 10am - 12pm on September 22.</li></ul></div></div>	



4.3.3 STRATEGIC JUSTIFICATION/RATIONALE

The following outlines how the proposed Built Form Framework for Precinct 1 addresses the issues and opportunities identified in Part 1 and achieves the Design Principles in Section 3.2:

- The key footpaths along Hawthorn Road will be protected from excessive overshadowing through the proposed height limits. The shadow analysis demonstrates that sunlight will be maintained to the entire western footpath from 10am - 12pm at the equinox and the eastern footpath will be in sunlight from 12pm - 2pm. This will support the role of the footpaths as key public spaces at times where they are likely to be more active.
- The desired low to mid rise scale of the centre will be achieved with a maximum building height of 6 storeys. This height supports additional density in the centre, responds to the emerging character along Hawthorn Road while balancing character and amenity considerations. The proposed 6 storey building height is also consistent with some recent development approvals in the precinct. The larger lots within this precinct could support this height and transition appropriately to the adjoining residential areas.
- Moving south along Hawthorn Road, building heights step down from 6 to 5 storeys, reducing the scale of the built form to respond to the low rise residential areas on the opposite side of Hawthorn Road and Sycamore Street.
- A lower building height of five storeys is proposed for areas north of Glen Huntly Road. This responds to the existing lower scale context and the more constrained sites than south of Glen Huntly Road.
- Setbacks of 5 metres for development above 3 storeys will ensure the street wall is the dominant element in the streetscape when viewed from opposite footpaths, rather than the overall building height.
- The long cross section shown in Figure 25 and Figure 26 demonstrates that the proposed building scale transitions appropriately to the surrounding General Residential Zoned areas, which has a maximum allowable building height of 3 storeys.
- The human scale of the streetscape will be maintained by providing a street wall of 3 storeys (11.0m). This will be combined with requirements for vertical and horizontal articulation to ensure the bulk of the street wall is minimised.

- Although this height is taller than existing buildings, it is a scale that will not overwhelm the streetscape as demonstrated by recently constructed examples in the centre.
- The amenity of adjoining residential areas will be protected by applying rear upper level setbacks and applying additional requirements through Clause 54, 55 and 58 of the Glen Eira Planning Scheme. The shadow testing demonstrates that the proposed building heights can be achieved whilst maintaining sunlight to private open space to adjoining residential areas.
  - The built form framework will support internal amenity of dwellings (outlook and access to daylight) by achieving a minimum building separation of 9 metres at upper floors (using a 4.5m upper floor setback).

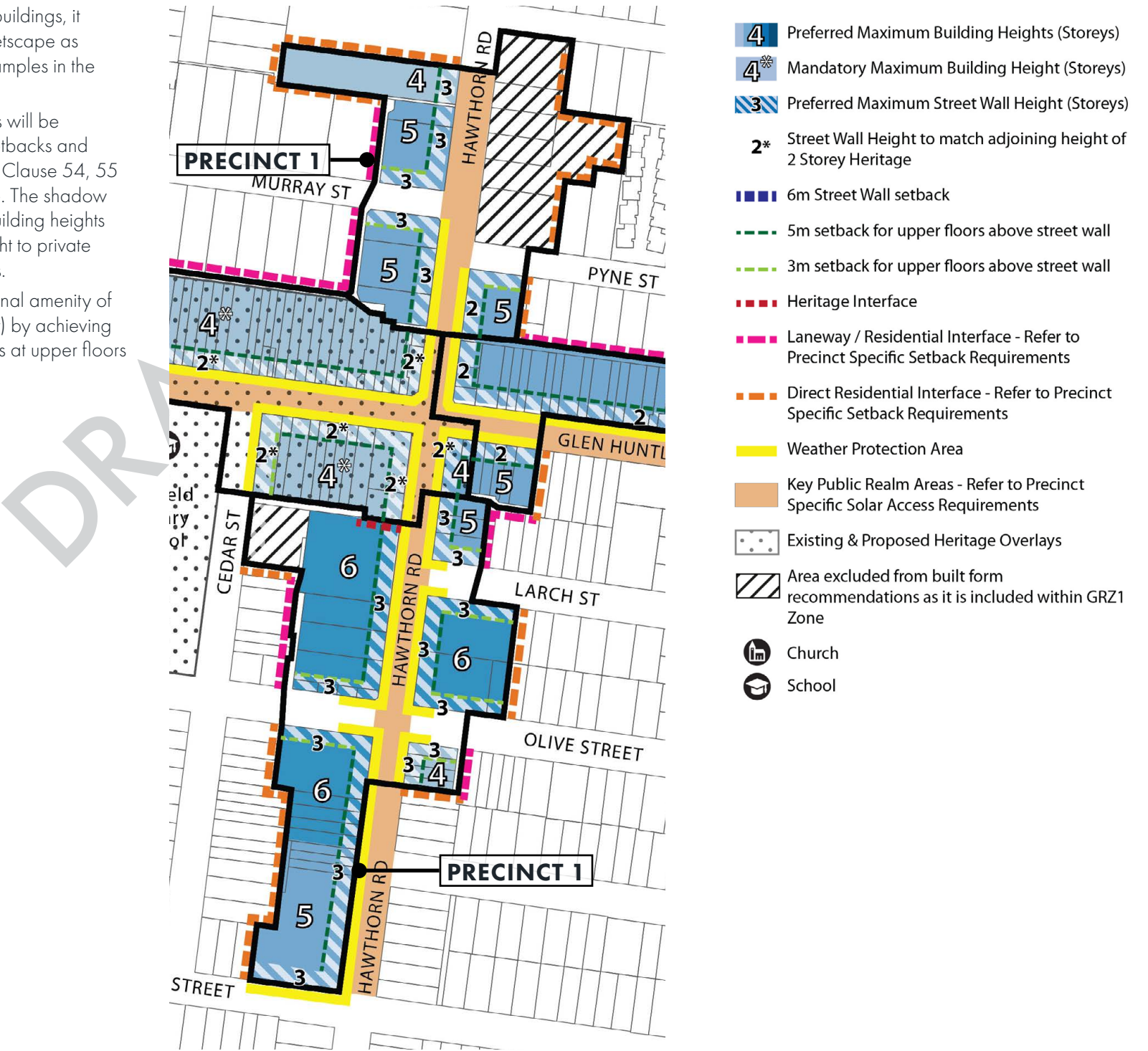


Figure 22. Built Form Framework - Precinct 1



4.3.4 CROSS SECTIONS

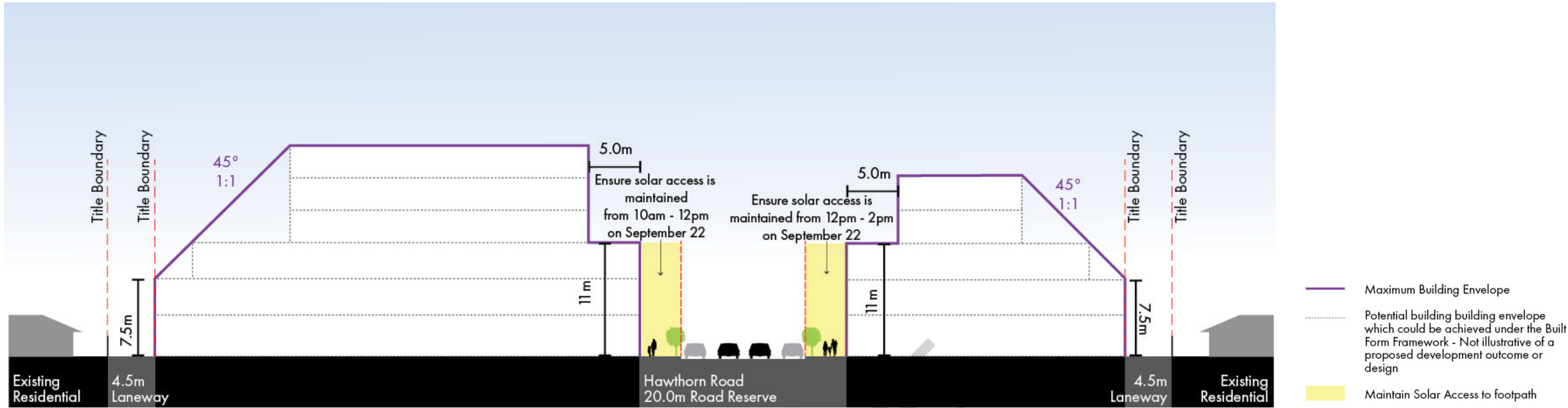


Figure 23. Precinct 1 - Cross Section A

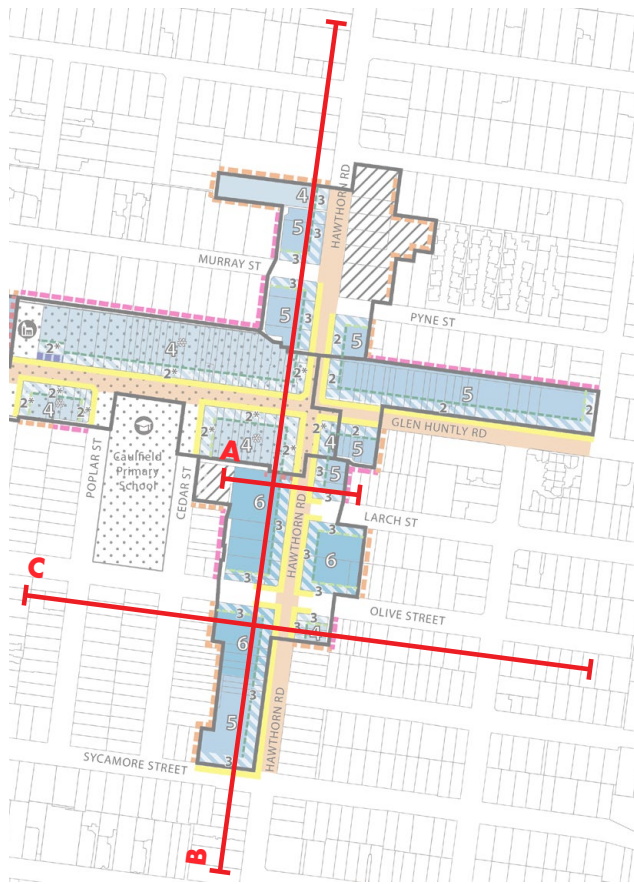


Figure 24. Precinct 1 - Cross Section Key Plan



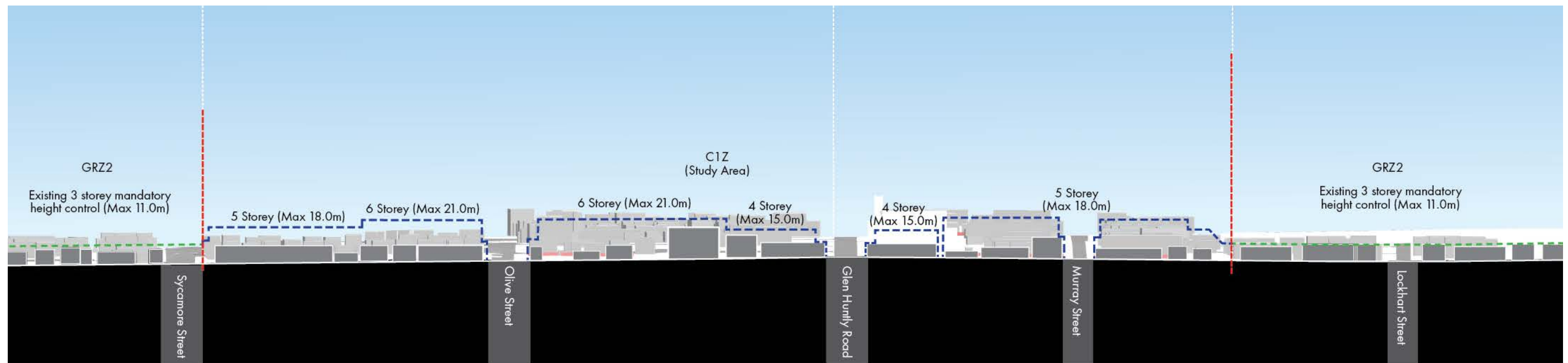


Figure 25. Precinct 1 - Cross Section B

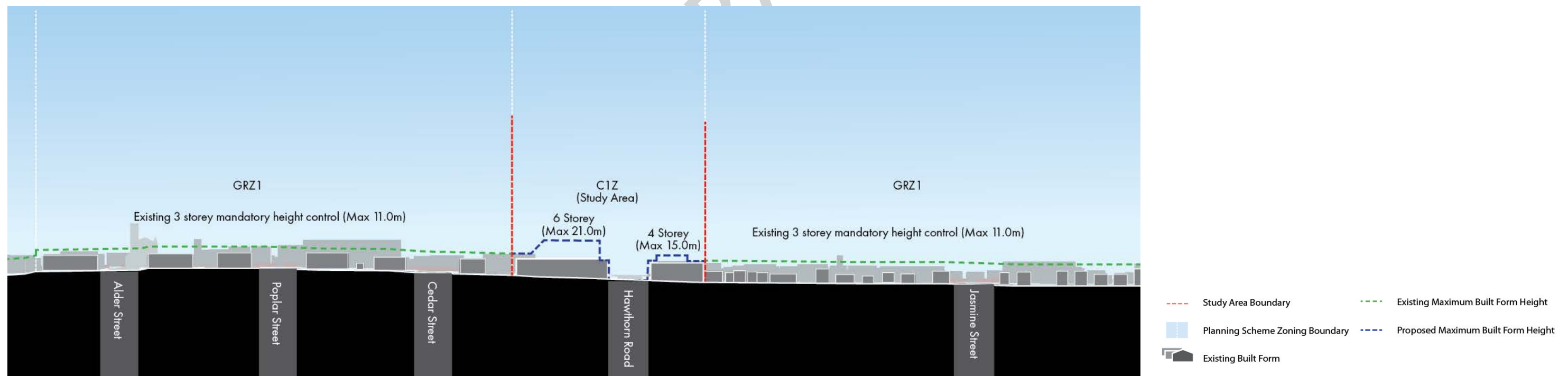


Figure 26. Precinct 1 - Cross Section C



4.3.5 SKETCH VISUALISATION



Figure 27. Viewpoint 1 - Existing Conditions



Figure 28. View 1 - With examples of approved and supported street wall and building height shown

The sketch visualisation depicts a potential built form outcome within the streetscape along with an outline of the potential maximum building envelope for both the street wall and overall building.

The visualisation shows a transition in scale from four storeys in the heritage precinct into 6 storeys in Precinct 1. The street wall and upper levels have a strong presence in the viewline.

- Street Wall Maximum Height
- - - Building Maximum Height
- Existing Heritage Overlay

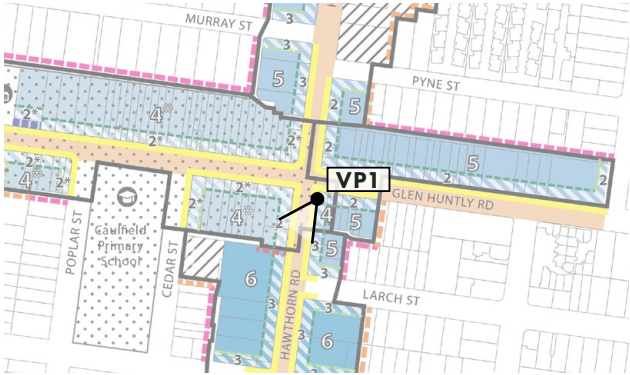


Figure 29. Viewpoint 1 Location Plan



4.3.6 PRECINCT 1 - SHADOW ANALYSIS

Figure 30 demonstrates the shadows cast by existing buildings within Precinct 1 of the Caulfield South NAC and the shadow cast by the maximum building envelope achievable through the Built Form Framework.

- Precinct Boundary
- Shadow from existing built form
- - - Shadow from proposed maximum building envelope

9am - Sept 22



10am - Sept 22



11am - Sept 22



Figure 30. Precinct 1 - Shadow Analysis



12pm - Sept 22



1pm - Sept 22



2pm - Sept 22



3pm - Sept 22



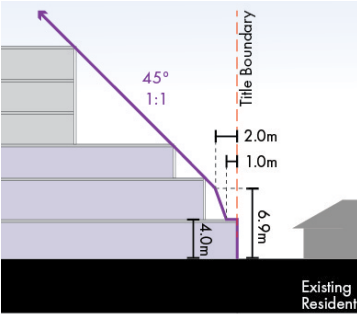
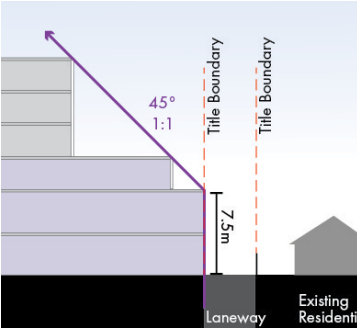


4.4 PRECINCT 2 - GLEN HUNTLY ROAD EAST

4.4.1 PRECINCT OVERVIEW

The eastern approach to the Caulfield South NAC provides a range of redevelopment opportunities that will support the activation of the eastern end of the NAC. The established two storey street wall will be strengthened whilst supporting development of up to five storeys, which is set back from the street.

4.4.2 BUILT FORM REQUIREMENTS

Building height	Street Wall	Setbacks	Specific Requirements
<b>Preferred Maximum Heights</b> <ul style="list-style-type: none"><li>Up to 5 storeys (18.0m).</li></ul>	<b>Preferred Street wall Height</b> <ul style="list-style-type: none"><li>Up to 2 storeys (9.0m) or match the height of the adjoining double storey buildings.</li></ul>	<b>Preferred Setbacks</b> <ul style="list-style-type: none"><li>Zero front and side setbacks for development up to height of the street wall.</li><li>5.0m front setback for development above the street wall.</li><li>3.0m setback to the secondary street frontage for development above the street wall on corner sites.</li><li>Development directly abutting a residential zone to the rear or side should provide setbacks in accordance with the diagram below:</li></ul>	<b>Solar Access</b> <ul style="list-style-type: none"><li>Ensure solar access is maintained to the entire southern footpath of Glen Huntly Road from 10am on September 22.</li></ul>
			
		<ul style="list-style-type: none"><li>Development that abuts a laneway directly abutting a residential zone should provide setbacks in accordance with the diagram below:</li></ul>	
			



4.4.3 STRATEGIC JUSTIFICATION/RATIONALE

The following outlines how the proposed Built Form Framework for Precinct 2 addresses the issues and opportunities identified in Part 1 and achieves the Design Principles in Section 3.2:

- The southern footpath along Glen Huntly Road will be protected from excessive overshadowing through the proposed height limits. The shadow analysis demonstrates that sunlight will be maintained to the entire southern footpath from 10am at the equinox. This will support the role of the footpath as a key public space at times where it is likely to be more active.
- The desired low to mid rise scale of the centre will be achieved with a maximum building height of 5 storeys. This height supports additional density in the centre whilst integrating with the proposed 4 storey heights in the heritage precinct. The shallower sites in this precinct also present a constraint for taller development.
- Setbacks of 5 metres for development above 2 storeys will ensure the street wall is the dominant element in the streetscape when viewed from opposite footpaths, rather than the overall building height.
- The long cross section shown in Figure 34 demonstrates that the proposed building scale transitions appropriately to the surrounding General Residential Zoned areas, which has a maximum allowable building height of 3 storeys.

- The predominant double storey street wall was identified as an important character element in Part 1 of this report. This will be maintained through the proposed two storey street wall height. Additional requirements for vertical and horizontal articulation to ensure the bulk of the street wall is minimised.
- The amenity of adjoining residential areas will be protected by applying rear upper level setbacks and applying additional requirements through Clause 54, 55 and 58 of the Glen Eira Planning Scheme. The shadow testing demonstrates that the proposed building heights can be achieved whilst maintaining sunlight to private open space to adjoining residential areas.
- The built form framework will support internal amenity of dwellings (outlook and access to daylight) by achieving a minimum building separation of 9 metres at upper floors (using a 4.5m upper floor setback).

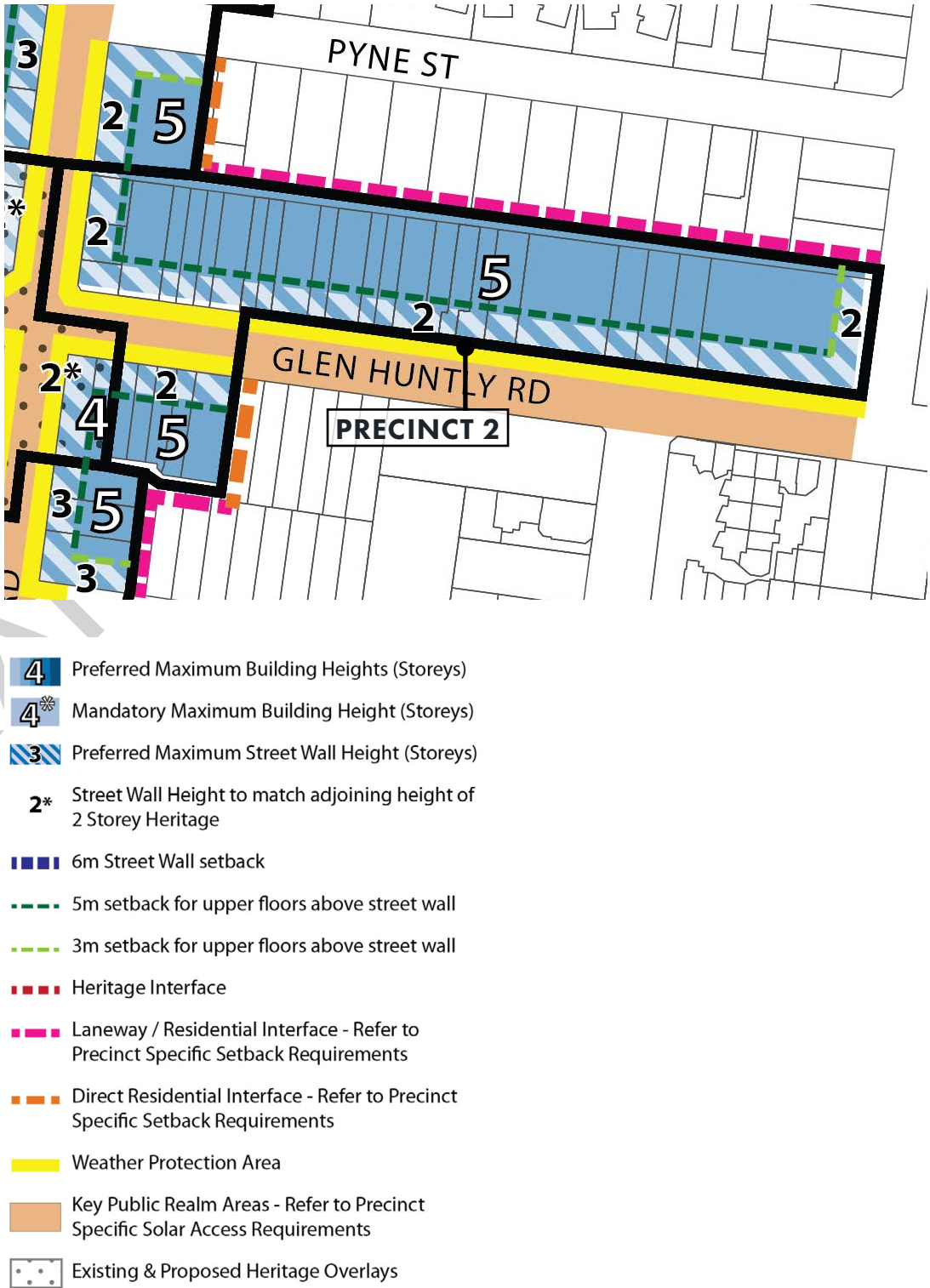


Figure 31. Built Form Framework - Precinct 2



4.4.4 CROSS SECTIONS

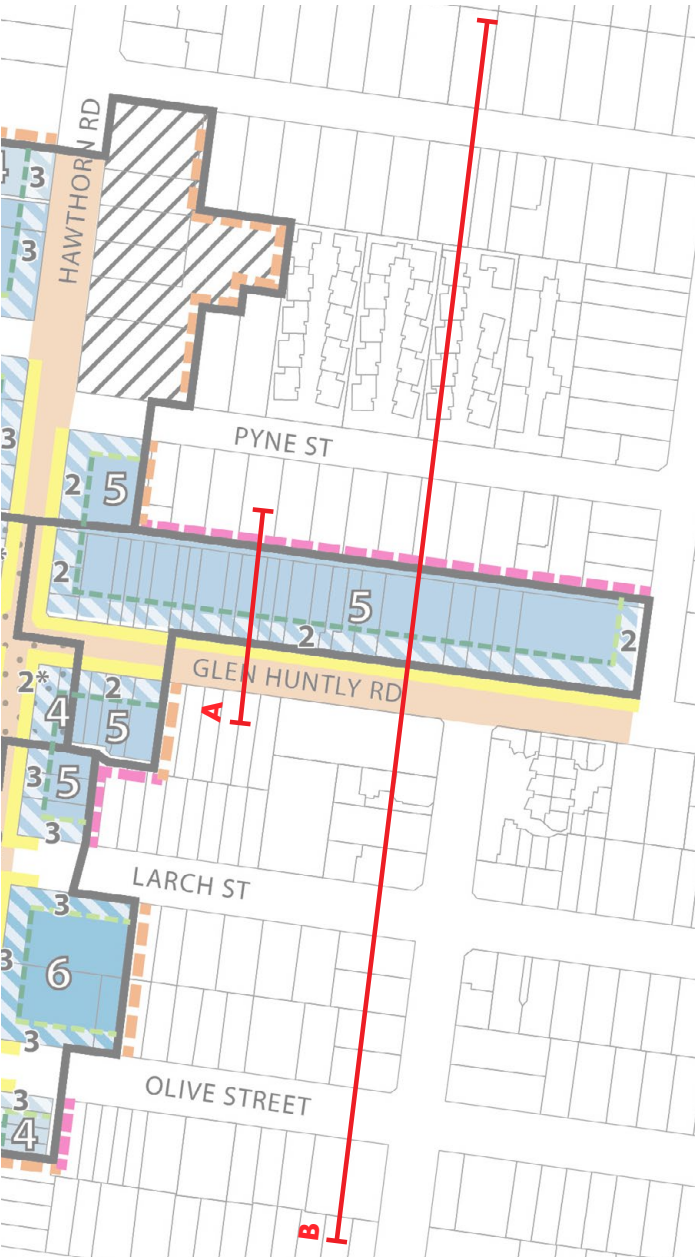


Figure 32. Precinct 2 - Cross Section Key Plan

- Study Area Boundary
- Existing Maximum Built Form Height
- Planning Scheme Zoning Boundary
- Proposed Maximum Built Form Height
- Existing Built Form

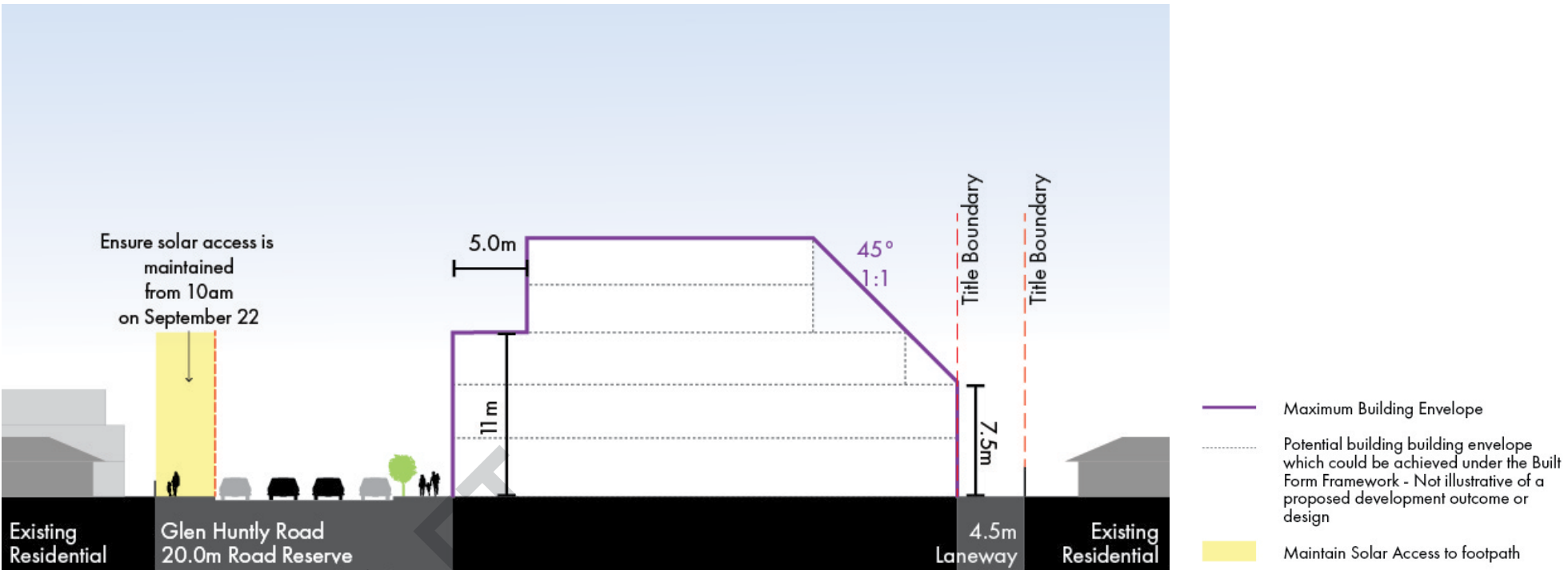


Figure 33. Precinct 2 - Cross Section A

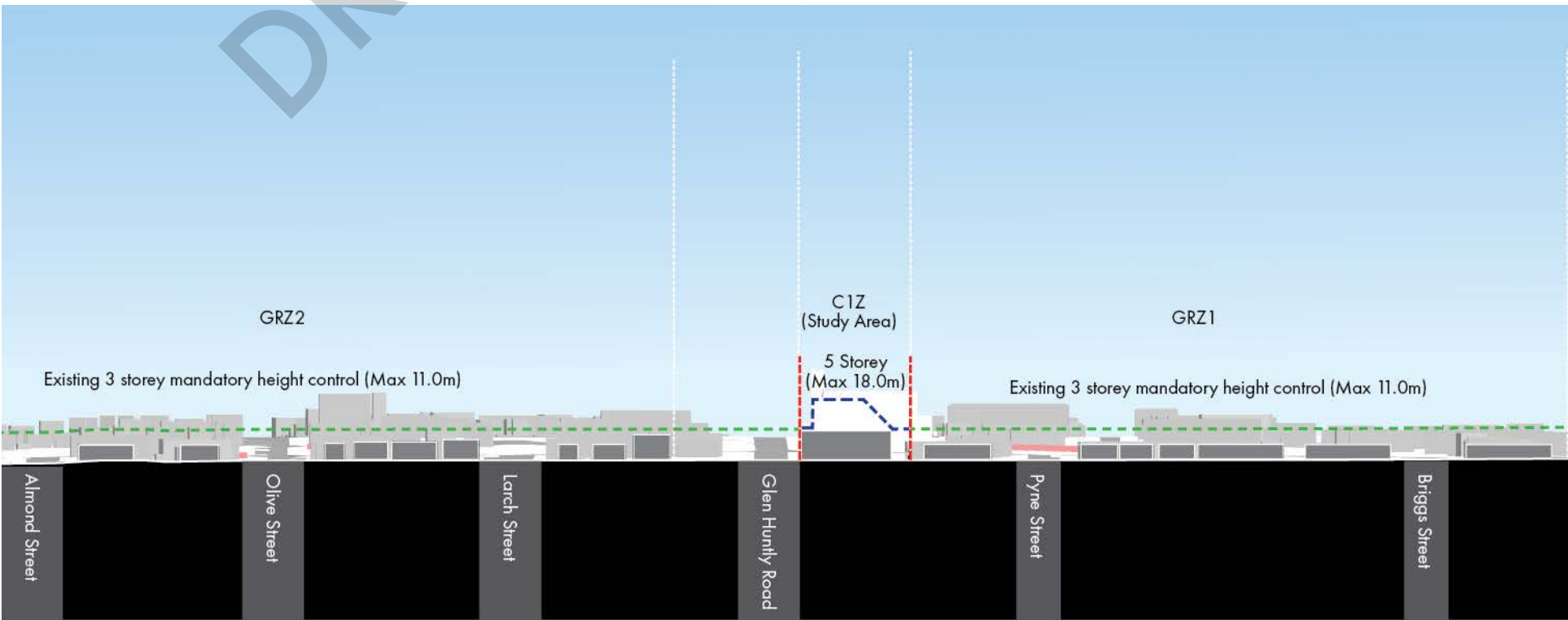


Figure 34. Precinct 2 - Cross Section B



#### 4.4.5 SKETCH VISUALISATION



Figure 35. View 2 - Existing Conditions



Figure 36. View 2 - With examples of supported street wall and building height shown

- Street Wall Maximum Height
- Building Maximum Height



Figure 37. Viewpoint 2 Location Plan

The sketch visualisation depicts a potential built form outcome within the streetscape along with an outline of the potential maximum building envelope for both the street wall and overall building.

The visualisation shows that the established two storey street wall will be maintained with new developments. The upper levels are visible however do not overwhelm the streetscape.



#### 4.4.6 PRECINCT 2 - SHADOW ANALYSIS

Figure 38 demonstrates the shadows cast by existing buildings within the Precinct 2 of the Caulfield South NAC and the shadow cast by the maximum building envelope achievable through the Built Form Framework.

9am - Sept 22



11am - Sept 22



10am - Sept 22



12pm - Sept 22



- Precinct Boundary
- Shadow from existing built form
- - - Shadow from proposed maximum building envelope

Figure 38. Precinct 2 - Shadow Analysis



1pm - Sept 22



2pm - Sept 22



3pm - Sept 22



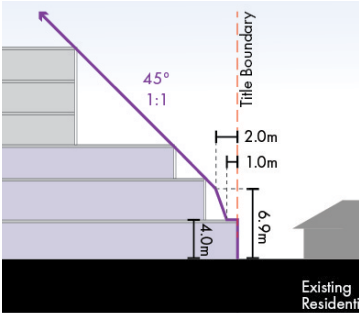
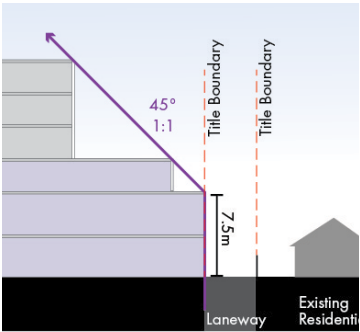


4.5 PRECINCT 3 - GLEN HUNTLY ROAD HERITAGE

4.5.1 PRECINCT OVERVIEW

The Glen Huntly Road heritage precinct will continue to be known for its impressive inter-war architecture. New development of up to five storeys will sensitively integrate with the heritage shopfronts and ensure they remain the prominent in the streetscape.

4.5.2 BUILT FORM REQUIREMENTS

Building height	Street Wall	Setbacks	Specific Requirements
<div>Mandatory maximum Heights<ul style="list-style-type: none"><li>Up to 4 storeys (15.0m)</li></ul></div>	<div>Preferred Street wall Height<ul style="list-style-type: none"><li>Up to 2 storeys (9.0m) or match the height of the adjoining heritage building</li></ul></div>	<div>Preferred Setbacks<ul style="list-style-type: none"><li>6.0m front setbacks for land at 707 Glen Huntly Road for development up to the height of street wall. Side setbacks for development up to the height of the street wall to respond to the Holy Cross Church setting and built form.</li><li>Zero front and side setbacks for development up to height of the street wall elsewhere</li><li>5.0m front setback for development above the street wall</li><li>3.0m setback to the secondary street frontage for development above the street wall on corner sites</li><li>Development directly abutting a residential zone to the rear or side should provide setbacks in accordance with the diagram below:</li></ul></div> <div></div> <ul style="list-style-type: none"><li>Development that abuts a laneway directly abutting a residential zone should provide setbacks in accordance with the diagram below:</li></ul> <div></div>	<div>Heritage<ul style="list-style-type: none"><li>Development should significant and contributory buildings within the heritage precinct.</li><li>Development should respect views to the Holy Cross Church.</li><li>Retain individually significant and contributory heritage buildings in accordance with HO66.</li></ul></div> <div>Solar Access<ul style="list-style-type: none"><li>Ensure solar access is maintained to the entire southern footpath of Glen Huntly Road from 10am on September 22.</li></ul></div>



4.5.3 STRATEGIC JUSTIFICATION/RATIONALE

The following outlines how the proposed Built Form Framework for Precinct 3 addresses the issues and opportunities identified in Part 1 and achieves the Design Principles in Section 3.2:

- The southern footpath along Glen Huntly Road will be protected from excessive overshadowing through the proposed height limits. The shadow analysis demonstrates that sunlight will be maintained to the entire southern footpath from 10am at the equinox. This will support the role of the footpath as a key public spaces at times where it is likely to be more active.
- The valued heritage buildings will retain their prominence in the streetscape. It is recommended that contributory and significant heritage facades are retained where possible and that the street wall for new, infill buildings will match the height of existing heritage buildings with a height of two storeys. The overall mandatory building height of four storeys and upper level setbacks of 5 metres will

maintain a dominant two storey heritage street wall. This is demonstrated in Figure 40 which displays a dominant heritage streetscape when viewed from the opposite footpath with upper levels partially concealed. The section shows that 71% of the view will be to the heritage wall and 29% to upper levels. Building heights of greater than four storeys would start to diminish the dominance of the heritage street wall. Because of the heritage significance of the buildings, and the potential for taller development to reduce the prominence of the heritage street wall, a mandatory height control was considered necessary. The Centre Wide Recommendations will provide addition design guidance to ensure the heritage streetscape is retained.

- The long cross section shown in Figure 42 demonstrates that the proposed building scale transitions appropriately to the surrounding General Residential Zoned areas, which has a maximum allowable building height of 3 storeys.
- The Holy Cross Church is identified as an important landmark in the NAC and is currently prominent in the streetscape when viewed from the east and west. The ground level setbacks on the neighbouring properties at 701-703 and 707 Glen Huntly Road allow for clear views to the church and its spires. The built form framework recommends that a landscaped ground level setback is provided on these properties to maintain views to the church. The recommended setback distance of 6.0m matches the rear walls of the spires which will maintain clear views to them.

- The amenity of adjoining residential areas will be protected by applying rear upper level setbacks and applying additional requirements of Clause 54, 55 and 58 of the Glen Eira Planning Scheme. The shadow testing demonstrates that the proposed building heights can be achieved whilst maintaining sunlight to private open space to adjoining residential areas.
- The built form framework will support internal amenity of dwellings (outlook and access to daylight) by achieving a minimum building separation of 9 metres at upper floors (using a 4.5m upper floor setback).

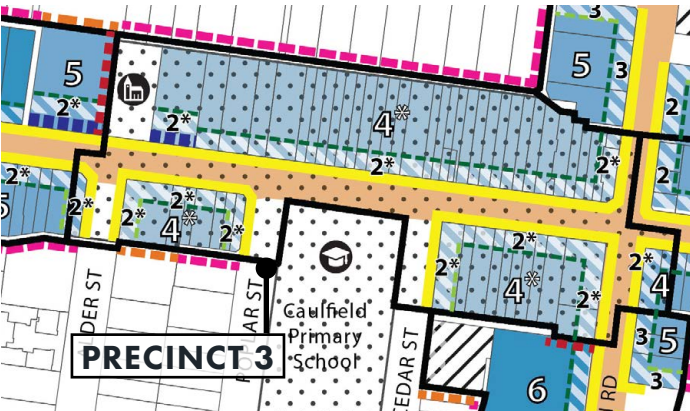


Figure 39. Built Form Framework - Precinct 3

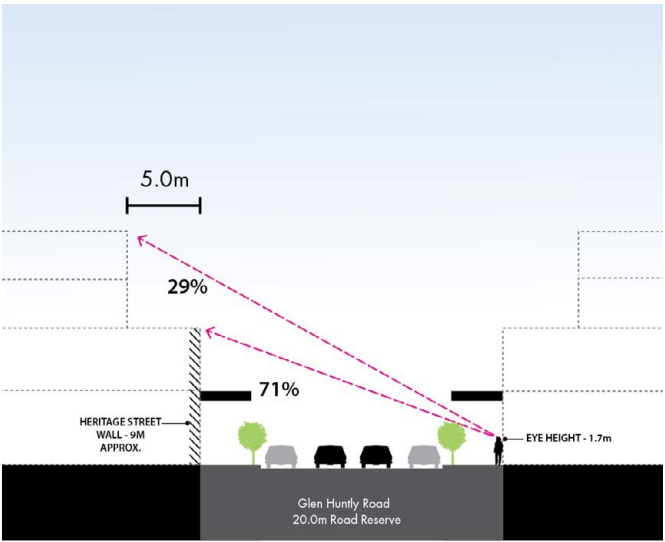
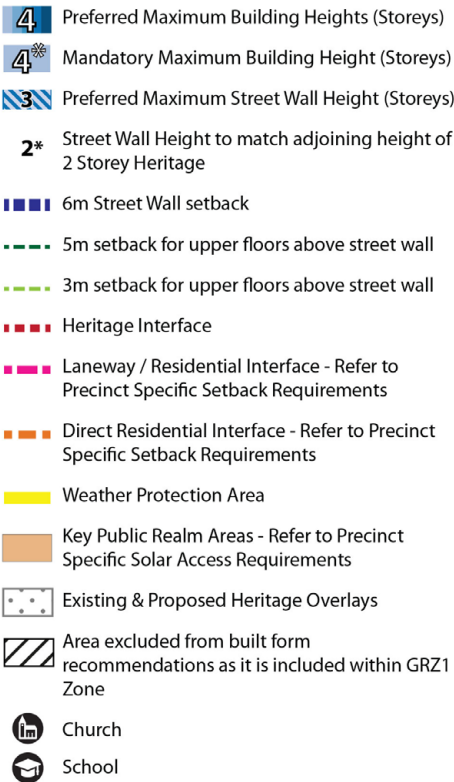


Figure 40. Proportion of view occupied by the heritage street wall



4.5.4 CROSS SECTIONS

- Maximum Building Envelope
- Potential building building envelope which could be achieved under the Built Form Framework - Not illustrative of a proposed development outcome or design
- Maintain Solar Access to footpath

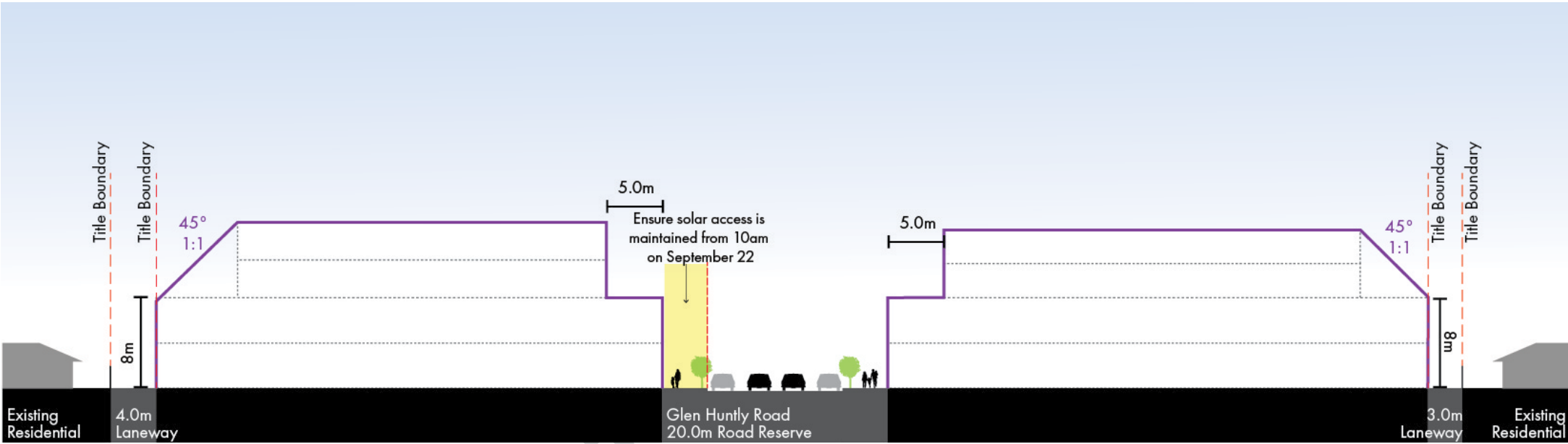


Figure 41. Precinct 3 - Cross Section A



Figure 43. Precinct 3 - Cross Section Key Plan

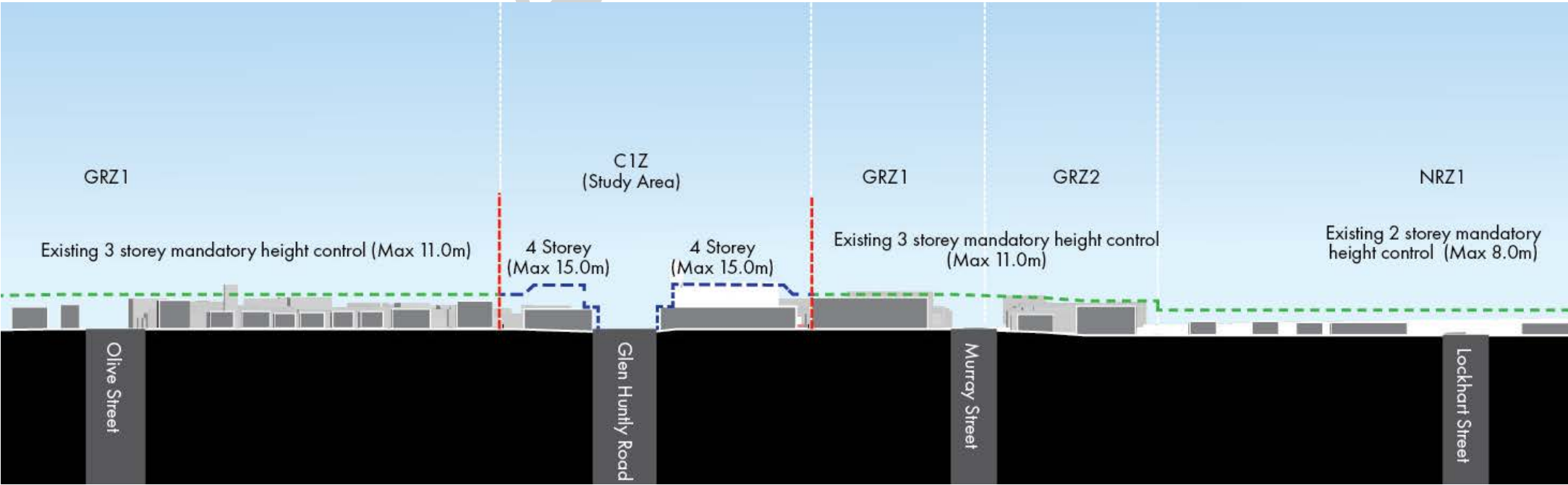


Figure 42. Precinct 3 - Cross Section B

- Study Area Boundary
- Existing Maximum Built Form Height
- Planning Scheme Zoning Boundary
- Proposed Maximum Built Form Height
- Existing Built Form



4.5.5 SKETCH VISUALISATION



Figure 44. Viewpoint 3 - Existing Conditions



Figure 46. View 3 - With examples of supported street wall and building height shown



Figure 45. Viewpoint 3 Location Plan

The sketch visualisation depicts a potential built form outcome within the streetscape along with an outline of the potential maximum building envelope for both the street wall and overall building.

The visualisation shows that the existing heritage street wall will be retained to maintain the heritage significance of the precinct. Levels 3 and 4 are set back and have minimal visual impact. The heritage buildings remain the dominant element in the streetscape.



4.5.6 PRECINCT 3 - SHADOW ANALYSIS

Figure 47 demonstrates the shadows cast by existing buildings within the Precinct 3 of the Caulfield South NAC and the shadow cast by the maximum building envelope achievable through the Built Form Framework.

9am - Sept 22



11am - Sept 22



10am - Sept 22



12pm - Sept 22



- Precinct Boundary
- Shadow from existing built form
- - - Shadow from proposed maximum building envelope

Figure 47. Precinct 3 - Shadow Analysis



1pm - Sept 22



2pm - Sept 22



3pm - Sept 22





4.6 PRECINCT 4 - GLEN HUNTLY ROAD WEST

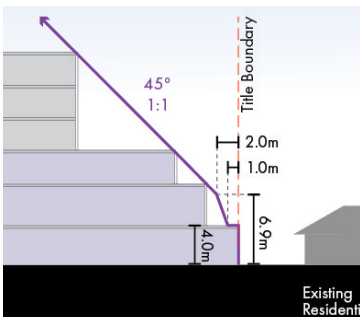
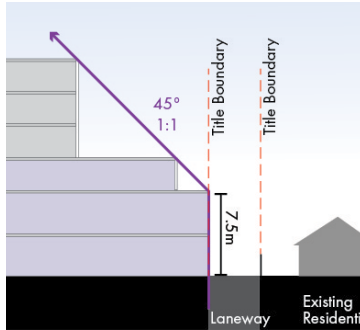
4.6.1 PRECINCT OVERVIEW

The western end of Caulfield South NAC will provide for development of up to six storeys on the northern side of Glen Huntly Road where the large lots can support higher scale development and transition to adjoining residential areas.

The southern side of Glen Huntly Road will support a maximum of five storeys and transition to residential areas to the south.

The established two storey street wall to the western end of Glen Huntly Road will be maintained with new development.

4.6.2 BUILT FORM REQUIREMENTS

Building height	Street Wall	Setbacks	Specific Requirements
<b>Preferred Maximum Heights</b> <ul style="list-style-type: none"><li>Up to 6 storeys (21.0m) for land at 627-697 Glen Huntly Road.</li><li>Up to 5 storeys (18.0m) elsewhere.</li></ul>	<b>Preferred Street wall Height</b> <ul style="list-style-type: none"><li>Up to 3 storeys (11.0m) for land at 627-697 Glen Huntly Road and 612-672 Glen Huntly Road.</li><li>Up to 2 storeys (9.0m) or match the height of the adjoining double storey buildings elsewhere.</li></ul>	<b>Preferred Setbacks</b> <ul style="list-style-type: none"><li>6.0m front setbacks for land at 701-703 Glen Huntly Road for development up to the height of street wall. Side setbacks for development up to the height of the street wall to respond to the Holy Cross Church setting and built form.</li><li>Zero front and side setbacks for development up to height of the street wall elsewhere</li><li>5.0m front setback for development above the street wall.</li><li>3.0m setback to the secondary street frontage for development above the street wall on corner sites.</li><li>Development directly abutting a residential zone to the rear or side should provide setbacks in accordance with the diagram below:</li></ul>	<b>Heritage</b> <ul style="list-style-type: none"><li>Development should respect views to the Holy Cross Church.</li></ul> <b>Solar Access</b> <ul style="list-style-type: none"><li>Ensure solar access is maintained to the entire southern footpath of Glen Huntly Road from 10am on September 22.</li><li>Ensure solar access is maintained to the entire eastern footpath of Kooyong Road from 12pm - 2pm on September 22.</li><li>Ensure solar access is maintained to the entire western footpath of Kooyong Road from 10am - 12pm on September 22.</li></ul>
			
		<ul style="list-style-type: none"><li>Development that abuts a laneway directly abutting a residential zone should provide setbacks in accordance with the diagram below:</li></ul> 	



4.6.3 STRATEGIC JUSTIFICATION/RATIONALE

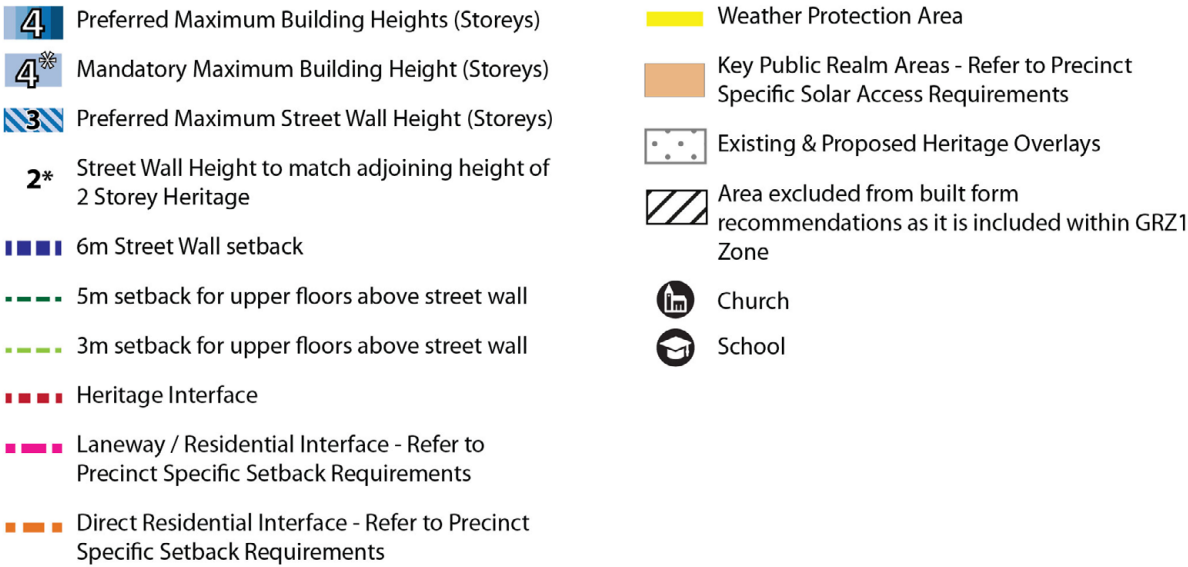
The following outlines how the proposed Built Form Framework for Precinct 4 addresses the issues and opportunities identified in Part 1 and achieves the Design Principles in Section 3.2:

- The southern footpath along Glen Huntly Road and the eastern and western footpaths of Kooyong Road will be protected from excessive overshadowing through the proposed height limits. The shadow analysis demonstrates that sunlight will be maintained to the entire southern footpath from 10am at the equinox and the eastern and western footpaths of Kooyong Road between 10am and 2pm. This will support the role of the footpaths as key public spaces at times where they are likely to be more active.
- The desired low to mid rise scale of the centre will be achieved with a maximum building height of 6 storeys. This height is located on the north side of Glen Huntly Road where the lot sizes are large and there will be no shadow impact on residential properties as they are located to the north. Elsewhere in the precinct building heights transition to five storeys which responds to the smaller lot sizes and residential areas located to the south of commercial properties.
- The long cross section shown in Figure 50 demonstrates that the proposed building scale transitions appropriately to the surrounding Neighbourhood Residential Zoned areas, which has a maximum allowable building height of 2 storeys.
- The predominant double storey street wall at the western end of the Glen Huntly Road was identified as an important character element in Part 1 of this report. This will be maintained through the proposed two storey street wall height. Additional requirements for vertical and horizontal articulation to ensure the bulk of the street wall is minimised. Elsewhere in the precinct a 3 storey street wall is proposed which provides a scale which will not overwhelm the streetscape and is consistent with more recent developments.
- Setbacks of 5 metres for development above the street wall will ensure the street wall is the dominant element in the streetscape when viewed from opposite footpaths, rather than the overall building height.

- The Holy Cross Church is identified as an important landmark in the NAC and is currently prominent in the streetscape when viewed from the east and west. The ground level setbacks on the neighbouring properties at 701-703 and 707 Glen Huntly Road allow for clear views to the church and its spires. The built form framework recommends that a landscaped ground level setback is provided on these properties to maintain views to the church. The recommended setback distance of 6.0m matches the rear walls of the spires which will maintain clear views to them.
- The amenity of adjoining residential areas will be protected by applying rear upper level setbacks and applying additional requirements through Clause 54, 55 and 58 of the Glen Eira Planning Scheme. The shadow testing demonstrates that the proposed building heights can be achieved whilst maintaining sunlight to private open space to adjoining residential areas.
- The built form framework will support internal amenity of dwellings (outlook and access to daylight) by achieving a minimum building separation of 9 metres at upper floors (using a 4.5m upper floor setback). This will be particularly important for this precinct as there are no intersecting side streets on the northern side of Glen Huntly Road to provide breaks in built form. Development would benefit from upper level side setbacks on larger sites to provide gaps and views through to the sky.
- The pedestrian link located east of 697 Glen Huntly Road is important as it is the only mid-block link between Kooyong Road and Hawthorn Road. New development will activate this link to make it safer and more enjoyable to use.



Figure 48. Built Form Framework - Precinct 4





4.6.4 CROSS SECTIONS

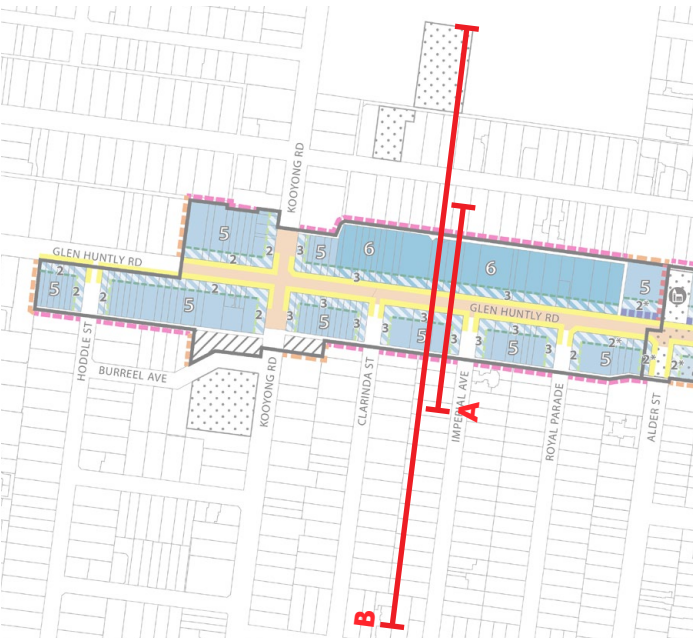


Figure 51. Precinct 3 - Cross Section Key Plan

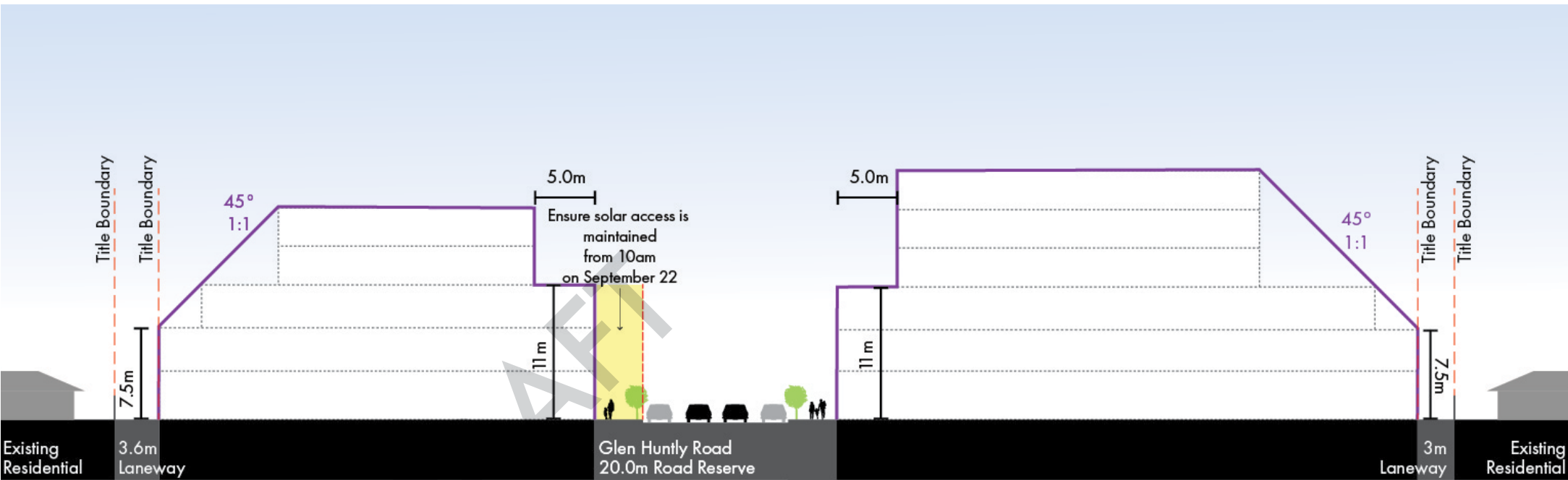


Figure 49. Precinct 4 - Cross Section A

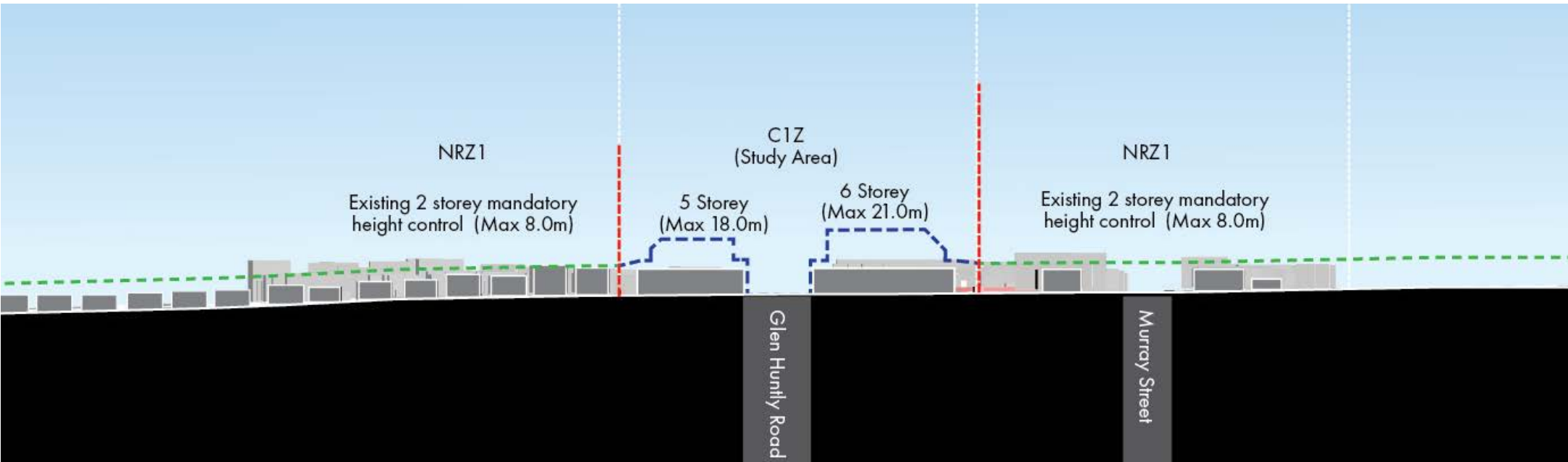


Figure 50. Precinct 4 - Cross Section B



4.6.5 SKETCH VISUALISATION



Figure 53. Viewpoint 4 - Existing Conditions



Figure 54. View 4 - With examples of supported street wall and building height shown

- Street Wall Maximum Height
- Building Maximum Height

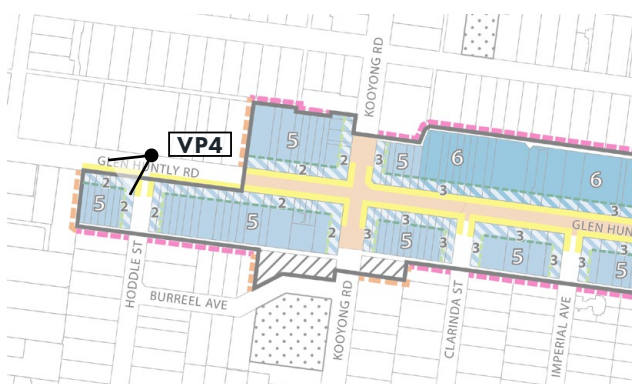


Figure 52. Viewpoint 4 Location Plan

The sketch visualisation depicts a potential built form outcome within the streetscape along with an outline of the potential maximum building envelope for both the street wall and overall building.

The visualisation shows that the established two storey street wall will be maintained with new developments. The upper levels for five storey development will be visible however they will not overwhelm the streetscape.



4.6.6 PRECINCT 4 - SHADOW ANALYSIS

Figure 55 demonstrates the shadows cast by existing buildings within the Precinct 4 of the Caulfield South NAC and the shadow cast by the maximum building envelope achievable through the Built Form Framework.

9am - Sept 22



10am - Sept 22



11am - Sept 22



- Precinct Boundary
- Shadow from existing built form
- - - Shadow from proposed maximum building envelope

Figure 55. Precinct 4 - Shadow Analysis



12pm - Sept 22



3pm - Sept 22



1pm - Sept 22



2pm - Sept 22



- Precinct Boundary
- Shadow from existing built form
- - - Shadow from proposed maximum building envelope



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