

21.05 URBAN VILLAGES – BENTLEIGH AND CARNEGIE ACTIVITY CENTRES

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21.05-1 Overview

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Bentleigh and Carnegie are major activity centres providing access to a wide range of goods, services and activities, including commercial, retail, entertainment, community and residential land uses. The extent of the activity centres are outlined on Map 1 and Map 2 to this clause.

The centres are well served by public transport with Bentleigh having train access and Carnegie having train and tram access. Carnegie is also served by a major arterial road (Dandenong Road). Both centres have opportunities for new active transport options, including improved pedestrian and bicycle accessibility.

Along with Elsternwick, Bentleigh and Carnegie are Glen Eira’s urban villages. These centres are a key focus for Glen Eira in accommodating housing and employment growth and improved public spaces given their existing infrastructure and location. They also provide a significant opportunity to be the centres of community life, as vibrant and exciting places for people to shop, work, meet, relax and live with a distinct sense of place. Directing growth into these centres will also relieve development pressures and allow for valued amenity and character of their surrounding residential neighbourhoods to be maintained.

The vision for the Bentleigh activity centre is:

- Bentleigh will be an accessible, local shopping centre destination with a vibrant café and restaurant culture.

It will maintain its community feel with open space, places for people to meet and gather and a broad range of local business and housing opportunities, all of which will meet the needs of a diverse community.

The vision for the Carnegie activity centre is:

- Carnegie will be a safe, connected and welcoming centre that embraces its authentic urban character and cultural identity.

The centre will be a destination for entertainment, shopping, housing and employment, supporting a range of businesses and interconnected community spaces that meet the needs of the local community.

Structure plans have been adopted by Council for Bentleigh and Carnegie activity centres that identify growth opportunities having regard to their local context. This includes the unique local character of each centre, the capacity of each part of the centre to accommodate growth, level of transport accessibility, the need to respect sensitive interfaces and local community needs. The structure plans seek to facilitate a transition of built form outcomes of varying height and scale in different locations across each centre, based on this local context. There are also opportunities in both centres to improve design outcomes and to improve the relationship between new development and the amenity, character and heritage values of existing neighbourhoods.

Opportunity sites in both Bentleigh and Carnegie have been identified where the potential exists for more intense mixed-use development outcomes to accommodate a range of new housing, jobs and services.

In the Carnegie activity centre an urban renewal precinct has been identified north of the railway line, where underutilised land close to public transport can be redeveloped for new housing, jobs and services as part of an integrated precinct of significant density and scale.

21.05-2 Bentleigh and Carnegie activity centres - general

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Objective 1

To facilitate growth in the Bentleigh and Carnegie activity centres that reflects their role and function as major activity centres and supports a range of retail, commercial, entertainment, community and residential uses to meet the needs of their diverse and changing communities.

Strategies

- Direct new housing and employment growth to locate in the Bentleigh and Carnegie activity centres in an integrated manner, taking into account its level of transport accessibility and the capacity of each part of the centre to accommodate different levels of change.
- Support a diverse range of housing and employment opportunities that reflect the growth directions for the centre and meet the existing and future housing and employment needs of the community.
- Support housing that responds to an identified community need, such as social or affordable housing, aged care housing or student housing.
- In commercial and mixed use areas:
 - Protect the retail and community role and function of the centre by prioritising retail and community uses at ground floor.
 - Facilitate new employment opportunities in the centre by supporting land use and building design that accommodates offices and other employment uses on the lower floors, above ground level.
 - Support residential uses on upper floors, above the retail and commercial uses.
- Facilitate an expanded network of pedestrian and shared laneways and shared community and open spaces.
- Support active frontages at ground level to existing and new plazas, streets and pedestrian and shared laneways.
- Support activities that contribute to a night time economy and across the weekend for commercial and community uses in locations where amenity impacts are minimised.
- Promote lighting, passive surveillance of public areas and location of land uses to support a safe environment for the community, particularly at night.
- Support the provision of co-located community facilities and services focussed in accessible community hubs.

Objective 2

To facilitate well designed and responsive development outcomes in the Bentleigh and Carnegie activity centres that reflect the heritage and distinct character attributes of each centre, and respond to local context and sensitive interfaces.

Strategies

All areas

- Support a transition of building heights and scale across the centre to reflect local growth opportunities and context.

- Design development to reflect and respect the unique heritage and local character of the centre.
- Support development that is responsive to and integrates with the residential character of the surrounding areas.
- Design development to sensitively respond to interfaces with heritage sites, open space and key public spaces
- Support land use and development that contributes to a sense of place within the centre.
- Integrate landscaping into new development including retention and planting of canopy trees for residential zones and urban greenery for commercial and mixed-use zones.
- Support development that is well designed and managed for high environmental performance across all areas including energy, waste, water, transport and ecology.
- Design development to contribute to a sense of safety, comfort and community presence with the site and the surrounding area, particularly close to the railway station and within commercial areas.

Residential areas

- Support development that responds to and integrates into the residential streetscape and incorporates contemporary architectural interpretations of traditional roof forms.
- ~~In schedule 3 to the Residential Growth Zone, development at the fourth storey should have the following minimum setbacks:~~
 - ~~10 metres from a front street.~~
 - ~~5 metres from a side street.~~
- ~~In schedule 4 to the Residential Growth Zone, development at the fourth storey should have the following minimum setbacks:~~
 - ~~9 metres from a street.~~
- ~~In schedule 5 to the General Residential Zone, development at the third storey should have the following minimum setbacks:~~
 - ~~11 metres from a front street.~~
 - ~~5 metres from a side street.~~
- Support development with front setbacks that facilitate a consistent garden corridor, where landscape character and canopy trees soften the built form.
- Support development with rear setbacks that facilitate a rear landscape corridor where canopy trees contribute to high amenity and an open landscaped outlook and recreational areas for residents.
- ~~Support development with side setbacks that respect the garden character and maintain space between dwellings, except in schedule 4 to the Residential Growth Zone.~~
- ~~Facilitate a minimum 6 metres setback to the side or rear boundary from the main living area or the secluded private open space at upper floors facing the side or rear boundary.~~
- Support development that does not result in significant loss of sunlight to future and existing public open space areas and key public areas.
- Deliver high quality amenity within buildings having regard to outlook and overlooking.
- Offset direct views between existing or future buildings within the same site or adjoining sites.
- Avoid compromising the development potential of developable adjoining land by achieving separation, outlook and amenity standards within the same site.

- Require development to:
 - Incorporate high quality materials, textures and colours that respond to local characteristics.
 - Use varied materials and contrasting colours to highlight features, delineate breaks, reduce the impact of upper floors and mask building services.
 - Use materials that are durable and sustainable.
- ~~Where a front fence is permitted above a height of 1.2m, it should have at least 25 per cent visual transparency above 1.2 metres.~~
- ~~In schedule 5 to the General Residential Zone a front fence abutting Koornang Road should not exceed 1.8m in height.~~
- Sites should be consolidated where appropriate to deliver an efficient built form and to ensure the visual and amenity impact of larger developments can be managed within the site.
- Site consolidation should contribute to an efficient and orderly lot size distribution, avoiding the retention of narrow unconsolidated lots which cannot achieve desired built form outcomes.
- Building design on consolidated sites should continue to respond to the rhythm and pattern of development on the street.

Objective 3

To improve the transport network, ease congestion and improve car parking provision in Bentleigh and Carnegie activity centres.

Strategies

- Support an integrated network of active streets, laneways and shared community and open spaces.
- Support development that contributes to the provision of safe and attractive pedestrian and cycling connections to and within the centre and provides cycling facilities within the site.
- Facilitate opportunities to improve walkability and to reduce conflict between pedestrians and vehicles.
- Facilitate an improved transport hub around the railway station.
- Prioritise high quality streetscapes and pleasant people environments through considered parking and access design that minimises visual and physical impacts.
- Support developments that provide high quality cycling facilities and quality pedestrian connections.
- Support innovative approaches to managing traffic and car parking outcomes within activity centres, including technology based approaches and centrally managed shared car parking in commercial and mixed use developments.
- Prioritise basement car parking in all commercial, mixed use and residential apartment developments.
- Avoid vehicular access directly from active frontages or retail shopping strips and prioritise vehicular access to the site from rear laneways or side street abuttals, as practical.
- In commercial and mixed use areas, where located at grade level or above, ensure car parking structures are sufficiently screened, not located within the frontage and adaptable for future alternative uses.
- In residential areas:

- Recess garage doors and basement entries behind the primary building façade.
- Prioritise vehicular access from rear laneways where practical.
- Ensure location of crossovers and driveways maximises landscaping opportunities on the site.

21.05-3 Bentleigh activity centre

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Objective 4

To strengthen Bentleigh's role as a vibrant and prosperous regional centre for shopping, housing, services and community life.

Strategies

- Support an integrated network of active streets and shared community and open spaces.
- Encourage new retail floorspace to integrate with the existing established retail strip along Centre Road.
- Support development along Centre Road that complements and preserves the fine grain and heritage streetscape character of the traditional shopping strip.
- Facilitate opportunities for redevelopment of existing car parks for new open space, multi-level car parking, community spaces and employment and housing uses.
- On opportunity sites identified on Map 1 to this clause, support development that:
 - Delivers new employment and diverse housing opportunities.
 - Facilitates improved open space, public realm improvements and community outcomes.
 - Considers the opportunities, constraints and local context of each opportunity site.

21.05-4 Carnegie activity centre

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Objective 5

To strengthen Carnegie's role as a regional destination for entertainment, shopping, housing, employment and a place for the community to meet.

Strategies

- Support an integrated network of urban laneways, active streets and shared community and open spaces.
- Support development that enhances the heritage features and distinctive fine-grained character of the Koornang Road retail strip.
- Protect existing trees along the railway corridor.
- Support the establishment of a new food market in Carnegie to meet an identified community need, and to create a new social experience and meeting space for the Carnegie community.
- Increase publicly accessible car parking in partnership with a future supermarket redevelopment at Kokaribb Road.
- On opportunity sites identified on Map 2 to this clause, support development that:
 - Delivers new employment and diverse housing opportunities.
 - Facilitates improved open space, public realm improvements and community outcomes.

- Considers the opportunities, constraints and local context of each opportunity site.
- In the urban renewal precinct identified on Map 2 to this clause, support an integrated approach to development of land that:
 - Maximises development opportunities to deliver new employment and housing diversity within a precinct of significant urban density and scale.
 - Facilitates site consolidation to achieve more efficient built form outcomes.
 - Promotes broader community benefit outcomes, such as the provision of affordable housing, additional open space, community facilities, public realm improvements or publicly accessible car parking.
 - Avoids new development that represents a significant under-development of land.
 - Facilitates new pedestrian connections and laneways within the precinct and between the urban renewal precinct and the retail core of the centre along Koornang Road.
 - Considers the opportunities, constraints and local context of each site and of the precinct as a whole.

21.05-5 Policy guidelines

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Consider, as relevant:

- Whether the development respects the preferred scale and form of development, taking into account the local context for the site and its contribution to the achievement of objectives for the overall centre.
- In mixed use developments, whether it has been designed to support employment uses at lower levels or facilitates future conversion to employment uses.
- Whether proposed buildings on sites that are in the vicinity of a heritage place are respectful of that heritage place.
- Whether site consolidation has occurred in a coordinated manner to deliver efficient built form and lot size outcomes.
- Whether the parking and access design:
 - Ensures that accessways and car parking structures are visually recessive and do not compromise landscaping opportunities.
 - Facilitates landscaping outcomes to be achieved.
 - Prioritises vehicle access from side streets or rear lanes. Where unavoidable on a primary street frontage, whether the development provides for a high level of landscaping and accessways and carparking structures do not dominate the front setback.

21.05-6 Policy documents

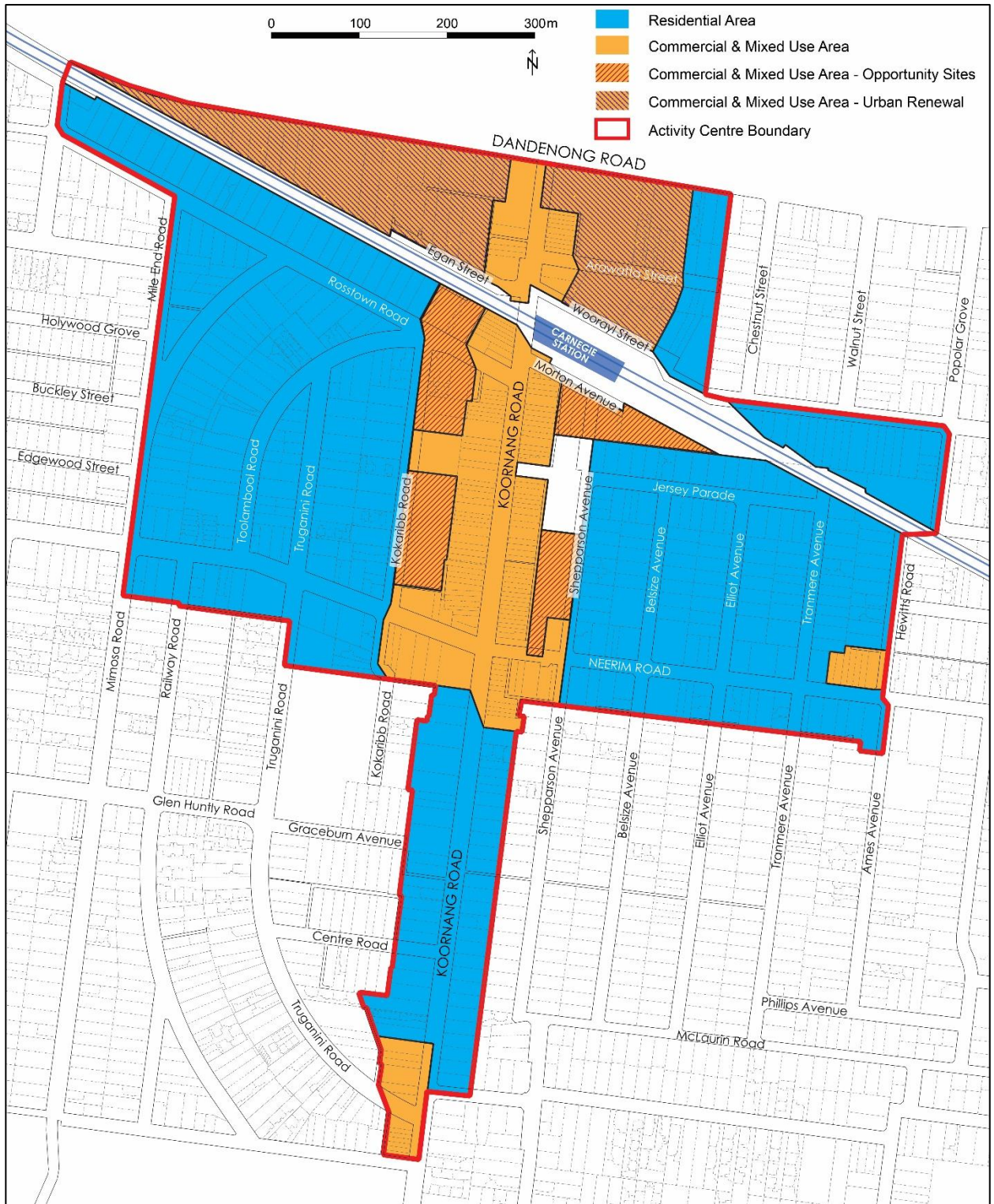
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- *Leigh Activity Centre Structure Plan 2018-2031 (Glen Eira City Council, 2018 including Addendum February 2020)*
- *Carnegie Activity Centre Structure Plan 2018-2031 (Glen Eira City Council, 2018 including Addendum dated February 2020)*

Map 1: Bentleigh Activity Centre



Map 2: Carnegie Activity Centre



22.05

19/01/2006
VC37
Proposed
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URBAN VILLAGES POLICY – ELSTERNWICK

This policy applies to land in **Elsternwick** -identified in the Urban Village Structure Plan, Glen Eira City Council, June 1999 and more particularly shown within the shaded areas on ~~maps~~ **Map 1, 2 and 3** included in the policy.

22.05-1

19/01/2006
VC37

Policy basis

Urban villages are local centres with a mix of workplaces, housing, shops and accessible public transport. The Municipal Strategic Statement (MSS) framework plan pinpoints a number of areas where the fundamental principles of the urban village concept can be found. They are identified as preferred locations for the municipality’s highest densities of residential development.

~~This policy previously applied to Bentleigh and Carnegie.~~

In particular, this policy implements the following objectives and strategies of the MSS:

Business

- Enhance and further develop urban villages as the focus for community life.
- Encourage competitive retail outlets in viable, lively and interesting strip shopping centres.

Housing diversity and density

- Encourage highest residential densities in preferred strategic locations such as urban villages.
- Promote the urban village concept in locations identified on the Framework Plan.
- Encourage densities of development which increase as proximity to the preferred strategic location increases and which decline as proximity declines (i.e. a higher density would be encouraged for shop top housing within a commercial centre than would be encouraged in a conventional residential street immediately surrounding the centre).

Bentleigh, Carnegie and Elsternwick contain these urban village characteristics. Structure plans have been developed to consolidate them as locations for convenient retailing, community, entertainment, tourist, educational and cultural facilities, and appropriate mixed-use development.

The aim of this policy is to introduce urban village structure plans into the Local Planning Policy Framework – to strengthen the retail role of the centres, and create areas of varied residential densities and mixed uses close to fixed transport routes. This will also provide greater certainty to both residents and developers about preferred development and uses throughout these areas, with particular attention to higher residential density areas, and key redevelopment sites.

Residential areas outside the urban village boundaries will be treated as Non Preferred Areas for multi dwelling development as defined in the MSS and other local policies.

22.05-2

19/01/2006
VC37

Objectives

- To create urban villages by co-locating work, leisure, community and residential uses and developments that complement each other.
- To encourage economic and employment generating development which is appropriate to the desired qualities and character of the area.
- To consolidate retail functions within existing strip shopping centres.

- To improve, where possible, community uses (elderly centres, library, etc) in a manner that respects proximity to retail hub, and the surrounding nature of development.
- To encourage increased densities within and around commercial/transport nodes which respects transition to the surrounding residential area.
- To ensure development respects the amenity of the surrounding area and provides a transition to surrounding residential uses.
- To promote residential and office use in upper levels of buildings within the retail hub.
- To protect and enhance the heritage, streetscape and pedestrian environment.
- To ensure future development is appropriate to the constraints of infrastructure and vehicular traffic movement (including parking).
- To create pleasant and safe public spaces.
- To encourage environmental sustainability and a reduction in green house gas emissions through the co-location of work, leisure, community and residential uses and developments.

22.05-3

Policy

19/01/2006
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ALL URBAN VILLAGES

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Residential development in a Heritage Overlay area respects the scale, form and setbacks of nearby heritage places, recognising that this may limit the ability to develop at higher densities.
- Development in an area affected by a Heritage Overlay be encouraged to retain contributory heritage buildings and incorporate these buildings into the overall development.
- Areas within the Special Building Overlay may have a limited capacity for higher density development as they may be liable to inundation from overland flows from the urban drainage system.
- Residential development proposals in areas affected by the Special Building Overlay are referred to Melbourne Water to determine the appropriate extent of development and to ensure that Melbourne Water’s predicted flood levels are taken into account in the design.
- Applicants be encouraged to consider character and amenity impacts when designing dwellings where the floor levels must be raised as a result of the Special Building Overlay.
- Residential development takes account of established traffic characteristics of the area and does not add to identified traffic conflicts.
- Large scale developments be accompanied by a Traffic Impact Report.
- Inappropriate uses with undesirable off site amenity impacts (e.g sexually explicit adult entertainment venues) be discouraged from locating in precincts where residential uses and community facilities are encouraged.

BENTLEIGH

Map 1

Bentleigh is an attractive shopping strip with a range of both retail shops and non-retail services such as childcare centre, library, banks and post office. It is centred around a rail station and bus network.

Even though Chadstone and Southland shopping centres compete with the Bentleigh centre, the shopping centre provides convenient shopping facilities for residents in the areas immediately surrounding the centre. The two supermarkets are major retail attractors to the centre. The buildings along the retail strip, however, do offer opportunities for a mix of uses including shop-top residences. There is also opportunity to provide better community facilities as the existing facilities are geographically disconnected and the buildings no longer meet the needs of the community.

The area surrounding the shopping strip is largely residential, with mostly Edwardian, Interwar and Californian Bungalow single detached dwellings.

A heritage area exists to the south of Centre Road which contributes substantially to the area's character and must be safeguarded. In addition, large sections of the residential areas to the immediate north and south of the centre are affected by overland flows (as identified by Melbourne Water). These factors coupled with existing unit developments in certain streets abutting the centre, all combine to potentially constrain opportunities for increased densities in the residential areas surrounding the centre. Where opportunity does exist, however, appropriate infill development at increased densities is encouraged.

Map 1 - Bentleigh



Precinct 1 Community Precinct

Exercise discretion

Where a permit is required for use or development, it is policy that:

- A stronger civic presence be created through the co-location of community services on the existing library site.
- Development of a community centre on the existing library site has a strong presence to Jasper Road.
- A traffic management plan be submitted with a proposal for a community centre.
- Building height of any development on the existing library site be compatible with the scale of adjacent buildings along Centre Road.
- Re-development of the existing library site includes car parking, with improved access and pedestrian movement and safety.

Precinct 2 Retail Hub

Exercise discretion

Where a permit is required for use or development, it is policy that:

- The existing strip shopping centre be contained within the precinct boundary.

- The retail focus along Centre Road be strengthened with retail being the principal ground floor use.
- Offices be allowed to locate at ground level of buildings in the area west of Wheatley Road.
- Unless otherwise specified, office and residential uses be located on upper floors of buildings, unless it can be demonstrated that such uses at ground floor level contribute to the viability of an active retail centre.
- Larger land uses (eg magnet stores or cinemas) be encouraged to locate within the existing precinct west of the railway line and such proposals be accompanied by Traffic Impact Reports.
- Uses abutting the rotunda area have active frontages to the rotunda.
- Shops be encouraged to provide entrances to both Centre Road and rear car parks.
- Shopfronts be encouraged to return for minimum depths onto side streets.
- Buildings along Centre Road be encouraged to increase in height to provide for office, commercial and residential uses provided:
 - Buildings on the north side of Centre Road are articulated, so shadow is not cast onto the footpath on the south side of Centre Road.
 - Building height is not to result in overshadowing of residential properties to the south.
 - Buildings step down at the rear to achieve a better transition to residential areas.
 - Rear boundaries incorporate a landscaped buffer (except where such premises adjoin a publicly owned car park) to ensure a sensitive interface to the residential area behind.
 - The range and type of retail facilities currently enjoyed in the centre are not depleted.
- Upper levels of new development provide for residential accommodation in preference to office uses.
- The amalgamation of allotments for more intensive developments so that facades of buildings within the centre are more coherent, be encouraged.
- New residential developments in the commercial centre provide a recognizable and accessible pedestrian access point from the street to the residential component of the building.

Precinct 3 Car Parking and Mixed Use

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Car parking remain to service the retail strip.
- Shops be encouraged to provide entrances to both Centre Road and rear car parks.
- The number of off-street car parking spaces be retained or increased.
- Reconfiguration of the car parking arrangement include design treatments to improve the appearance and safety of the parking area.
- Bleazby St car park spaces be retained, and any expansion not impinge on the amenity of abutting residences.

- ~~Improved utilisation of the railway reserve land (mixed use with consolidated multi-deck parking) between Hamilton Street and the station be encouraged.~~
- ~~Potential of car parking areas to be redeveloped for a combination of mixed use/residential and car parking (that in turn will reduce the extent of hard paved areas) either through the utilisation of airspace and/or basement development be recognised.~~
- ~~The poor surveillance of car park and streetscape realms be addressed through the implementation of above ground activities with views, access and activity orientated towards these spaces.~~

~~Precinct 4 Residential~~

~~Exercise discretion~~

~~Where a permit is required for use or development, it is policy that:~~

- ~~Development on the parkland adjacent to the railway line in Nicholson Street be discouraged and the existing landscape strip be retained.~~
- ~~Where opportunities exist, a range of housing types be promoted at increased densities.~~
- ~~Where opportunities exist, medium density housing be encouraged in the residential areas surrounding the centre.~~
- ~~The managed change of the neighbourhood character of these areas be encouraged.~~
- ~~Those sites that immediately abut car parking areas and are not separated by a road may have greater development potential than other sites within the precinct.~~

~~CARNEGIE~~

~~Map 2~~

~~Carnegie is a traditional shopping centre surrounded by a well-established residential area containing a mix of flats, units and detached houses that caters for the demands of the mixed community. The residential area east of Koornang Road is largely composed of Edwardian, Interwar and Victorian single detached houses. The residential area to the west of Koornang Road is mostly two to three storey flats built in the 1960s, interspersed by period homes.~~

~~The centre is based around a rail station and has other adequate public transport links.~~

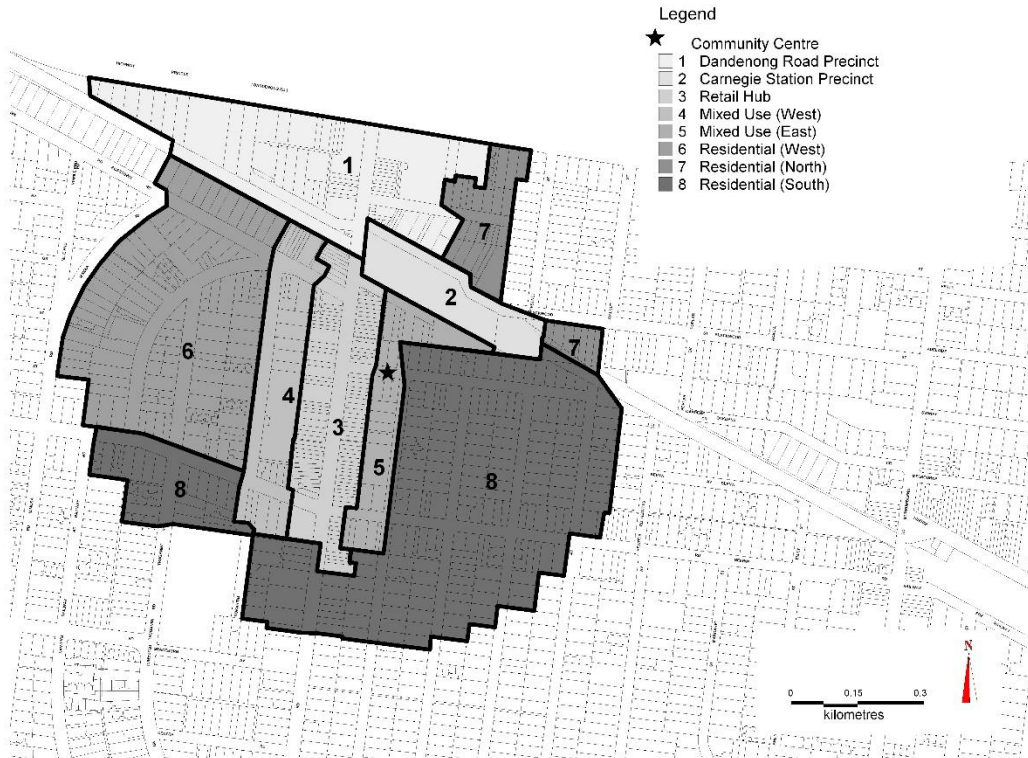
~~The retail strip provides shopping convenience as it contains a range of retail (notably ethnic grocery stores and opportunity shops) and commercial/professional uses. Of the three urban village areas identified, it has the shortest shopping strip, concentrated along Koornang Rd between Neerim Road and Dandenong Road. A small amount of retail, professional and commercial uses spill over Neerim Road and down the side streets running off Koornang Road. These should be contained. There are also industrial uses – they are concentrated in Egan Street.~~

~~Carnegie has a wide mix of uses that provides varied employment opportunities and ensures the continuation of its role as a sub regional centre despite competition from nearby Murrumbeena and Glen Huntly centres, and the Chadstone shopping centre.~~

~~The success of this area could be improved with night time activities that complement daytime uses, eg restaurants and cafes, and using upper floors of buildings for residential and commercial activities that would contribute to employment opportunities and attract people who desire proximity to public transport, services and shops. Car parking and congested traffic movement within and around the centre is impacting on the convenience and safety of~~

~~shopping. This situation could be improved by easing traffic flow, upgrading pedestrian linkages, and formalising and upgrading car parks.~~

Map 2 - Carnegie



Precinct 1 Dandenong Road Precinct

Exercise discretion

Where a permit is required for use or development, it is policy to:

Land use and development

- ~~Encourage site consolidation and redevelopment to support increased development densities.~~
- ~~Encourage the conservation of the Rosstown Hotel (the entire original building including its roof form) at the corner of Koornang Road and Dandenong Road.~~
- ~~Encourage retention and restoration of the facades of older two storey shops on the east side of Koornang Road, while allowing construction of ‘attic storey’ additions with no setbacks from the street, provided any additional height is not visible from the street.~~
- ~~Maximise the development potential of land consistent with the objectives of this policy.~~
- ~~Encourage higher density residential development.~~
- ~~Maintain a continuous and consistent built form for the shop-fronts at street level along Koornang Road.~~

- ~~Where retail uses are encouraged in this precinct, avoid retail that competes directly with the Koornang Road retail strip and supermarket(s) south of the railway.~~
- ~~Encourage non-core retailing, hospitality, entertainment and commercial uses addressed to Dandenong Road, with the exception of No. 1100 and 1102-1108 Dandenong Road where retail uses are discouraged.~~
- ~~Encourage non-core retailing, hospitality, entertainment and commercial uses addressed to Koornang Road.~~
- ~~Encourage commercial uses with residential above and discourage retail uses in Woorayl Street.~~
- ~~Encourage vertical mixes of land uses with retail, commercial and community facilities at ground level and residential above.~~
- ~~Create active frontages onto all streets in the precinct.~~
- ~~Locate uses that are less sensitive to traffic and railway noise near Dandenong Road, especially at lower building levels.~~
- ~~Position new housing to create an appropriate interface between other uses and established residential areas.~~
- ~~Provide parking in basement structures and avoid open air ground level car parking, especially on sites exposed to surrounding streets.~~
- ~~Provide sufficient off street parking to avoid creating additional demand on adjacent areas.~~
- ~~Allow development of new dwellings without side setbacks along east-west streets where good solar access can be provided and the amenity of adjoining dwellings is not significantly reduced. Subject to assessment of individual sites, areas for elimination of side setbacks include:~~
 - ~~Dandenong Road~~
 - ~~Arawatta Street~~

~~Subdivision and access ways~~

- ~~Create a new north-south street linking Woorayl Street, Arawatta Street and Dandenong Road.~~
- ~~Consolidate properties in the area west of Koornang Road to encourage more intensive development.~~
- ~~Encourage new north-south streets linking Egan Street and Dandenong Road as part of such consolidation and redevelopment.~~
- ~~Encourage layouts that support good solar orientation in new buildings.~~

~~Frontage qualities~~

- ~~Encourage new buildings that contribute to an attractive, pedestrian scale frontage along Dandenong Road with articulation and detailing near street level, as well as addressing the viewpoint of travellers along the highway.~~
- ~~Encourage development fronting the railway station (north of Woorayl Street) that contributes to a strong civic identity for the station precinct.~~
- ~~Provide weather protection to Koornang Road footpaths.~~

- ~~▪ Minimise the number and extent of car park entries along Koornang Road, Egan Street and Arawatta Street, with preference to car park entries directly from the Dandenong Road service road.~~
- ~~▪ Provide service access from basement car parks or service lanes within the site to minimise impacts on important pedestrian areas.~~

~~Expiry~~

- ~~▪ The policies for Precinct 1 do not apply after 30 September 2007.~~

~~Precinct 2 Carnegie Station Precinct~~

~~Exercise discretion~~

~~Where a permit is required for use or development, it is policy that:~~

- ~~▪ The open space area adjoining the Carnegie Railway station be retained and re-designed to create an attractive and safe environment.~~
- ~~▪ Commercial activities not occur in the open space area adjoining the Carnegie Railway station. A kiosk may be developed in the train operator's (Connex) building on the north side of the rail line or be designed sympathetically with the existing building.~~

~~Precinct 3 Retail Hub~~

~~Exercise discretion~~

~~Where a permit is required for use or development, it is policy that:~~

- ~~▪ The retail focus along Koornang Road be strengthened with retail being the principal ground floor use.~~
- ~~▪ Increased building heights accommodate residential and office activities at the upper levels.~~
- ~~▪ The height of upper level residential/office developments be determined by:
 - ~~▫ Site context, including the scale and character of surrounding development.~~
 - ~~▫ Site characteristics, including area, dimensions, orientation and topography.~~
 - ~~▫ Existing development on the site, including height, bulk and site coverage.~~~~
- ~~▪ Small retail uses be concentrated within the core retail area with entrances to the street and rear (to car parking areas).~~
- ~~▪ New residential developments provide a recognisable and accessible pedestrian access point from the street to the residential component of the building.~~

~~Precinct 4 Mixed Use (West)~~

~~Exercise discretion~~

Where a permit is required for use or development, it is policy that:

- Any new developments not take the retail focus away from Koornang Road.
- Existing car park areas be redeveloped for commercial/residential uses.
- Any redevelopment of existing car park areas maintain the current level of parking in addition to the required level generated by the development.
- Safe rear access be provided from buildings directly abutting car parks.
- Re development of car parks be appropriate to the streetscape and provide a safe pedestrian environment.

Precinct 5 Mixed Use (East)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- The main focus of this precinct is to create a community centre that incorporates existing services provided to the community.
- Development of a community centre may be more than 1 level if access is appropriately designed to serve the users and the scale is compatible with surrounding buildings.
- A traffic management plan be submitted with a proposal for a community centre.
- Development of a community centre include pedestrian linkages between Koornang Road and the residential area to the east, the station to the north and the car park to the south.
- Development of a community centre include an entry mall to Koornang Road.
- Development of a community centre not inhibit potential rear car parking to service shops.
- The area south of the station and the railway line, in Morton Avenue, is appropriate for multi-storey residential development. This may include commercial uses at ground level.
- Existing car park areas in Shepparson Avenue, north of Neerim Road, may be redeveloped for residential development.
- Any redevelopment of existing car park areas maintain a level of parking that supports the shopping strip, in addition to the required level generated by the development.
- Commercial development on lots with frontage onto Neerim Road be encouraged.
- Open space in Jersey Parade be suitably replaced in the development of a community centre in Shepparson Avenue.

Precinct 6 Residential (West)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- ~~▪ Increased density residential developments be encouraged.~~
- ~~▪ Further expansion of commercial activities in Rosstown Road be discouraged.~~
- ~~▪ The managed change of the neighbourhood character be encouraged.~~

Precinct 7 Residential (North)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- ~~▪ Increased density residential development be encouraged in Chestnut and Blackwood Streets with medium to high density development occurring on lots with frontage to Dandenong Road.~~
- ~~▪ The managed change of the neighbourhood character be encouraged.~~

Precinct 8 Residential (South)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- ~~▪ A mix of density and housing types be encouraged to accommodate different household types, especially the elderly.~~
 - ~~▪ The re-development of 314 Neerim Road for medium density dwellings be encouraged.~~
 - ~~▪ The managed change of the neighbourhood character be encouraged.~~
-

ELSTERNWICK

Map 34

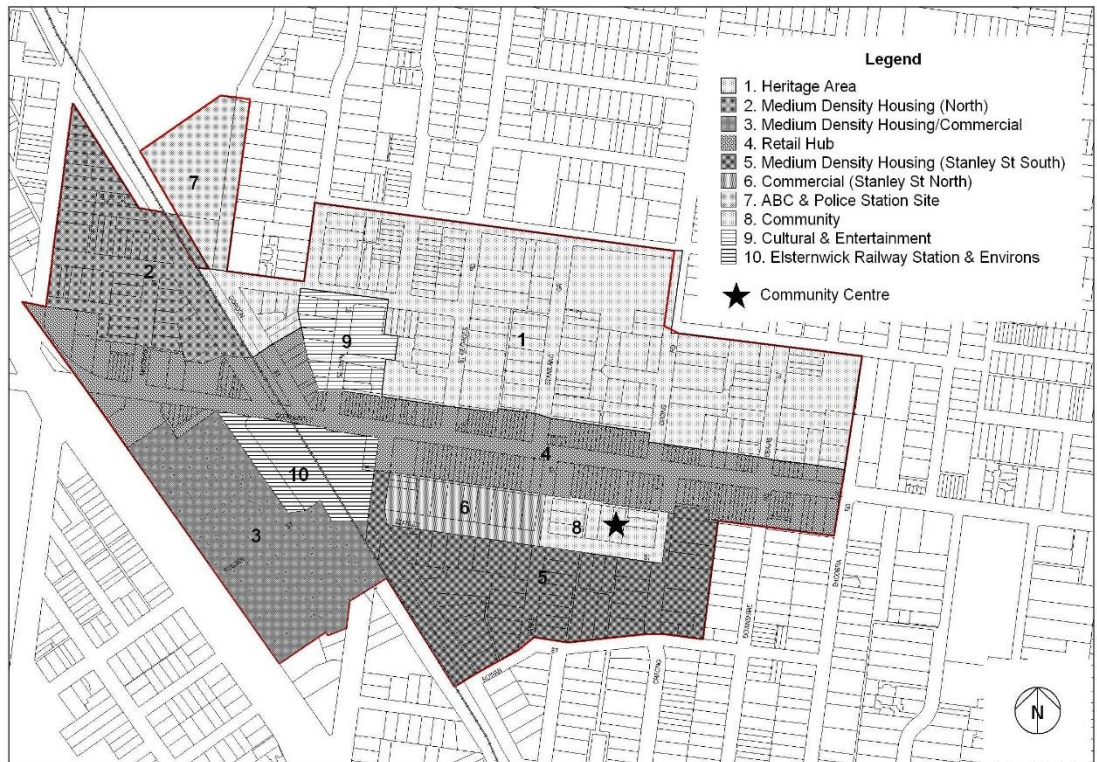
Elsternwick shopping centre is a traditional shopping strip surrounded by a residential area containing sites of heritage significance that must be protected.

The shopping strip is characterised by two storey Victorian and Edwardian buildings, and provides a wide range of shopping, service and entertainment facilities. It is well served by trains, trams and buses.

Elsternwick has retained its subregional retail role despite competition from other convenience shopping centres, including Chadstone and Southland.

The Elsternwick urban village has areas of defined residential character and pockets of mixed streetscapes, for example Horne Street includes a variety of retail and commercial premises, the railway station and a section of distinctly residential character. Selwyn Street contains a mix of uses, including the Jewish Holocaust Centre and Classic Cinema – both of which provide diversity to the area without detracting from the retail strip. The ABC studios also provide diversity of use and employment to the area.

Map 1 Elsternwick



Precinct 1 Heritage Area

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Retail and commercial activities not encroach into the residential area.
- The area north of the right of way, bounded by Staniland Grove to the west, Orrong Road to the east and including the existing library site, the Maternal and Child Health Centre fronting Orrong Road and the car parks to the north and south of the library, be used for public car parking.
- A multi-storey car park may be developed within the existing Coles supermarket car parking area if sympathetically designed to complement the surrounding built form.
- Rear access to the Glen Huntly Road premises be maintained.
- Dual vehicular access from both Orrong Road and Staniland Grove be maintained (to the north of the Glen Huntly Road premises) and entrances to car parks widened for two way traffic.

Precinct 2 Medium Density Housing (North)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Retail uses be discouraged.
- Increased density housing be encouraged, particularly along Rippon Grove.

- All developments provide adequate off street parking to protect the amenity of the residents.
- Site consolidation to facilitate increased densities be encouraged.
- New developments provide an appropriate interface to adjacent valued community assets such as the churches.

Precinct 3 Medium Density Housing/Commercial

Exercise discretion

Where a permit is required for use or development, it is policy that:

- This precinct be encouraged as an area for higher density development at heights compatible with adjacent buildings.
- Retail and commercial uses be limited to lots with frontage onto Horne Street, north of Rusden Street, with retail being encouraged to locate at the Glen Huntly Road end.
- Any new developments not take the retail focus away from Glen Huntly Road.
- Existing commercial premises in Horne Street may be developed with additional floors for commercial/residential activities.
- Heights of buildings in Horne Street, north of Rusden Street, progressively decrease from the existing 5 storey building.
- Site consolidation to facilitate increased densities in Ross Street be encouraged.
- Increased densities not be at the expense of providing adequate on site car parking.
- Residential buildings be located on lots fronting Nepean Highway.

Precinct 4 Retail Hub

Exercise discretion

Where a permit is required for use or development, it is policy that:

- The existing strip shopping centre be contained within the precinct boundary.
- The character of the shopping strip be preserved through the conservation of the buildings and their façade.
- Retail premises along Glen Huntly Road be encouraged to provide rear access to car parks.
- Retail activities be discouraged from encroaching into the side streets.
- Residential uses and offices occur in upper levels of buildings.
- Diversity of retail and services be encouraged to maintain viability.
- All redevelopment west of the railway line be no higher than the terrace buildings on the south side of Glen Huntly Road.
- All redevelopment west of the railway line provide adequate onsite parking.
- Retail uses be discouraged on lots east of 481 Glen Huntly Road on the north side of Glen Huntly Road.
- Residential developments in the commercial centre provide a recognisable and accessible pedestrian access point from the street to the residential component of the building.

- The height of residential developments be determined by:
 - Site context, including the scale and character of surrounding development.
 - Site characteristics, including area, dimensions, orientation and topography.
 - Existing development on the site, including height, bulk and site coverage.

Precinct 5 Medium Density Housing (Stanley Street South)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Stanley Street provides a point of transition from larger scale on the northern side to lower scale development.
- Where the Heritage Overlay does not apply, the managed change of the neighbourhood character of residential areas be encouraged.

Precinct 6 Commercial (Stanley Street North)

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Commercial activities be contained to the lots on the north side of Stanley Street.
- Sites north of Stanley Street may accommodate increased densities at heights compatible with adjacent buildings.
- Stanley Street provides a point of transition from larger scale to the north of Stanley Street to lower scale development to the south.
- The residential appearance of the buildings used for commercial activities in Stanley Street be maintained and parking be provided at the rear of the site.
- The expansion of commercial character into residential properties be discouraged.
- The managed change of the neighbourhood character of residential areas be encouraged.

Precinct 7 ABC and Police Station Site

Exercise discretion

Where a permit is required for use or development, it is policy that:

- National Trust comments be sought and considered with any proposed development of the site, due to its proximity to Rippon Lea.
- The combined ABC and Police Station site be recognised as a unique opportunity for large scale development subject to an appropriate landscape treatment and setback to Rippon Lea.

Precinct 8 Community

Exercise discretion

Where a permit is required for use or development, it is policy that:

- Redevelopment of the community centre maintain current levels of parking to support the shopping strip, in addition to the required level generated by the development.
- A community centre be built on the existing car park on the corner of Orrong Road and Stanley Street, and designed to complement the surrounding residential nature of Stanley Street and Orrong Road.
- All current community facilities (as well as additional facilities such as community meeting rooms, public toilets and baby feeding rooms) be consolidated into a community centre.
- A community centre provides open space for passive recreation.
- A traffic management plan be submitted with a proposal for a community centre.

Precinct 9 Cultural and Entertainment

Exercise discretion

Where a permit is required for use or development, it is policy that:

- There be a mix of residential and commercial activity in Selwyn Street.
- No retail activities occur along Selwyn Street.
- Development in Selwyn Street be of scale similar to surrounding buildings with buildings greater than two storey being located towards Glen Huntly Road, and buildings to the northern end of the street being sympathetic to the character of the surrounding streets due to its visibility.

Precinct 10 Elsternwick Railway Station and Environs

Exercise discretion

Where a permit is required for use or development, it is policy that:

- The air space above the railway line, on both the north and south sides of Glen Huntly Road, may be developed for public parking.
- Access to the north side car park not be in the form of a pedestrian overpass over Glen Huntly Road.
- Developments not reduce the size of or overshadow Elsternwick Plaza.
- Café activity be encouraged in Elsternwick Place.

22.05-4

Reference document

19/01/2006
VC37

Urban Village Structure Plan, Glen Eira City Council, June 1999

DD/MM/YYYY
C184glen

SCHEDULE 3 TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE

Shown on the planning scheme map as **RGZ3**.

RESIDENTIAL CORE IN MAJOR ACTIVITY CENTRES

1.0 Design objectives

DD/MM/YYYY
C184glen

To create a **strong** garden setting by softening built form, providing a well landscaped garden corridor along the front and rear of the site and supporting front fencing that provides views to the street.

To support development ~~with any fourth storey above ground level well set back~~ a well setback fourth storey.

To support new development that orientates living areas towards the front and rear of the site, and minimises **both** upper level living areas and **both** upper level secluded **private** open spaces facing side boundaries.

To support building design that minimises the use of screening to manage overlooking and privacy.

To support new development that provides contemporary interpretations of **traditional** elements of ~~Glen Eira's~~ residential streetscapes including siting, design, roof form, fencing height, materials and colours.

2.0 Requirements of Clause 54 and Clause 55

DD/MM/YYYY
C184glen

	Standard	Requirement
Minimum street setback	A3 and B6	Walls of buildings should be set back at least: <ul style="list-style-type: none"> 7 metres from a front street. 3 metres from a side street.
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	A minimum of one advanced canopy tree for every 8 metres of boundary at the front and rear. If the result is not a whole number, round up to the nearest whole number. Each canopy tree should shall have a minimum mature height of 7 metres in the front and 5 metres in the rear.
Side and rear setbacks	A10 and B17	A new building not on or within 200mm of a rear boundary should be set back at least: <ul style="list-style-type: none"> 5 metres up to and including 10.8 metres in building height. 8 metres above 10.8 metres in building height. Side boundary setback requirements in accordance with Standards A10 and B17 continue to apply.
Walls on boundaries	A11 and B18	None specified

	Standard	Requirement
Private open space	A17	None specified
	B28	<p>A dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> ▪ An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 4 metres, and convenient access from a living room, or ▪ A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or ▪ A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.
Front fence height	A20 and B32	<p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> ▪ 1.8 metres for streets in a Road Zone Category 1. ▪ 1.2 metres for all other streets.

3.0 Maximum building height requirement for a dwelling or residential building

DD/MM/YYYY
C184glen

A building must not be constructed for use as a dwelling or a residential building that exceeds a height of 13.5 metres and four storeys. ~~above ground level.~~

4.0 Application requirements

DD/MM/YYYY
C184glen

None specified

5.0 Decision guidelines

DD/MM/YYYY
C184glen

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~Whether the design of the development:~~
 - ~~Provides contemporary architecture and design with quality and integral materials that reflect a residential palette and integrate elements of the existing streetscape.~~
 - ~~Provides for any fourth storey above ground level to be well set back.~~
 - ~~Provides a roof form that positively responds to and enhances the residential streetscape with contemporary architectural interpretations of traditional roof forms.~~
 - ~~Supports ground floor dwellings with a street frontage having an entry facing the street.~~
 - ~~Supports an open streetscape character that facilitates passive surveillance of the street and public open space, with windows, balustrades, fencing and landscaping.~~
- ~~Whether the design of the development and overlooking is addressed through design that:~~
 - ~~Ensures active living areas (such as balconies, courtyards, terraces, lounges, kitchens and dining areas) maximise outlook, natural daylight and ventilation while managing overlooking and visual privacy for residents without the need for excessive screening.~~

- ~~• Prioritises the orientation of living areas towards the front and rear of the site.~~
- ~~• Considers the reasonable future development opportunities on adjoining sites.~~
- ~~Whether the design of the development and the design of private open space and landscape areas:~~
 - ~~• Provides for a well landscaped garden corridor along the front and the rear of the site that includes canopy trees and permeable surfaces.~~
 - ~~Facilitates the planting location of the canopy trees to be site responsive.~~
 - Whether the extent of **Minimises** basement footprints within the front and rear setbacks to provide for deep planted canopy trees.

DD/MM/YYYY
C184glen

SCHEDULE 4 TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE

Shown on the planning scheme map as **RGZ4**.

TRANSITION TO URBAN RENEWAL AREAS

1.0 Design objectives

DD/MM/YYYY
C184glen

To support contemporary development that reinforces a dense urban character.

To provide for development with ~~a human scale at street level~~, passive street surveillance and any fourth storey above ground level well set back.

To support development that orientates living areas towards the front and rear of the site, and minimises **both** living areas and **both** upper level secluded **private** private open spaces facing side boundaries.

Support building design that minimises the use of screening to manage overlooking and privacy.

To provide for an urban landscape setting to the front of the site to soften the built form.

2.0

DD/MM/YYYY
C184glen

Requirements of Clause 54 and Clause 55

	Standard	Requirement
Minimum street setback	A3 and B6	Walls of buildings should be set back from streets at least 3 metres.
Site coverage	A5 and B8	The maximum Site coverage should not exceed is 90 per cent.
Permeability	A6 and B9	The minimum site area to be covered by pervious surfaces should be at least is 5 per cent.
Landscaping	B13	A minimum of one advanced canopy tree for every 8 metres of boundary at the front. If the result is not a whole number, round up to the nearest whole number. Each canopy tree should shall have a minimum mature height of 7 metres.
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	A dwelling or residential building should have private open space consisting of: <ul style="list-style-type: none"> ▪ An area of 40 square metres with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 15 square metres, a minimum dimension of 3 metres, and convenient access from a living room, or, ▪ A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or, ▪ A rooftop area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.

	Standard	Requirement
Front fence height	A20 and B32	A front fence within 3 metres of a street should not exceed: <ul style="list-style-type: none"> ▪ 1.8 metres for streets in a Road Zone Category 1 ▪ 1.5 metres for all other streets.

3.0 Maximum building height requirement for a dwelling or residential building

DD/MM/YYYY
C184glen

A building must not be constructed for use as a dwelling or a residential building that exceeds a height of 13.5 metres and four storeys ~~above ground level.~~

4.0 Application requirements

DD/MM/YYYY
C184glen

None specified.

5.0 Decision guidelines

DD/MM/YYYY
C184glen

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~Whether the design of the development:~~
 - ~~Contributes to a dense urban character with a human scale at street level.~~
 - ~~Provides for any fourth storey above ground level to be well set back.~~
 - ~~Supports boundary to boundary development towards the street frontage to reinforce a dense urban built form character.~~
 - ~~Provides an integrated flat roof that maximises use for open space, greening and other environmentally sustainable measures.~~
 - ~~Supports ground floor dwellings with a street frontage having an entry facing the street.~~
 - ~~Facilitates passive surveillance of the street and public open space, with windows, balustrades, fencing and landscaping.~~
- ~~Whether the design of the development and overlooking is addressed through design that:~~
 - ~~Ensures active living areas (such as balconies, courtyards, terraces, lounges, kitchens and dining areas) maximise outlook, natural daylight and ventilation while managing overlooking and visual privacy for residents without the need for excessive screening.~~
 - ~~Prioritises the orientation of living areas towards the front and rear of the site.~~
 - ~~Considers the reasonable future development opportunities on adjoining sites.~~
- ~~Whether the design of the development and the design of private open space and landscape areas:~~
 - ~~Supports an urban landscape setting with canopy trees in the front setback and through landscape greenery within courtyards and balconies fronting the street.~~
 - ~~Facilitates the planting location of the canopy trees to be site responsive.~~
- Whether the extent of the ~~Minimises~~ basement footprints within the front setback to provide for deep planted canopy trees.

DD/MM/YYYY
C184glen

SCHEDULE 5 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

Shown on the planning scheme map as **GRZ5**

RESIDENTIAL AREAS IN ACTIVITY CENTRES

1.0 Neighbourhood character objectives

DD/MM/YYYY
C184glen

To create a **strong** garden setting by softening built form, providing a well landscaped garden corridor along the front and rear of sites and supporting front fences that provides views to the street.

To support development with a **well set back third storey**. ~~any third storey above ground level well set back.~~

To support development that orientates living areas towards the front and rear of the site, and minimises **both** upper level living areas and **both** upper level secluded open spaces facing side boundaries.

To support building design that minimises the use of screening to manage overlooking and privacy.

To support development that provides contemporary interpretations of traditional elements of Glen Eira's residential streetscapes including siting, design, roof form, fencing height, materials and colours.

2.0 Construction or extension of a dwelling or residential building - minimum garden area requirement

DD/MM/YYYY
C184glen

Is the construction or extension of a dwelling or residential building exempt from the minimum garden area requirement?

Yes **No**

3.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot

DD/MM/YYYY
C184glen

Is a permit required to construct or extend one dwelling on a lot of between 300 and 500 square metres?

No

Is a permit required to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot of between 300 and 500 square metres?

No

4.0 Requirements of Clause 54 and Clause 55

DD/MM/YYYY
C184glen

	Standard	Requirement
Minimum street setback	A3 and B6	Walls of buildings should be set back at least: <ul style="list-style-type: none"> ▪ 7 metres from a front street ▪ 3 metres from a side street.
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified

	Standard	Requirement
Landscaping	B13	A minimum of one advanced -canopy tree for every 8 metres of boundary at the front and rear. If the result is not a whole number, round up to the nearest whole number. Each canopy tree should shall have a minimum mature height of 7 metres metres in the front and 5 metres in the rear.
Side and rear setbacks	A10 and B17	A new building not on or within 200mm of a rear boundary should be set back at least: <ul style="list-style-type: none"> 5 metres up to and including 9 metres in building height. 11 metres above 9 metres in building height. Side boundary setback requirements in accordance with Standards A10 and B17 continue to apply.
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	A dwelling or residential building should have private open space consisting of: <ul style="list-style-type: none"> An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 4 metres, and convenient access from a living room, or A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.
Front fence height	A20 and B32	A front fence within 3 metres of a street should not exceed: <ul style="list-style-type: none"> 1.8 metres for streets in a Road Zone Category 1 1.2 metres for all other streets.

5.0 Maximum building height requirement for a dwelling or residential building

DD/MM/YYYY
C184glen

A building must not be constructed for use as a dwelling or a residential building that exceeds a height of 11 metres and three storeys.

6.0 Application requirements

DD/MM/YYYY
C184glen

None ~~specified~~**specified**

7.0 Decision guidelines

DD/MM/YYYY
C184glen

The following decision guidelines apply to an application for a permit under Clause 32.08, in addition to those specified in Clause 32.08 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~• Whether the design of the development:
 - ~~• Provides contemporary architecture and design with quality and integral materials that reflect a residential palette and integrate elements of the existing streetscape.~~
 - ~~• Provides for any third storey above ground level to be well set back.~~~~

- ~~• Provides a roof form that positively responds to and enhances the residential streetscape with contemporary architectural interpretations of traditional roof forms to assist with streetscape integration.~~
- ~~• Supports ground floor dwellings with a street frontage having an entry facing the street.~~
- ~~• Supports an open streetscape character that facilitates passive surveillance of the street and public open space, with windows, balustrades, fencing and landscaping.~~
- ~~Whether the design of the development and overlooking is addressed through design that:~~
 - ~~• Ensures active living areas (such as balconies, courtyards, terraces, lounges, kitchens and dining areas) maximise outlook, natural daylight and ventilation while managing overlooking and visual privacy for residents without the need for excessive screening.~~
 - ~~• Prioritises the orientation of living areas towards the front and rear of the site.~~
 - ~~• Considers the reasonable future development opportunities on adjoining sites.~~
- ~~Whether the design of the development and the design of private open space and landscape areas:~~
 - ~~• Provides for a well landscaped garden corridor along the front and the rear of the site that includes canopy trees and permeable surfaces.~~
 - ~~• Facilitates the planting location of the canopy trees to be site responsive.~~
 - Minimises basement footprints within the front and rear setbacks to provide for deep planted canopy trees.

SCHEDULE 8 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO8**.

BENTLEIGH ACTIVITY CENTRE

1.0 Design objectives

- To support high quality built form outcomes that also complements the fine grain and heritage elements of the streetscape.
- To support growth that reinforces ~~create opportunities for growth focussed on opportunity sites that support~~ the housing, economic and place making role and function of the activity centre.
- To strengthen ~~the retail and employment function of the activity centre through~~ building design that supports employment uses or facilitates future conversion to employment uses.
- To minimise the amenity impacts on residential dwellings including overlooking, overshadowing and visual bulk.
- To provide an attractive, functional and connected public spaces ~~that respond to the public realm~~ through building design, defined street edges, active frontages, visual interest design elements, quality public open space and public spaces and an expanded laneway network.

2.0 Buildings and works

The following buildings and works requirements apply to an application to construct a building or construct or carry out works.

2.1 Buildings and works for which no permit is required

A permit is not required to construct a building or construct or carry out works for:

- The installation of an automatic teller machine.
- An alteration to an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building facade at ground floor level is maintained as an entry or window with clear glazing.
- An awning that projects over a road if it is authorised by the relevant public land manager.
- ~~Alterations and additions~~ ~~Extension to of~~ a single dwelling on a lot ~~or buildings and works ancillary to a single dwelling on a lot.~~

2.2 Definitions

For the purpose of this schedule:

Laneway means an existing or potential future laneway identified in Map 3 to this schedule.

Pedestrian laneway means an existing or proposed laneway with active frontages that supports a high level of pedestrian activity (no vehicle access or loading facilities).

Primary outlook means the primary view angle from the main internal living area and secluded private open space (SPOS). Where there are multiple living areas and SPOS, the primary outlook is associated with the primary living area. Where a primary living area or SPOS faces multiple boundaries, the primary outlook is the main direction where indoor

and outdoor living areas are connected (such as the primary living area and a balcony). For the purpose of this clause, each dwelling is considered to have only one primary outlook.

Service laneway means an existing or proposed laneway that generally serves as vehicular access to the side or rear of buildings to support parking, loading facilities, services and utilities. Service laneways generally do not have active frontages and include any laneway that is not nominated as a Shared laneway or Pedestrian laneway.

Shared laneway means an existing or proposed laneway with active frontages that supports a high level of pedestrian activity and is shared with vehicle access or loading facilities where practical.

Street wall means that part of a building constructed within 0.3 metre of an existing or proposed street, laneway or public open space. The street wall is otherwise known as the ‘podium’ element of a taller building.

Street wall height means a height measured from the footpath or natural ground level at the centre of the relevant site frontage to the top of the street wall. It includes parapets.

Upper levels mean the part of the building above the prescribed street wall. The upper levels are otherwise known as the ‘tower’ element of a taller building.

2.3 Building height and number of storeys

A building must not exceed the maximum building height specified in Column 3 of Table 1 to this schedule in Precincts A, B and C. ~~This requirement cannot be varied with a permit.~~ A permit cannot be granted to vary this requirement unless:

- Any increase in height required to accommodate any increase to minimum finished floor levels determined by the relevant drainage authority or floodplain management authority.
- Alterations to or extension of a lawfully existing building if all of the following requirements are met:
 - The existing building has a building height of more than that specified in Column 3 of Table 1 to this schedule.
 - The maximum building height of the existing building is not exceeded.
 - The footprint of the upper storey, existing at the approval date, is not increased by more than 10 per cent.
- Roof top services that do not exceed 10 per cent of the gross floor area of the top storey of the building. Roof top services includes but is not limited to plant rooms, air conditioning, lift overruns, roof top gardens, decks and communal outdoor spaces and their ancillary facilities.
- Architectural features that do not exceed the maximum building height limit by more than 2 metres.

A building should not exceed the maximum building height and the number of storeys specified in Column 3 of Table 1 to this schedule in Precinct D.

Table 1 – Building height requirements

Column 1 Precinct reference	Column 2 Precinct name	Column 3 Maximum building height and number of storeys
A	Precinct A	15 metres, comprising up to 4 storeys
B	Precinct B	15 metres, comprising up to 4 storeys
C	Precinct C	19 metres, comprising up to 5 storeys
D	Precinct D	19 metres, comprising up to 5 storeys

Notes:

In Table 1 :

~~— The precinct references in Column 1 are the areas shown on Map 1 forming part of this Schedule.~~

~~— References to storeys do not include a basement.~~

~~The maximum building height do not apply to:~~

- ~~▪ Any increase in height required to accommodate any increase to minimum finished floor levels determined by the relevant drainage authority or floodplain management authority.~~
- ~~▪ Alterations to or extension of a lawfully existing building if all of the following requirements are met:

 - ~~• The existing building has a building height of more than that specified in Column 3 of Table 1 to this schedule.~~
 - ~~• The maximum building height of the existing building is not exceeded.~~
 - ~~• The footprint of the upper storey, existing at the approval date, is not increased by more than 10 per cent.~~~~
- ~~▪ Roof top services that do not exceed 10 per cent of the gross floor area of the top storey of the building. Roof top services includes but is not limited to plant rooms, air conditioning, lift overruns, roof top gardens, decks and communal outdoor spaces and their ancillary facilities.~~
- ~~▪ Architectural features that do not exceed the maximum building height limit by more than 2 metres.~~

2.4 Street wall height

Buildings should not exceed the preferred street wall height of 9 metres, comprising up to 2 storeys, except where additional height is required to maintain consistency with traditional street wall heights (including parapets) on adjoining buildings and within the streetscape.

2.5 Setbacks

Building setbacks should:

- Be no less than the setbacks illustrated in Diagram 1 to this schedule, in accordance with the interface type applicable to the site, as outlined in Map 2 to this schedule. A greater setback may be required to meet the requirements of this schedule for primary outlook requirements as detailed in 2.11.
- Respond to sensitive interfaces, public open space and key public space as identified on Maps 2, 3 and 4 to this schedule.
- ~~Support the function of designated laneways, as identified in Map 3 to this schedule, and facilitate new and widened laneways and pedestrian connections between buildings to improve permeability where possible. Rear setbacks abutting laneways should facilitate widened accessways of minimum 6 metres width as illustrated in Map 2 and Diagram 1 to this schedule.~~
- Contribute to a consistent street wall that reinforces traditional parapet heights and reduces visual prominence of upper floors.
- Provide clear visual separation between the street wall and upper levels to reinforce a distinct, human-scale street environment with visually recessive upper floors.
- Respond to the role, function and character of side streets, where the site is on a corner.
- Provide for a transition to sensitive interfaces, including heritage sites.
- Establish a continuous built to boundary street edge, except where providing new or extended laneways and pedestrian connections.
- In Precinct A as shown on Map 1 to this schedule:

~~— Ensure that heritage facades remain the visually prominent feature within the streetscape when viewed from ground level.~~

- Minimise the visibility of upper levels when viewed from standing eye level (1.6 metres) at the street frontage directly across the street.

2.6 Building design (general)

Building design should:

- Be of high quality urban design and architecture.
- Incorporate high quality materials, textures and colours that respond to the residential or commercial characteristics of the streetscape, as appropriate.
- Be designed to address front, oblique and side views and make a positive contribution to the streetscape both at street level and when viewed from a distance.
- Provide wide entries that are clearly visible, legible and welcoming from the street. For mixed use development, ground level entries to residential uses should be easily distinguished from commercial uses.
- Provide a unique sense of identity for each building.
- Consolidate and conceal building services (including domestic services, utilities, waste management facilities and substations) within sites and within buildings, and ensure any externally accessible services or substations are integrated into the façade design. Building services along interfaces with active frontages, active laneways and key public spaces as identified in Map 3 to this schedule should be concealed as much as practical.
- Encourage interaction and passive surveillance of the street and public spaces, with windows, balustrades and design features that provide a level of permeability.
- Use a two storey podium with detailing emphasised at ground floor to achieve a human scale with an attractive and active street level experience.
- Where the street proportions and character are strongly defined, respond to those key features (such as setbacks, parapets, cornices, awnings or colonnade heights).
- Reinforce a fine grain development pattern within the street wall levels of buildings. Support the use vertical and horizontal architectural elements and spacings in the podium that match the fine grain development pattern and character of the surrounding buildings in the street.
- Manage building bulk towards sensitive residential interfaces and heritage sites, including a transition in scale from larger buildings to adjacent areas of smaller scale.
- Prioritise the retention of existing street frontages, including restoration or reconstruction of original heritage features, as appropriate.

2.7 Building design to support employment uses

Within the street wall podium of a building, where a non-retail or non-commercial use is proposed, building design should provide for future conversion to support employment uses incorporating:

- ~~— Minimum floor to floor heights of at least 4 metres at ground level and 3.8 metres for the second storey (except where heritage considerations make this impractical).~~
- Floor plan layouts which allow for future consolidation of dwellings or small tenancies into larger tenancies.
- Minimal load bearing walls in opportune locations to facilitate future consolidation and adaptable reuse of buildings.

- Generous foyer **design**, wide building entries and wide hallways appropriate for future commercial uses.

2.8 Active frontages

Development should:

- Provide active frontages at ground floor, with façade detailing in the street wall including windows, entrances, doorways and fenestration that provide street level interest, promote activity at ground level and facilitate passive surveillance of the public space.
- Provide direct pedestrian access to ground floor uses. Ground floor design of buildings should facilitate through-site pedestrian connectivity between streets, shared laneways, pedestrian laneways or public spaces identified in Map 3 to this schedule.
- **Minimise** ~~Avoid~~ blank facades.
- Where abutting a Key Public Space identified in Map 3 to this schedule, provide an inset into the building to facilitate active uses with a strong connection between the building and the outdoors (such as outdoor seating for food and drink premises).
- For Active Frontage Type 1A identified in Map 3 to this schedule:
 - Provide weather protection (fixed cantilevered verandahs) over the footpath on all streets.
 - Provide at least 80% of the building façade at ground level as an entry or window with clear glazing.
 - Avoid vehicle access and crossovers.
- For Active Frontage Type 1B identified in Map 3 to this schedule:
 - Provide weather protection (fixed cantilevered verandahs) over the footpath on all streets.
 - Provide at least 65% of the building façade at ground level as an entry or window with clear glazing. Minimise vehicle access and crossover widths as much as practical.
 - Minimise vehicle access and crossover widths as much as practical.
- For Active Frontage Type 2 identified in Map 3 to this schedule:
 - Provide at least 50% of the building façade at ground level as an entry or window with clear glazing.
 - Minimise vehicle access and crossover widths as much as practical.

2.9 Access and parking

Development should:

- Prioritise high quality streetscapes through considered parking and access design that minimises visual and physical impacts.
- Focus on maintaining active land uses at street level by locating parking structures underground in basements or towards the rear of the building if above ground.
- Avoid vehicle access from primary street frontages. The preferred location for vehicle access is from (in order of priority):
 - Service laneways or shared laneways, as identified in Map 3 to this schedule.
 - Secondary site frontages where the site is on a corner and there is no service laneway or shared laneway for the site nominated on Map 3 to this schedule.
- Minimise access and crossover widths as much as practical.

- Ensure the location of ~~at~~ bicycle parking is secure, convenient and readily accessible.
- Provide resident and visitor entries that are clearly separated from commercial entries, service areas, vehicle accessways and loading zones.

2.10 Overshadowing public open space and public spaces

Buildings must not cast any additional shadow past the shadows cast by existing buildings or hypothetical buildings built to a 9 metre maximum street wall height on an existing or new public open spaces or key public spaces shown as areas A and B in Map 4 to this schedule for the hours and dates specified in Table 3 to this schedule.

Where existing buildings cast a larger shadow, new buildings must not exceed the existing shadow extent.

These requirements cannot be varied with a permit. These requirements do not apply to buildings and works constructed within the open space or key public space.

Buildings should not cast any additional shadow past the shadows cast by existing buildings or hypothetical buildings built to a 9 metre maximum street wall height on footpaths shown as Area C in Map 4 to this schedule for the hours and dates specified in Table 3 to this schedule.

Where existing buildings cast a larger shadow, new buildings should not exceed the existing shadow extent.

Table 3 – Overshadowing requirements

Area on Map 4	Hours and dates
A	11:00am to 2:00pm on 21 June
B	10:00am to 3:00pm on 22 September
C	12:00pm (midday) on 21 June

2.11 Privacy, outlook and overlooking

Development should:

- Notwithstanding the building setbacks outlined in Diagram 1 and Map 2 to this schedule, ensure building design facilitates the primary outlook of all dwellings to be set back no less than 6 metres. In circumstances where the outlook is to an existing development that is unlikely to be redeveloped in the foreseeable future an alternative design response can be applied that addresses privacy and overlooking.
- Prioritise the primary outlook of dwellings to face the front or rear of the development site. Primary outlooks towards side boundaries should be avoided (except for side street or laneway boundaries).
- Avoid views into secluded private open spaces and habitable room windows of dwellings on adjacent land.
- Achieve dwelling privacy through considered building design and separation rather than screening.
- Deliver high quality amenity within buildings having regard to outlook and overlooking.
- Offset direct views between existing or future buildings within the same site or adjoining sites.

2.12 Site consolidation

- Sites should be consolidated where appropriate to deliver an efficient built form and to ensure the visual and amenity impact of larger developments can be managed within the site.
- Site consolidation should contribute to an efficient and orderly lot size distribution, avoiding the retention of narrow unconsolidated lots that cannot achieve desired built form outcomes
- Building design on consolidated sites should continue to respond to the rhythm and pattern of development on the street.
- New laneways should be created on larger consolidated sites where appropriate.

3.0 Subdivision

None specified.

4.0 Signs

None specified.

5.0 Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- ~~An urban design context report.~~
- Three dimensional drawings or photomontages taken from eye level (1.6m), at various locations in the surrounding area that shows the proposed development in context with its surrounds.
- Shadow diagrams to demonstrate compliance with the overshadowing requirements of this schedule.

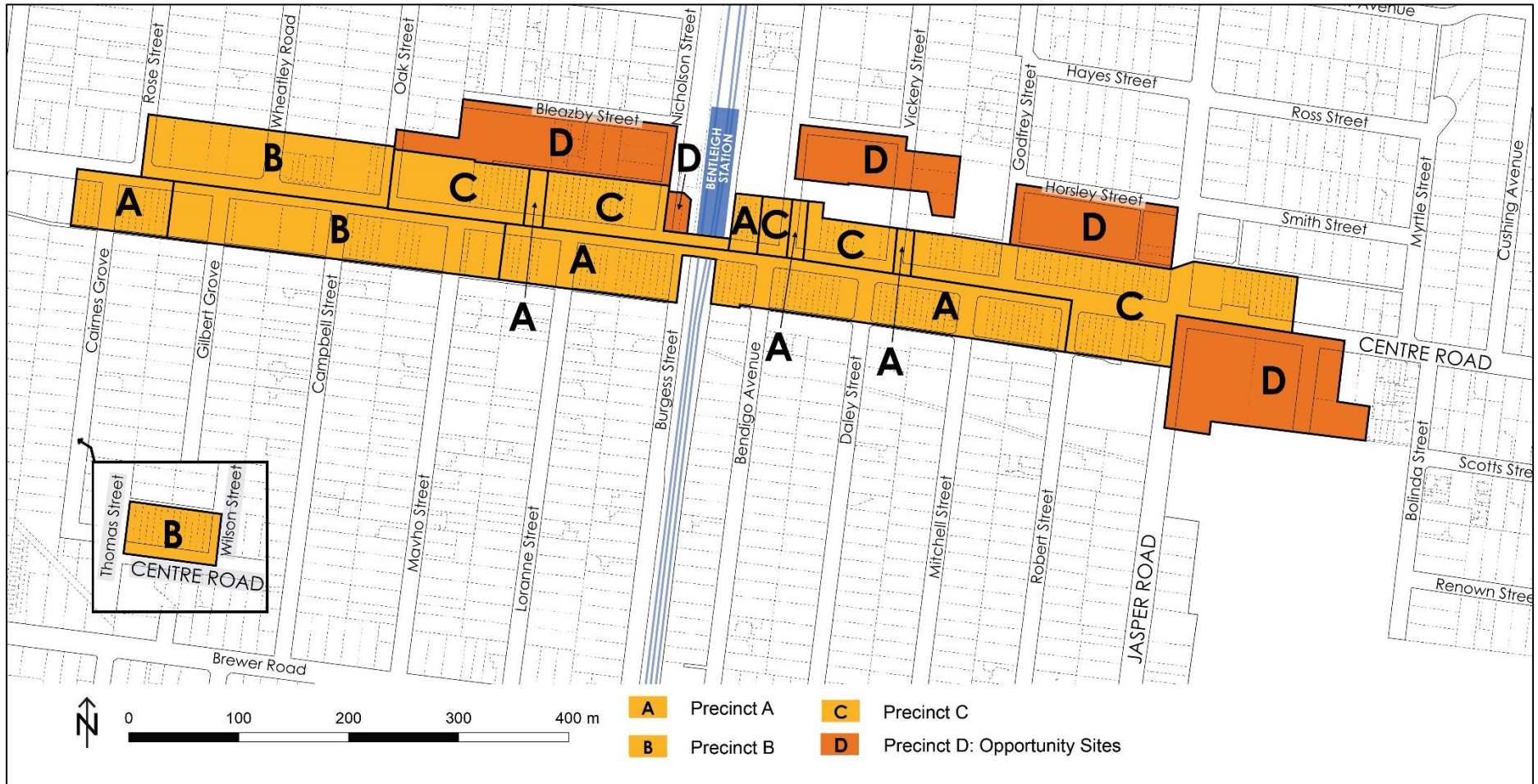
6.0 Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The extent to which proposed buildings respect the preferred scale and form of development as set out in this schedule.
- Whether the design and form of buildings supports the economic, housing and place making role and function of the activity centre.
- Whether the proposal responds to its streetscape context and character.
- Whether building design supports employment uses or facilitates future conversion to employment uses.
- Whether the development demonstrates a high level of urban design and architectural quality and makes a positive contribution to active frontages and public spaces.
- Whether buildings are designed to provide architectural interest from all angles, avoid blank walls and take into account short and long distance views.
- Whether proposed buildings that are adjacent to or opposite a heritage place are respectful of that heritage place.
- Whether privacy, outlook and overlooking are managed through setbacks and considered building design, rather than screening.

- The impact of overshadowing to residential areas and public spaces and the southern footpath of Centre Road.
- Whether the development has responded to active frontages and laneways, and has facilitated delivery of new or widened laneways, as appropriate.
- Whether access and parking prioritises high quality streetscapes.
- Whether site consolidation has occurred in a coordinated manner to deliver efficient built form and lot size outcomes.

Map 1 - Precinct Plan



Map 2 - Interface types for building setbacks



Map 3 – Active frontages and laneways



Map 4 – Open space and other areas requiring shadow protection



Diagram 1 - Preferred setbacks for interface types shown in Map 2

Setback interfaces	
Map 2 Ref.	Interface Diagrams
<p>Interface Type 1</p> <p>Primary frontages</p>	
<p>Interface Type 2A and 2B</p> <p>Secondary /other frontages identified</p>	<div style="display: flex; justify-content: space-around;"> <div style="width: 45%;"> </div> <div style="width: 45%;"> <p style="text-align: center;"><i>Extended Laneway</i></p> </div> </div>
<p>Interface Type 3A and 3B</p> <p>Sensitive interfaces</p>	<div style="display: flex; justify-content: space-around;"> <div style="width: 45%;"> </div> <div style="width: 45%;"> <p style="text-align: center;"><i>Extended Laneway</i></p> </div> </div>
<p>Interface Type 4</p> <p>All side or rear interfaces within Precincts A, B or C and not listed as Interface Type 1, 2 or 3.</p>	<div style="margin-top: 20px;"> <p>NOTE: For all Interface Types, additional setbacks may be required to address:</p> <ul style="list-style-type: none"> • Overshadowing Requirements • Primary Outlook Setback Requirements </div>

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SCHEDULE 9 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO9**.

CARNEGIE ACTIVITY CENTRE

1.0

16/08/2018
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Design objectives

- To support high quality built form outcomes that also complement the fine grain and heritage elements of the streetscape.
- To ~~support~~ ~~create opportunities for~~ growth ~~focussed in~~ identified urban renewal precincts and opportunity sites that support the housing, economic and place making role and function of the activity centre.
- To strengthen ~~the retail and employment function of the activity centre with~~ building design that supports employment uses or facilitates future conversion to employment uses.
- To minimise the amenity impacts on residential dwellings, including overlooking, overshadowing and visual bulk.
- To provide attractive, functional and connected public spaces ~~that respond to the public realm~~ through building design, defined street edges, active frontages, visual interest design elements, quality public open space and public spaces and an expanded laneway network.

2.0

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Buildings and works

The following buildings and works requirements apply to an application to construct a building or construct or carry out works.

2.1

Buildings and works for which no permit is required

A permit is not required to construct a building or construct or carry out works for:

- The installation of an automatic teller machine.
- An alteration to an existing building façade provided:
 - The alteration does not include the installation of an external roller shutter.
 - At least 80 per cent of the building facade at ground floor level is maintained as an entry or window with clear glazing.
- An awning that projects over a road if it is authorised by the relevant public land manager.
- ~~Alterations and additions~~ ~~Extension to~~ of a single dwelling on a lot ~~or buildings and works ancillary to a single dwelling on a lot.~~

2.2

Definitions

For the purpose of this schedule:

Laneway means an existing or potential future laneway identified in Map 3 to this schedule.

Pedestrian laneway means an existing or proposed laneway with active frontages that supports a high level of pedestrian activity (no vehicle access or loading facilities).

Primary outlook means the primary view angle from the main internal living area and secluded private open space (SPOS) of a dwelling. Where there are multiple living areas and SPOS, the primary outlook is associated with the primary living area. Where a primary

living area or SPOS faces multiple boundaries, the primary outlook is the main direction where indoor and outdoor living areas are connected (such as the primary living area and a balcony). For the purpose of this clause, each dwelling is considered to have only one primary outlook.

Service laneway means an existing or proposed laneway that generally serves as vehicular access to the side or rear of buildings to support parking, loading facilities, services and utilities. Service laneways generally do not have active frontages and include any laneway that is not nominated as a Shared laneway or Pedestrian laneway.

Shared laneway means an existing or proposed laneway with active frontages that supports a high level of pedestrian activity and is shared with vehicle access or loading facilities where practical.

Street wall means that part of a building constructed within 0.3 metre of an existing or proposed street, laneway or public open space. The street wall is otherwise known as the 'podium' element of a taller building.

Street wall height means a height measured from the footpath or natural ground level at the centre of the relevant site frontage to the top of the street wall. It includes parapets.

Upper levels means the part of the building above the prescribed street wall. The upper levels are otherwise known as the 'tower' element of a taller building.

2.3 Building height and number of storeys

A building must not exceed the maximum building height and the number of storeys specified in Column 3 of Table 1 to this schedule in Precincts A, B and C. ~~This requirement cannot be varied with a permit.~~ A permit cannot be granted to vary this requirement unless::

- Any increase in height required to accommodate any increase to minimum finished floor levels determined by the relevant drainage authority or floodplain management authority.
- Alterations to or extension of a lawfully existing building if all of the following requirements are met:
 - The existing building has a building height of more than that specified in Table 1 to this schedule.
 - The maximum building height of the existing building is not exceeded.
 - The footprint of the upper storey, existing at the approval date, is not increased by more than 10 per cent.
- Roof top services that do not exceed 10 per cent of the gross floor area of the top storey of the building. Roof top services includes but is not limited to plant rooms, air conditioning, lift overruns, roof top gardens, decks and communal outdoor spaces and their ancillary facilities.
- Architectural features that do not exceed the building's height by more than 2 metres.

A building should not exceed the maximum building height and the number of storeys specified in Column 3 of Table 1 to this schedule in Precincts D, E and F.

Table 1 – Building height requirements

Column 1 Precinct reference	Column 2 Precinct name	Column 3 Maximum building height and number of storeys
A	Precinct A	15 metres, comprising up to 4 storeys
B	Precinct B	15 metres, comprising up to 4 storeys
C	Precinct C	19 metres, comprising up to 5 storeys

D	Precinct D	30 metres, comprising up to 8 storeys
E	Precinct E	30 metres, comprising up to 8 storeys
F	Precinct F	44 metres, comprising up to 12 storeys

Notes:

In Table 1:

~~The precinct references in Column 1 of Table 1 are the areas shown on Map 1 forming part of this Schedule.~~

~~References to storeys do not include a basement.~~

The maximum building height requirements do not apply to:

- ~~Any increase in height required to accommodate any increase to minimum finished floor levels determined by the relevant drainage authority or floodplain management authority.~~
- ~~Alterations to or extension of a lawfully existing building if all of the following requirements are met:

 - ~~The existing building has a building height of more than that specified in Table 1 to this schedule.~~
 - ~~The maximum building height of the existing building is not exceeded.~~
 - ~~The footprint of the upper storey, existing at the approval date, is not increased by more than 10 per cent.~~~~
- ~~Roof top services that do not exceed 10 per cent of the gross floor area of the top storey of the building. Roof top services includes but is not limited to plant rooms, air conditioning, lift overruns, roof top gardens, decks and communal outdoor spaces and their ancillary facilities.~~
- ~~Architectural features that do not exceed the building's height by more than 2 metres.~~

2.4 Street wall height

Buildings should not exceed the preferred street wall height and the number of storeys specified in Column 3 of Table 2 to this schedule, except where additional height is required to maintain consistency with existing street wall heights (including parapets) on adjoining buildings.

Table 2 – Preferred street wall heights

Column 1	Column 2	Column 3
Precinct reference	Precinct name	Preferred street wall height and number of storeys
A	Precinct A	9 metres, comprising up to 2 storeys
B	Precinct B	9 metres, comprising up to 2 storeys
C	Precinct C	9 metres, comprising up to 2 storeys
D	Precinct D	13 metres, comprising up to 3 storeys
E	Precinct E	13 metres, comprising up to 3 storeys
F	Precinct F	Dandenong Road: 17 metres, comprising up to 4 storeys All other roads: 13 metres, comprising up to 3 storeys

Note: The precinct references in Column 1 of Table 2 are the areas shown on Map 1 forming part of this Schedule.

2.5 Setbacks

2.5-1 Setbacks - all precincts

Building setbacks should:

- Be no less than the setbacks illustrated in Diagram 1 to this schedule, in accordance with the interface type applicable to the site, as outlined in Map 2 to this schedule. A greater setback may be required to meet the requirements of this schedule for primary outlook requirements as detailed in 2.11.
- Respond to sensitive interfaces, public open space and key public spaces as shown on Maps 2, 3 and 4 to this schedule.
- ~~Support the function of designated laneways, as identified in Map 3 to this schedule, and facilitate new and widened laneways and pedestrian connections between buildings to improve permeability where possible. Rear setbacks abutting laneways should facilitate widened accessways of minimum 6 metres width, as illustrated in Map 2 and Diagram 1 to this schedule.~~

2.5-2 Setbacks – Precincts A, B and C

In Precincts A, B and C shown on Map 1 to this schedule, building setbacks should:

- Contribute to a consistent two storey street wall that reinforces traditional parapet heights and reduces visual prominence of upper floors.
- Provide clear visual separation between the streetwall and upper levels to reinforce a distinct, human-scale street environment with visually recessive upper floors.
- Respond to the role, function and character of side streets, where the site is on a corner.
- Provide for a transition to sensitive interfaces, including heritage sites.
- In Precinct A:
 - Ensure that heritage facades and fine grain built form remain the visually prominent feature within the streetscape when viewed from ground level.
 - Minimise the visibility of upper levels when viewed from standing eye level (1.6 metres) at the street frontage directly across the street.

2.5-3 Setbacks – Precincts D , E and F

In Precincts D, E and F shown on Map 1 to this schedule, building setbacks should:

- At streetwall (podium) level:
 - Contribute to a contemporary urban character with a consistent street edge and street wall height (four storeys on Dandenong Road and three storeys along all other roads).
 - On Dandenong Road, provide a transitional street wall height adjacent to the Rosstown Hotel site that respects the scale and character of the heritage building.
 - Establish a continuous built-to-boundary street edge, except where providing new or extended laneways and pedestrian connections.
- At upper levels (towers):
 - Provide clear visual distinction to the streetwall (podium) level.
 - Provide adequate separation between towers to:
 - Facilitate a high level of internal amenity for existing and future occupants of the development and adjacent towers.

- Achieve privacy by setbacks and building design, rather than screening.
- Allow for views to the sky and ensure tall buildings do not appear as a continuous wall when viewed from the street level.
- Contribute to a varied and architecturally interesting skyline.
- Provide significant separation of tower forms from sensitive interfaces including heritage sites, minimising visual bulk and avoiding overshadowing and overlooking.

2.6 Building design (general)

Building design should:

- Be of high quality urban design and architecture.
- Incorporate high quality materials, textures, and colours, with design features that respond to the existing characteristics of the streetscape, as appropriate.
- Be designed to address front, oblique and side views and provide visual interest at short and long range. In taller buildings, contribute to a varied and visually interesting skyline.
- Provide wide building entries that are clearly visible, legible and welcoming from the street. For mixed use development, ground level entries to residential uses should be easily distinguished from commercial uses.
- Provide a unique sense of identity for each building.
- Consolidate and conceal building services (including domestic services, utilities, waste management facilities, and substations) within sites and within buildings, and ensure any externally accessible services or substations are integrated into the façade design. Building services along interfaces with active frontages, active laneways and key public spaces as identified in Map 3 to this schedule should be concealed as much as practical.
- Encourage interaction and passive surveillance of the street and public spaces, with windows, balustrades and design features that provide a level of permeability.
- Incorporate a podium and tower form with detailing emphasised at ground floor to achieve a human scale with an active street level experience.
- Consolidate upper setbacks to avoid a visible tiered form.
- Where the street proportions and character are strongly defined, respond to those key features (such as setbacks, parapets, cornices, awnings or colonnade heights).
- Manage building bulk towards sensitive residential interfaces and heritage sites, including a transition in scale from larger buildings to adjacent areas of smaller scale.
- Reinforce a fine grain development pattern within the street wall levels of buildings. Support the use of vertical and horizontal architectural elements and spacings in the podium that match the fine grain development pattern and character of the surrounding buildings in the street.
- In Precincts A, B and C shown on Map 1 to this schedule, prioritise the retention of existing street frontages, including restoration or reconstruction of original heritage features, as appropriate.
- In Precincts D, E and F shown on Map 1 to this schedule:
 - Support a range of employment, residential and community spaces.
 - Demonstrate a positive contribution to public spaces.

- In Precincts E and F shown on Map 1 to this schedule, contribute to an integrated urban renewal precinct that accommodates employment and housing growth and contributes to high quality public spaces and walkability.

2.7 Building design to support employment uses

Within the street wall podium of a building, where a non-retail or non-commercial use is proposed, building design should provide for future conversion to support employment uses incorporating:

- ~~Minimum floor to floor heights of at least 4 metres at ground level, and at least 3.8 metres for all other levels within the preferred street wall height for the precinct as outlined in Table 2 to this schedule (except where heritage considerations make this impractical).~~
- Floor plan layouts allowing for future consolidation of dwellings or small tenancies into larger tenancies.
- Minimal load bearing walls in opportune locations to facilitate future consolidation and adaptable reuse of buildings.
- Wide building entries, generous foyers and wide hallways appropriate for future commercial uses.

2.8 Active frontages

Development should:

- Provide active frontages at ground floor, with façade detailing in the street wall including windows, entrances, doorways and fenestration that provide street level interest, lighting, promote activity at ground level and facilitate passive surveillance of public spaces.
- Provide direct pedestrian access to ground floor uses. Ground floor design of buildings should facilitate through-site pedestrian connectivity between streets, shared laneways, pedestrian laneways and public spaces identified in Map 3 to this schedule.
- Avoid blank facades.
- Where abutting a Key Public Space identified in Map 3 to this schedule, provide an inset to facilitate active uses with a strong connection between the building and the outdoors (such as outdoor seating for food and drink premises).
- For Active Frontage Type 1A identified in Map 3 to this schedule:
 - Provide weather protection (fixed cantilevered verandahs) over the footpath on all streets.
 - Provide at least 80% of the building façade at ground level as an entry or window with clear glazing.
 - Avoid vehicle access and crossovers.
- For Active Frontage Type 1B identified in Map 3 to this schedule:
 - Provide weather protection (fixed cantilevered verandahs) over the footpath on all streets.
 - Provide at least 65% of the building façade at ground level as an entry or window with clear glazing.
 - Minimise vehicle access and crossover widths as much as practical.
- For Active Frontage Type 2 identified in Map 3 to this schedule:
 - Provide at least 50% of the building façade at ground level as an entry or window with clear glazing.
 - Minimise vehicle access and crossover widths as much as practical.

2.9 Access and parking

Development should:

- Prioritise high quality streetscapes through considered parking and access design that minimises visual and physical impacts.
- Focus on maintaining active land uses at street level by locating parking structures underground in basements or towards the rear of the building if above ground.
- Avoid vehicle access from primary street frontages. The preferred location for vehicle access is from (in order of priority):
 - Service laneways or shared laneways, as identified in Map 3 to this schedule.
 - Secondary site frontages where the site is on a corner and there is no service laneway or shared laneway for the site nominated on Map 3 to this schedule.
- Minimise access and crossover widths as much as practical.
- Ensure that bicycle parking is secure, convenient and readily accessible.
- Provide resident and visitor entries that are clearly separated from service areas, vehicle accessways and loading zones.

2.10 Overshadowing

2.10-1 Overshadowing public open space and public spaces

Buildings must not cast any additional shadow past the shadows cast by existing buildings or hypothetical buildings built to the maximum street wall height permitted in the precinct (as identified in Table 2 and Map 1 to this schedule) over existing or new public open spaces or key public spaces shown as Areas A and B on Map 4 to this schedule for the hours and dates specified in Table 3 to this schedule.

In determining the shadow cast by the maximum street wall height, each storey permitted to be built at the street boundary specified in Table 2 to this schedule shall be calculated as 4 metres in height. Where existing buildings cast a larger shadow, new buildings must not exceed the existing shadow extent.

These requirements cannot be varied with a permit. These requirements do not apply to buildings and works constructed within the public open space or key public space.

2.10-2 Overshadowing residential areas

Buildings should not overshadow residential areas on the areas shown as Area C on Map 4 to this schedule, above the shadows cast by existing development and structures, for the hours and days specified in Table 3 to this schedule.

Table 3 – Overshadowing requirements

Area on Map 4	Hours and dates
A	11:00am to 2:00pm on 21 June
B	10:00am to 3:00pm on 22 September
C	9:00am to 3:00pm on 22 September

2.11 Privacy, outlook and overlooking

Development should:

- Notwithstanding the building setbacks outlined in Diagram 1 and Map 2 to this schedule, ensure building design facilitates the primary outlook of all dwellings

to be set back from the side or rear boundary to be no less than 6 metres. In circumstances where the outlook is to an existing development that is unlikely to be redeveloped in the foreseeable future an alternative design response can be applied that addresses privacy and overlooking.

- Prioritise the primary outlook of dwellings to face the front or rear of the development site. Primary outlooks towards side boundaries should be avoided (except for side street or laneway boundaries).
- Avoid views into secluded private open spaces and habitable room windows of dwellings on adjacent land.
- Achieve dwelling privacy through considered building design and separation rather than screening.
- Deliver high quality amenity within buildings having regard to outlook and overlooking.
- Offset direct views between existing or future buildings within the same site or adjoining sites.

2.12 Site consolidation

- Sites should be consolidated where appropriate to deliver an efficient built form and to ensure the visual and amenity impact of larger developments can be managed within the site.
- Site consolidation should contribute to an efficient and orderly lot size distribution, avoiding the retention of narrow unconsolidated lots that cannot achieve desired built form outcomes.
- Building design on consolidated sites should continue to respond to the rhythm and pattern of development on the street.
- New laneways should be created on larger consolidated sites where appropriate.

3.0 Subdivision

16/08/2018
C157

None specified

4.0 Signs

16/08/2018
C157

None specified.

5.0 Application requirements

DD/MM/YYYY
Proposed
C184glen

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- ~~An urban design context report.~~
- Three dimensional drawings or photomontages taken from eye level (1.6m), at various locations in the surrounding area that shows the proposed development in context with its surrounds.
- Shadow diagrams to demonstrate compliance with the overshadowing requirements of this schedule.

6.0 Decision guidelines

16/08/2018
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C184glen

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

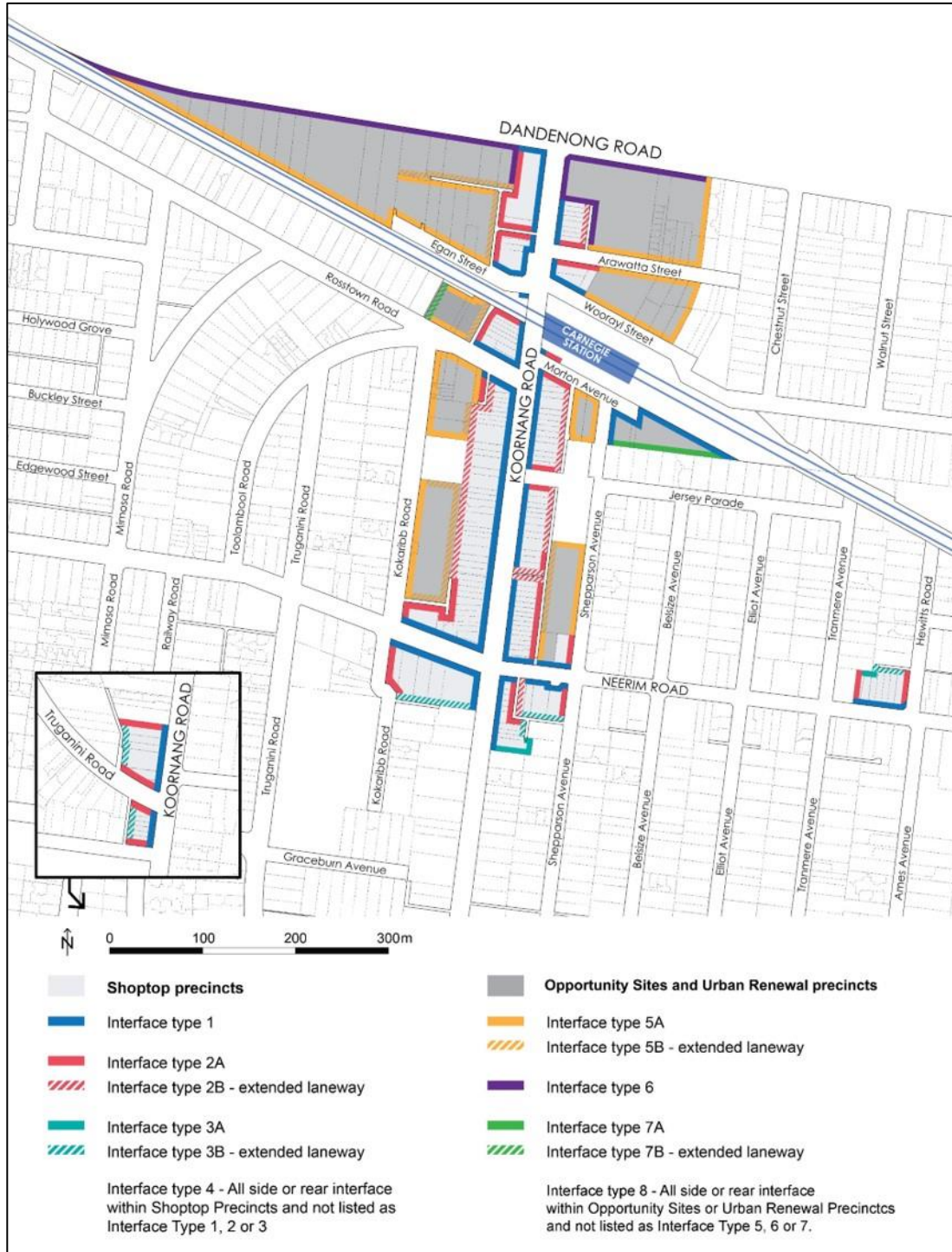
- The extent to which proposed buildings respect the preferred scale and form of development as set out in this schedule.

- Whether the design and form of buildings supports the economic, housing and place making role and function of the activity centre.
- Whether the proposal responds to its streetscape context and character.
- Whether building design supports employment uses or facilitates future conversion to employment uses.
- Whether development demonstrates a high level of urban design and architectural quality and makes a positive contribution to active frontages and public spaces.
- Whether buildings are designed to provide architectural interest from all angles, avoid blank walls and take into account its visual impact from short and long distance views.
- Whether proposed buildings that are adjacent to or opposite a heritage place are respectful of that heritage place.
- Whether privacy, outlook and overlooking are managed through setbacks and considered building design, rather than screening.
- The impact of overshadowing to public open spaces, public spaces and residential areas.
- Whether the development has responded to active frontages and laneways and has facilitated delivery of new or widened laneways, as appropriate.
- Whether access and parking are safe and prioritises high quality streetscapes.
- Whether site consolidation has occurred in a coordinated manner to deliver efficient built form and lot size outcomes.
- Whether any development in Precinct D, E or F that exceeds the maximum building height specified in Table 1 appropriately manages the amenity of sensitive interfaces as a result of additional height.
- Demonstrates architectural design excellence and supports an appropriate built form for the Carnegie Activity Centre.

Map 1 - Precinct Plan



Map 2 - Interface types for building setbacks



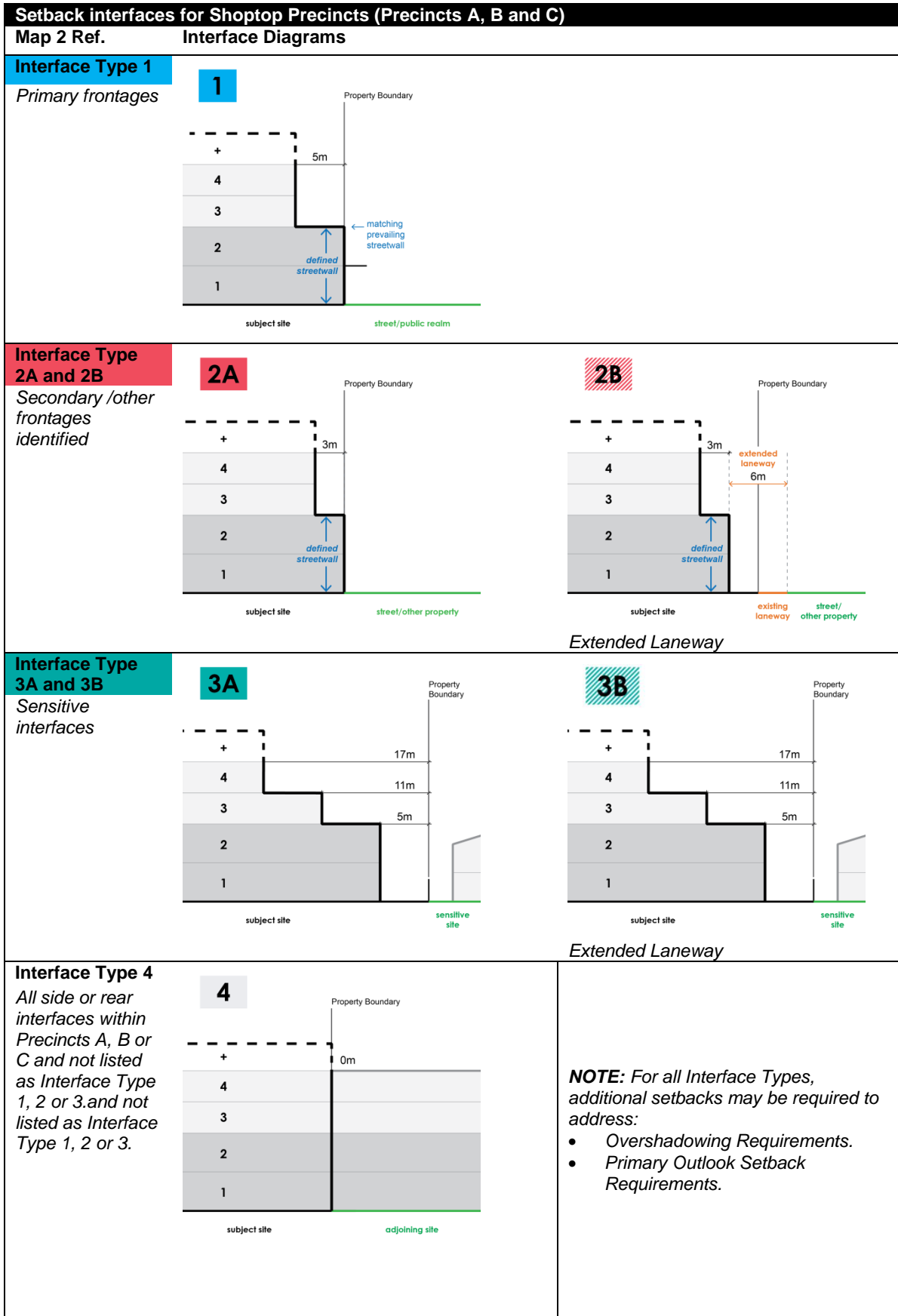
Map 3 - Active frontages and laneways



Map 4 - Open Space and other areas requiring shadow protection



Diagram 1 - Preferred setbacks for interface types shown in Map 2

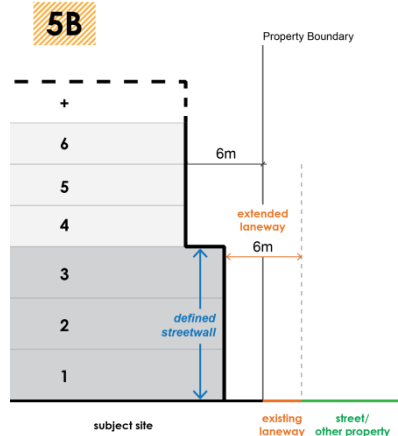
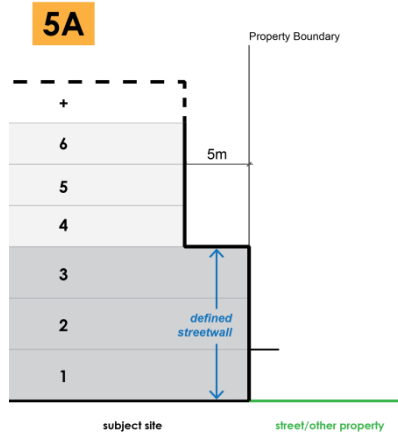


Setback interfaces for Opportunity Sites and Urban Renewal Precincts (Precincts D, E and F)

Map 2 Ref. Interface Diagrams

Interface Type 5

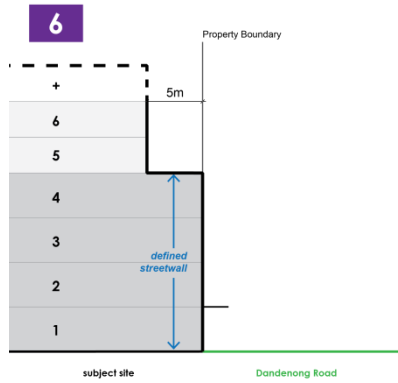
Frontages except Dandenong Road



Extended Laneway

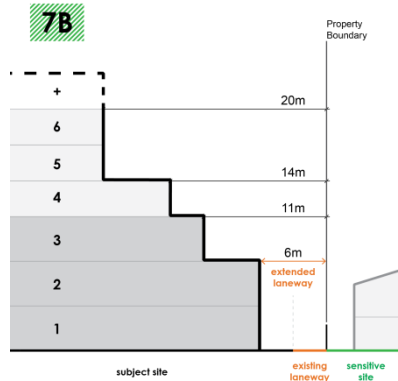
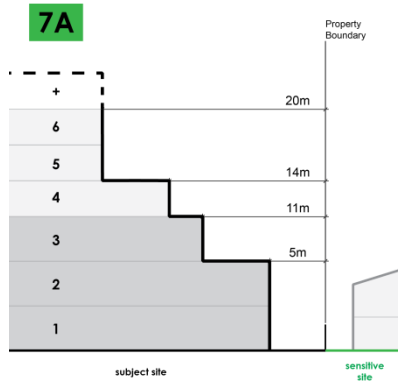
Interface Type 6

Dandenong Road frontage



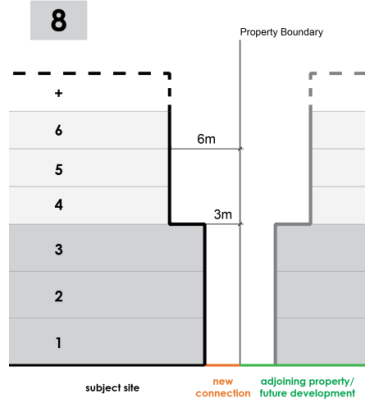
Interface Type 7

Sensitive interfaces



Extended Laneway

Interface Type 8



NOTE: For all Interface Types, additional setbacks may be required to address:

- Overshadowing Requirements.
- Primary Outlook Setback Requirements.