



plānī'sphēre

Glen Eira Neighbourhood Character Review 2006 (2014 Update)

FINAL REPORT

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Introduction

The Glen Eira Neighbourhood Character Review was commenced in December, 2005, to study in detail the 15 Significant Character Areas (SCAs) that are currently nominated in the Glen Eira Planning Scheme.

The project was completed in 2006 and a Final Report prepared, accompanied by a Practice Guide. The Practice Guide included information about the current SCAs and detailed guidance on the design of new dwellings or extensions.

Council adopted the study in 2007 and resolved to seek implementation by way of changes to Local Policy only, without the application of additional Overlay controls. Amendment C56 was placed on exhibition from July to August 2007. A Panel Hearing was held in January 2008. One of the key Panel recommendations was that the findings of the study be implemented through the introduction of Overlay controls. Council carried out a Planning Scheme Review in 2010. The most significant issue raised by the public during the Review process was the need to control development in SCAs in order to better protect neighbourhood character.

In 2010 Council commissioned an update of the Review as a preliminary step towards the introduction of new Overlay controls and changes to Local Policy to implement its findings. The previously identified Significant Character Areas were re-examined and modified for inclusion in the Neighbourhood Character Overlay.

The aim of the Review was to assess the level of significance of each previously identified Significant Character Area (SCA) relative to other residential areas in the municipality, in order to determine the potential threats to their neighbourhood character significance and to investigate the options available to manage their future development. During the course of the project, a number of additional residential streets were identified as having a potentially significant neighbourhood character. As a result, the project brief was amended to include detailed investigation of these additional streets.

Executive Summary

The 2006 Neighbourhood Character Review commenced with a framework survey to provide an updated context of all residential areas within the City of Glen Eira. A detailed street-by-street survey was then undertaken of the 15 existing SCAs currently listed in the Planning Scheme, as well as additional streets that showed potentially significant neighbourhood character attributes.

The 2011 Updated Neighbourhood Character Review examined the outcomes of the previous Review in detail. Updated recommendations have been made for all existing SCAs and other areas identified with significant character, in view of their level of significance, the perceived threats to their character and the suitability of current planning controls.

A Neighbourhood Character Management Plan proposes options for statutory implementation of the Review. These include updating the existing Local Policy in light of the detailed findings from this Review and the implementation of statutory controls for a selected number of areas with significant neighbourhood character.

In 2012, Council prepared and exhibited Amendment C87 to implement the findings of this study and introduce Neighbourhood Character Overlay Schedules and Design and Development Overlay Schedules to the Planning Scheme, with the inclusion of this report as a Reference Document. A Panel Hearing was held in June 2012 and the Minister approved the amendment on 31 January 2013. Several minor changes were recommended following the Panel hearing, to include two additional streets within the protected areas. Amendment C107 was prepared and exhibited in 2014 to consider the inclusion of these streets, and a Panel Hearing held in September, 2014.



Brief and Methodology

1.1. Study brief

The Neighbourhood Character Review responds to Council's Minimal Change Area Policy (Clause 22.08 of the Planning Scheme) that has identified areas of significant residential character for further study.

The initial brief for the project had the following main tasks:

- Determine the level of the significance of each SCA, relative to other residential areas within the municipality (and from the broader context of metropolitan Melbourne).
- Establish the extent of each SCA and investigate whether other areas within the municipality could also warrant designation as SCAs.
- For each SCA, document the contributory neighbourhood character elements, establish their level of significance and describe a preferred future character.
- Assess the threats and opportunities of each SCA, review existing planning policy and recommend appropriate implementation options.
- Develop a Practice Guide for use by Council staff, the development industry and the public to provide information about the SCAs and guidance on appropriate approaches to development within these areas.

The updated 2010-2011 project brief included the following main tasks:

- Review the significance of previously identified SCAs.
- Assess the recent threats and opportunities within each area.
- Review proposed planning policy and update previously recommended implementation options in light of Panel findings (C56).
- Update the Final Report and associated documents.

1.1.1. Study Area

The study area comprises all 'minimal change' areas within the municipality.

However, in order to establish the degree of significance in each area with significant neighbourhood character, a comparative analysis against all residential areas within the municipality, and the wider metropolitan context, was undertaken. The initial stage of the project therefore included a survey of all residential areas in Glen Eira so that an understanding of the relationship between the Minimal Change Areas, Housing Diversity Areas and Heritage Overlay areas could be gained.

1.2. Methodology

The level of significance for each area with significant neighbourhood character was undertaken by way of two surveys - a framework survey of the entire municipality and then a detailed survey of all SCAs - and subsequent comparative analysis. The methodology and results of the surveys are detailed in [Appendix B](#).

1.2.1. Framework Survey

The Neighbourhood Character Review commenced with a framework survey to provide an updated context of residential areas within the City of Glen Eira.

The methodology for the framework survey included a windshield survey of random residential streets throughout the entire municipality with detailed photographic records taken. Broad neighbourhood character types were identified, based on the general attributes of private and public realms, such as the building form and layout, overall streetscape qualities, vegetation and landscape quality and the era of development.

A preliminary survey and assessment was also undertaken of the fifteen SCAs listed in the Minimal Change Area Policy of the Glen Eira Planning Scheme (Clause 22.08), as well as potential areas of significant neighbourhood character recommended by Council.

Areas where the neighbourhood character appeared to show particularly distinctive qualities and/or a high degree of consistency were noted for further investigation. Contributory elements to these areas were noted, as well as possible threats to their character that were confirmed and detailed in later stages of the project.

1.2.2. Detailed Survey

A detailed street-by-street survey was undertaken of the 15 SCAs listed in the Planning Scheme, as well as an additional twenty-two streets that showed potentially significant neighbourhood character attributes.

The survey recorded each neighbourhood character element within both the private and public realms, such as building type and height, setbacks, vegetation, street width etc. A description of each area was drawn from this information, indicating the elements that contribute most strongly to the neighbourhood character.

1.2.3. Assessment of Significance

The level of significance for each area was determined through comparative analysis against:

- The broad neighbourhood character attributes of all minimal change areas identified in framework survey.
- Other areas of neighbourhood character significance.
- The type and era of development represented in Heritage Overlay areas.
- Typical residential character within the context of metropolitan Melbourne, based on Planisphere's knowledge from other character studies.

From this comparison, it was possible to determine the level of significance and hence the level of planning control required for each area.

For each nominated area of neighbourhood character significance, it was necessary to demonstrate that the area:

- Is exemplary, rare or atypical within the context of surrounding residential neighbourhoods.
- Strongly retains the character of the original or early era(s) of development.
- Shows particular consistency in terms of building siting and design or landscape quality.
- Is under threat from future development.



Background

2.1. What is neighbourhood character?

2.1.1. Defining Neighbourhood Character

The concept of neighbourhood character has been explored and defined in various panel reports and State government publications, including the current DPCD practice note *Understanding Neighbourhood Character*.

The following definition of neighbourhood character, used by a former Department of Infrastructure working party into neighbourhood character that met in late 1999, seems to synthesise most effectively the range of interpretations that have been offered over the years. It forms the basis of the work undertaken in this Neighbourhood Character Review:

Neighbourhood character is the qualitative interplay of built form, vegetation and topographic characteristics, in both the private and public domains, that make one place different from another.

This definition encompasses the physical attributes of an area - its layout and form and the way that the buildings interact with and relate to the landscape. Built form, vegetation and topographical characteristics are the physical manifestation of neighbourhood character addressed in the VPPs.

While it is possible to describe the other factors that make up an area, such as its culture, economy or level of activity, in this study we are examining how neighbourhood character is reflected in the VPP tools. In particular, this review seeks to identify and protect consistent streetscapes that have a high number of contributory buildings.

The differentiation between character types will include consideration of architectural style and era of development. However, the concept of neighbourhood character is broader than this and should be about recognising the distinctive characteristics of different urban forms, and their relationship to topography and vegetation. Additionally, discussion of neighbourhood character should not address dwelling density or the amenity of adjoining properties. While amenity standards may sometimes impact upon the form and siting of buildings, they apply equally across most residential areas and as a general principle should be treated as a separate issue to neighbourhood character.

The term 'qualitative interplay' (coined by the 1998 Advisory Committee report on the City of Monash neighbourhood character 'local variations' amendment), refers to the way that the main distinctive components of an area's character combine to produce a particular sense of place. This concept carries important implications:

- Surveying all characteristics, then listing the 'key' characteristics, is a useful analytical tool. However, a written statement that explains the interplay of the character components is necessary to properly describe, assess and evaluate the character of a particular area.
- Character statements must be skilfully written to describe the synthesis of qualities that make one area distinct from another. They should make clear which characteristics are most important, and the manner in which they relate to each other.
- The term 'qualitative interplay' transcends the distinction between 'private and public domains'.

Therefore, in summary, neighbourhood character is a synthesis of consistent public and private domain characteristics, as listed in the provisions of Clauses 54 and 55 of the Planning Scheme (ResCode). It is the qualitative interplay between those characteristics that make a place, town or neighbourhood distinctive. Some of these characteristics are more important than others in creating a distinctive character.

2.1.2. How Does Neighbourhood Character Differ From Heritage?

Character and heritage share many attributes, however there are important differences between the two concepts.

The basis of neighbourhood character is that every place has character, regardless of its age or appearance. However, some areas may be considered to have a more significant character than others. There are no set criteria for assessing the significance of neighbourhood character. Community feedback is an important means by which the value of character can be understood and community values are a key justification for its protection. In some areas, policies to improve or transform character may be appropriate.

While all areas have a history or heritage, actual heritage significance is determined by assessment against statutory criteria. These criteria are set out in the Burra Charter and embodied in legislation. Heritage studies designate levels of significance for sites or precincts by assessment against these criteria and by way of comparison with other heritage places.

As previously noted, character studies principally evaluate the interplay of built form, vegetation and topographical qualities, with reference to the style and age of buildings where relevant. Heritage studies evaluate *cultural heritage significance*. This may include some reference to built form, vegetation and topographical qualities, however, it is more concerned with understanding how a particular place represents the history and evolution of an area and the people who have lived there or activities that have taken place.

2.2. Neighbourhood Character in Glen Eira

2.2.1. Outline of Glen Eira's Urban Development

Glen Eira is a diverse municipality retaining substantial evidence of growth from all of Melbourne's major development phases.

Whilst its road grid and expansive public open spaces have their origins in the pastoral era, its homes demonstrate the excitement of the Land Boom, over a century ago, the eclecticism of the inter war period home builders and the comparatively recent demise of the land of the market gardeners. Caulfield is important, also, as a tramway suburb, demonstrating the impact of the Prahran and Malvern Tramways Trust and its successor, the Melbourne and Metropolitan Tramways Board, on the suburban expansion of the metropolis during their periods of ascendancy.

This expansion is also witnessed in Glen Eira as a series of "waves", the first imparting a Victorian Flavour to the municipality's north-was followed by a second wave, "washing" over the first and sweeping further afield during the post Federation years. They were followed by a "tidal Wave" after the Great War covering all of the former municipality of Caulfield and infiltrating the western end of Moorabbin's north ward. Finally East Bentleigh yielded top the same wave in comparatively recent times.

Source: Andrew Ward and Associates, Glen Eira Heritage Management Plan, 1996, Volume 1, page 11.

2.2.2. Urban Character Study, Cunningham and Keddie, 1996

The Neighbourhood Character Review builds upon work undertaken in the 'Urban Character Study for the City of Glen Eira' (A. Cunningham and A. Keddie, 1996).

This Urban Character Study sought to identify 'areas of urban character worthy of protection and retention, enhancement or change'. The study divides the municipality into 17 neighbourhoods, which are generally based on the extent of each suburb and bounded by major roads. For each area, data was collected relating to:

- Social and demographic characteristics
- Physical characteristics (land use, built form, etc)
- Community perception
- Landscape characteristics.

Some key recommendations of the study are:

- To develop neighbourhood development strategies
- To develop housing strategies for the neighbourhoods
- To develop urban design briefs for major development sites
- To explore transit oriented development opportunities
- Streetscape improvements.

The character study has a focus integrating transportation and housing, and in particular the clustering of new residential development around existing public transport infrastructure.

In terms of neighbourhood character, the study is more of a detailed inventory of existing conditions, rather than an investigation into how different parts of the municipality could evolve in the future.

The study does however provide the background research and data from which Glen Eira's current hierarchy of housing areas is derived.

2.2.3. Glen Eira Housing and Residential Development Strategy, 2000

The Housing and Residential Strategy was commenced in 2000. The issue of neighbourhood character formed part of the background research conducted for this strategy. The recommendations of the strategy included the need for future strategic work to implement the neighbourhood character aspirations of the municipality.

As a result of the strategy, Glen Eira City Council has established two broad approaches to housing policy in the municipality. This distinguishes between the 'housing diversity areas', which are to be the focus for new housing and activity, and the remainder of the municipality which is designated as the 'minimal change area'.

Housing Diversity Areas include Major Activity Centres (Urban Villages) and Neighbourhood and Local Activity Centres, selected main roads and public transport routes. The majority of new housing will be focussed in these areas and they will experience a greater degree of change as a result.

Within the minimal change areas, the existing pattern of generally less intense development will remain. These areas will not see marked changes to their current neighbourhood character in the future.

The recommendations of the strategy were included in the Planning Scheme by way of Amendment C25 (2004) which introduced two new policies, The Minimal Change Area Policy and the Housing Diversity Area Policy.

2.2.3.1. Minimal Change Area Policy

The Minimal Change Area Policy (Clause 22.08) includes broad descriptions of the municipality's neighbourhood character, and development pressures and threats to this character. It also lists the key characteristics of the minimal change areas within each suburb. These descriptions were based on the findings of the 1996 Urban Character Study. For these areas, the Policy states that the prevailing neighbourhood character is also the preferred character.

2.2.3.2. Significant Character Areas

The Glen Eira Planning Scheme (Clause 22.08-3.5) has designated 15 SCAs within the minimal change area that exhibit a particular quality in terms of their neighbourhood character, setting them apart from surrounding residential areas. Detailed comparative analysis of the significance of these areas and additional planning controls required has been the starting point of this study.

2.2.4. Neighbourhood Character Review, 2006

The Neighbourhood Character Review was the next step in the implementation of neighbourhood character objectives for the municipality.

As noted in Section 1, the aim of the initial Review was to provide detailed research on the level of significance of the 15 SCAs and to update the information about their context, which relates to all other minimal change areas in the municipality.

2.2.5. Amendment C56, 2008

Following the completion of the review, Council undertook Amendment C56 to implement Option 2. The Amendment sought to update Clause 22.08 Minimal Change Area Policy, insert Clause 22.11 Significant Character Area Policy and include the Practice Guide as a reference document. It did not propose to modify the existing SCAs, include additional SCAs or apply additional Overlay controls.

The amendment was placed on exhibition from July to August 2007 and 23 submissions were received. One supported the amendment, sixteen were supportive but requested increased controls, and six objected to the amendment. Submissions were related to the introduction of controls over single dwellings, changes to the amount and extent of the SCAs, and the content of the amendment.

A Panel Hearing was held in January 2008. The Panel recommended that the amendment should be adopted subject to the following key changes:

- Council should further consider the recommendations of the Planisphere review report, particularly the use of the NCO for SCAs that have been identified as medium or high significance, the SCA boundary extensions and new SCA designations.
- Significant Character Areas 4, 6, 8 and 15 should have their status downgraded to that of a minimal change area, which should be reflected in the proposed policy and the Practice Guide.

2.2.6. Proposed Neighbourhood Character Amendment & Report Update 2011

In view of the Panel's recommendations and, more particularly, in light of the public feedback from Glen Eira's Planning Scheme Review 2010, Council determined to pursue a greater level of statutory protection of the areas identified as having significant neighbourhood character by way of Overlay controls, as recommended in the 2006 report.

The process of preparing a Planning Scheme Amendment has comprised:

- A detailed site survey to identify changes within the previously identified areas of neighbourhood character significance that have occurred since the previous review.
- A review of the Panel recommendations for Amendment C56.
- A review of the recommendations made in the 2006 review report, in light of any changes in the approach to neighbourhood character protection.

2.2.7. Amendment C87 Panel Hearing, 2012

Council prepared and exhibited Amendment C87 to implement the findings of this study and introduce Neighbourhood Character Overlay Schedules and Design and Development Overlay Schedules, with the inclusion of this report as a Reference Document. The amendment was placed in exhibition from 2 February to 5 March 2012 and 66 submissions were received. Of these, 19 supported the amendment, 18 opposed the amendment and 29 supported the intent of the amendment but opposed the exclusion of their property or specific streets from the amendment.

The Panel Hearing was held on the 28 and 29 of June 2012 and recommended that the amendment be adopted subject to some minor alterations to the boundaries of some NCO / DDO areas. The Minister approved the amendment on 31 January 2013.

The panel recommended to Council several matters to be considered for a future amendment. This included the extension of the McPherson Avenue Area to include Hollywood Grove, extension of the Derby Crescent Area to include Moodie Street and assessment by a heritage architect of the Normanby Road/Park Crescent Area and the Urandaline Grove Area.

2.2.8. Amendment C107 Panel Hearing, 2014

Council prepared and exhibited Amendment C107 to implement the recommendations of the C87 Panel in relation to including Hollywood Grove and Moodie Street within NCO / DDO areas. Four opposing submissions were received and a Panel Hearing was held on 22 September, 2014. The panel recommended to Council that the two additional streets be included within the respective overlay areas.

2.3. Heritage in Glen Eira

A key objective in the Glen Eira Municipal Strategic Statement is to identify, protect, enhance and promote an understanding of the municipality's heritage. A significant amount of heritage places have remained relatively intact within the municipality, including residential and commercial areas and places from the Victorian, Federation and Interwar periods.

The *Glen Eira Heritage Management Plan 1996* identified 18 heritage areas, and over 120 individual properties for their local, regional or state-wide heritage significance. The management plan is used as a reference document to form the basis of the application of heritage controls by Council. It lists the heritage significance of all places identified by the study in 1996, and provides a framework for their protection and enhancement.

In 1999, Council adopted heritage controls to protect a number of the identified areas and properties of heritage significance. Draft heritage guidelines were released in 2004, for a number of streets and estates. The guidelines were not incorporated to the planning scheme but are utilised as reference documents.

Whilst this report identifies potential heritage significance it does not go so far as to make recommendations on future Council actions in relation to heritage matters. Appendix B discusses in more detail the potential heritage status for each area of significant neighbourhood character.



Field Surveys

3.1. Neighbourhood Character Type Plan

In the first stage of the Review a Neighbourhood Character Type (NCT) survey was conducted to provide an overview of the neighbourhood character of the entire municipality. Broad neighbourhood character types and eras of the City's development were identified, mapped and described. These were then overlaid with sixteen more specific character areas.

While housing diversity and Heritage Overlay areas were excluded from the detailed recommendations of the study, they were included in the NCT survey at a broad level to provide the required context for further analysis.

This exercise has allowed the areas of significant neighbourhood character to be assessed within the context of all residential areas in Glen Eira. The Neighbourhood Character Type Plan indicating the broad neighbourhood character areas are located in Appendix A.

3.1.1. Methodology

The methodology for the NCT survey was:

- A windshield survey of random streets to gain an overview image of Glen Eira's residential areas. Approximately 30% of residential streets were surveyed. The survey included streets within housing diversity areas and Heritage Overlay areas.
- Photos for each area and character type compiled.
- Identification of the broad neighbourhood character types based on the general attributes of private and public realms: the building form and layout of the different areas; their overall streetscape qualities; the vegetation and landscape quality and the era of development.
- Identification of more specific character areas within each character type.
- Preliminary survey and assessment of the fifteen SCAs listed in the Minimal Change Area Policy of the Glen Eira Planning Scheme (Clause 22.08), as well as other potential areas of significant neighbourhood character recommended by Council.
- Areas where the neighbourhood character differed markedly from surrounding residential areas, for whatever reason, noted for further investigation.
- Contributory elements of the areas of significant neighbourhood character and possible threats to their character noted, to be confirmed and detailed in the next stage of the project.

This information was then mapped and the Neighbourhood Character Type Plan produced (See Appendix A). It describes six broad character types and sixteen more detailed character areas.

3.1.2. Neighbourhood Character Types of Glen Eira

3.1.2.1. Garden Suburban

The Technical Report 12 *Sense of Place: urban design principles for the Metropolitan Strategy* identifies four main neighbourhood character types that apply to residential areas in Victoria.

Most of Glen Eira's residential areas are garden suburban. The broad description of this character type is:

- Train and tram based.
- Late Victorian – 1970s.

- Grid based street pattern.
- Spacious streets and gardens.
- Detached houses, double or triple fronted.
- Footpaths and nature strips and tree avenues, often exotic.
- Car storage usually off street and behind the building line.
- Tram and/or railway station based retail strips.

The key character elements of Glen Eira's garden suburban areas are listed below. This includes the character elements identified in the 1996 Urban Character Study and Clause 22.08-1, which are based on community feedback. Supplementary characteristics identified by the study team in the preliminary survey are also included:

- Many areas have a green and leafy appearance. Neighbourhoods towards the north of the municipality are often characterized by gardens with established trees. Towards the southeast of the municipality, the vegetation character often has an open feel, with low to medium scale planting more common. The character of some streets is also defined by avenues of street trees.
- There is often an open and spacious feel created by the space around buildings, and the large front setbacks that result in an open rather than enclosed street space.
- Front setbacks are often consistent and usually generous, allowing for planting of substantial vegetation.
- Dwellings are usually clearly visible from the street.
- The front property boundary is usually defined by a low, solid fence or moderate height 'transparent' fence.
- Dwellings are usually set back from at least one side boundary and frequently from both, providing glimpses of vegetation between dwellings.
- Rear setbacks are sufficient to allow for the planting of substantial vegetation, usually including at least one tree. Often views to the planting in rear gardens can be obtained from the street.
- The low levels of site coverage allow for substantial planting.
- The majority of dwellings are single or double storey.
- Predominantly brick construction with pitched tiled roof forms. In the older parts of the municipality, a greater number of timber buildings are sometimes evident.
- Overall, there is a low scale of development with a strong horizontal emphasis and dominant roof forms.
- Dwellings provide private open space (eg front, side and rear gardens).
- One vehicular crossing per property is common.
- Carports and garages are often located to the side or rear of the dwelling.
- The grid based subdivision is a dominant characteristic of Glen Eira's suburban areas. Distortions of the grid or curvilinear street layouts are unusual and highly distinctive.
- Smaller lots or a range of lot sizes are found in the areas established during the Victorian or Edwardian eras. Allotment sizes in the areas established from the interwar era onwards often approximate to standard dimensions of 15m x 35-40m.
- The topography of Glen Eira is mostly flat. Again, where a street or area has undulating topography, this becomes a distinctive characteristic.

3.1.2.2. Inner Urban

There are several areas of Glen Eira developed during the C19th that would be classified as inner urban character types. The Clause 22.08 neighbourhood character descriptions do not include reference to inner urban types.

The broad description and main elements of this character type include:

- Dense, low rise residential and mixed use areas serviced by strip shopping centres and transport routes.
- Highly urban character with buildings dominating the street scene.
- Narrow frontages.
- Small front setbacks, with zero or small side setbacks that create unbroken 'walls' along the street.
- Front property boundary always expressed by a fence.
- Fine grain, connected street and laneway pattern that is highly conducive to walking and cycling.

3.1.3. Results of the Neighbourhood Character Type Survey

Six broad neighbourhood character types have been identified, largely based upon the era of an area's development. These are shown on the NCT Plan (see Appendix A) as colour coded areas denoting the following:

- Victorian / Edwardian garden suburban base with modern overbuilding.
- Victorian / Edwardian inner urban base with modern overbuilding.
- Edwardian / Interwar garden suburban base with modern overbuilding.
- Interwar garden suburban base with modern overbuilding.
- Late 1930s-1960s garden suburban base.
- 1970s-recent garden suburban base.

Many older areas of the municipality have experienced extensive overbuilding and have a mixed character as a result. The exception to this are those streets included in the Heritage Overlay or those identified as having significant neighbourhood character, where the original built form and character of the neighbourhood remains strongly evident.

3.1.4. Neighbourhood Character Areas

Within the six neighbourhood character types identified in the NCT survey, 16 *approximate* character areas have been defined. These are based upon the survey work, the descriptions of each suburb in Council's Clause 22.08 Policy and the 1996 Urban Character Study. These areas were found to have particular elements that defined their neighbourhood character, in addition to those elements common to most residential areas of the municipality. They are shown on the NCT Plan (Appendix A), numbered as follows:

3.1.4.1. Area 1: Caulfield North (north of Alma)

Victorian / Edwardian garden suburban base with modern overbuilding

- This area has a Victorian and Edwardian base, with many buildings of this era still present. There is also a large amount of interwar development.
- A lot of post 1960s over-building has occurred, including multistorey walk up flats, and the area has a mixed character as a result. Apartment buildings particularly evident around Hotham Street.

- Cantala Avenue, Findon Avenue and Waiora Road have a number of Moderne style flats which are potentially significant C20th architectural heritage - to be investigated by Council.
- There is a range of lot sizes throughout. Some streets are distinguished by an 'inner urban' character type comprising smaller lots, tighter street spaces and compact dwelling types of cottages, terraces or flats.
- Elsewhere, buildings are detached dwellings with front and side setbacks.
- Buildings are often constructed of brick, however timber buildings are also evident.
- Pitched tiled roofs predominate.
- The area generally has a leafy quality with well established gardens (despite small areas for planting in some) and regular planting of street trees. Some private gardens include substantial trees and several streets are defined by their avenue planting.

3.1.4.2. Area 2: Caulfield North (between Alma and Balaclava)

Interwar garden suburban with modern overbuilding

- In this area a range of development eras are represented. It has a predominantly interwar base with a variety of subsequent development types creating a mixed character.
- Interwar development includes Californian bungalows and other interwar styles such as Spanish Mission or Arts and Crafts. There are also isolated buildings from the Victorian and Edwardian era.
- There is a mixture of allotment sizes and widths.
- There is a range of dwelling forms and types – from single storey detached dwellings to 3 storey walk up flats.
- The curvilinear layout of Orrong Crescent and Orrong Grove provide a distinct contrast to the dominant grid subdivision layout.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and street trees add to the garden character of the area.

3.1.4.3. Area 3: St Kilda East - Caulfield North (south of Balaclava)

Interwar garden suburban with modern overbuilding

- This area has a mixed character with a range of development eras represented - from interwar to contemporary, mostly dating from the 1960s onwards.
- There is a distinct presence of architect designed detached dwellings of the 1960s and 1970s.
- Also, a distinct style of recent architect designed dwellings is evident. These buildings generally have flat roofs, a box-like shape and employ a range of materials, particularly brick, concrete, blockwork or render. Often frontages have high solid fences.
- There is a range of dwelling forms and types – from single storey detached dwellings to 3 storey walk up flats.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and street trees add to the garden character of the area.

3.1.4.4. Area 4: Elsternwick

Victorian / Edwardian garden suburban base with modern overbuilding

- This area has a Victorian and Edwardian base with infill development ranging from the interwar era to contemporary development.
- It includes several Heritage Overlay areas that are intact representations of the area's original development.
- Seymour Road is distinct for its avenue planting and consistent sense of space around dwellings which has allowed a strong garden character to emerge. Typically low fences allow views to buildings and gardens.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and street trees add to the garden character of the area.

3.1.4.5. Area 5: Elsternwick – Prentice Street area

Victorian / Edwardian inner urban base with modern overbuilding

- This area has a Victorian and Edwardian base with a limited amount of modern infill.
- The tight street pattern and small lot sizes, which were developed alongside the shopping and transport spine of Glen Huntly Road, are distinct.
- As an 'inner urban' character type, there is minimal front and side setbacks and limited vegetation in private gardens or street planting. The buildings form the edge of the street and define its character.

3.1.4.6. Area 6: Caulfield – between Bambra Rd and the racecourse

Interwar garden suburban with modern overbuilding

- This area has an interwar garden suburban base, with modern overbuilding creating a mixed character.
- There is a high number of interwar buildings still present, many of the Spanish Mission style.
- The distorted grid layout near the racecourse is also a distinct characteristic.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and street trees add to the garden character of the area.

3.1.4.7. Area 7: Caulfield East – Carnegie

Edwardian / interwar garden suburban base with modern overbuilding

- The area between the racecourse and the railway line is characterised by a range of development, however its Victorian and Edwardian era base is strongly evident.

3.1.4.8. Area 8: Glen Huntly, Carnegie, Murrumbeena

Interwar garden suburban with modern overbuilding

- This area has an interwar garden suburban base, with modern overbuilding creating a mixed character.

- Pockets of original timber or brick Californian bungalow and other interwar dwellings survive, a number of which are included within Heritage Overlay areas or nominated as potential NCO areas. These are highly intact and indicative of the original development pattern of the area.
- Elsewhere, there is a variety of overbuilding from different postwar eras. Mostly this comprises brick construction with pitched tiled roofing.
- Parts of this area have concentrations of villa unit developments and/or walk up flats. This includes: the area east of Royal Avenue and north of Oakleigh Road; the streets bounded by Koornang, Woornack, Murrumbeena and Gnarwyn Road; and the streets south of the Carnegie Urban Village.
- In Murrumbeena, the area around the Rosstown Railway linear reserves (Boyd Park) have a distinct landscape quality. The streets are also distinct for their undulating topography. This area is also nominated as for further protection via the NCO.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and several streets are defined by their avenue planting.

3.1.4.9. Area 9: Elsternwick – Caulfield South

Edwardian / interwar garden suburban base with modern overbuilding

- This area has an Edwardian and interwar base, with a range of modern overbuilding that creates a mixed character.
- Many of the original buildings are constructed of timber.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and several streets are defined by their avenue planting.
- It includes the areas of significant neighbourhood character around St James and Riddell Parades, which is valued for its intact Victorian, Edwardian and Interwar streetscapes and the strong vegetation quality.

3.1.4.10. Area 10: Caulfield South – between Sussex and Bambra Roads

1940s garden suburban

- This is a typical garden suburban estate developed in the 1940s, with many remaining original buildings.
- Many buildings are the original single storey dwellings and constructed of yellow and clinker brick with dominant pitched tiled roofs.
- Front and side setbacks are consistent, leaving regular spacing around dwellings in each street.
- Gardens are well established with low to medium scale planting, however the area does not have a strong leafy character. Front fences are generally low, allowing views to buildings and gardens from the street.
- There are no 1940s era areas currently protected in Glen Eira. Several buildings in these streets are exemplary of this era of development and potentially unique in the context of the municipality.

3.1.4.11. Area 11: Carnegie – between Leila Road and North Road

1970s-1990s garden suburban

- This is a pocket of modern development, constructed in the 1970s-1990s.

- Between Hunter and Boake Streets, buildings are single or double storey, detached brown brick dwellings dating from the 1970s.
- Development east of Boake Street, around Winston Way, is a recent infill housing estate comprising mostly double storey townhouse style dwellings on relatively small allotments. Most are constructed of concrete slab with flat or pitched tiled roofs.

3.1.4.12. Area 12: East Bentleigh, near the corner of Warrigal and Hwy and North Road

Late 1930s-1940s garden suburban with modern overbuilding

- This area has a late 1930s-1940s base with a range of contemporary overbuilding that creates a mixed character.
- Buildings are generally single storey.
- Gardens are well established with low to medium scale planting. Front fences are generally low, allowing views to buildings and gardens from the street.
- Many original dwellings remain and these are generally cream or yellow brick with pitched tiled roofs. There is occasional timber construction.

3.1.4.13. Area 13: Ormond, McKinnon and Bentleigh

Interwar garden suburban with modern overbuilding

- This area has an interwar garden suburban base, with modern overbuilding creating a mixed character.
- Pockets of original timber or brick Californian bungalow and other interwar dwellings survive, a number of which are included within Heritage Overlay areas or nominated as potential NCO areas. These are highly intact and indicative of the original development pattern of the area.
- Elsewhere, there is a variety of overbuilding from different postwar eras. Mostly this comprises brick construction with pitched tiled roofing.
- The area generally has well established gardens with low to medium scale vegetation and regular planting of street trees. Occasionally private gardens include substantial trees and several streets are defined by their avenue planting.
- Front fences are generally low, allowing views to buildings and gardens from the street.

3.1.4.14. Area 14: East Bentleigh, north of Centre Road

1950s garden suburban with modern overbuilding

- This area has a 1950s base with a range of contemporary overbuilding creating a mixed character.
- Buildings are generally single storey.
- Many original dwellings remain and these are generally cream brick with pitched tiled roofs.
- Gardens are well established with low to medium scale planting. Front fences are generally low, allowing views to buildings and gardens from the street.
- The grid layout and flat topography is quite distinct in this area due to wide, open streets and lack of heavy vegetation cover.

3.1.4.15. Area 15: East Bentleigh, south of Centre Road

1940s garden suburban with modern overbuilding

- This area has a 1940s base with a range of contemporary overbuilding creating a mixed character.
- Buildings are generally single storey.
- Many original dwellings remain and these are generally cream brick with pitched tiled roofs.
- Gardens are well established with low to medium scale planting. Front fences are generally low, allowing views to buildings and gardens from the street.
- The grid layout and flat topography is quite distinct in this area due to wide, open streets and lack of heavy vegetation cover.

3.1.4.16. Area 16: East Bentleigh, near the corner of South Road and Warrigal Hwy

- 1970s garden suburban with modern overbuilding
- This area has a 1970s base with most buildings of this era remaining.
- Buildings are single and double storey and constructed of pink or brown brick with pitched tiled roofs.
- Gardens are generally well vegetated.

3.2. Areas of Significant Neighbourhood Character

3.2.1. Detailed Survey

The detailed street-by-street survey of the 15 existing SCAs was conducted in order to establish the level of significance of each area relative to the rest of the municipality, and to determine an appropriate strategy for management of future development. An additional twenty-two streets were also investigated in the detailed survey. These were new areas of significant neighbourhood character or extensions to previous areas and were either recommended by Council officers or recognised by the study team during the NCT survey as potentially of high neighbourhood character significance.

Within the context of surrounding residential areas, the areas of significant neighbourhood character may provide an intact glimpse of the original street layout or building stock, or offer a distinctive landscape quality that has evolved over the years. These areas have been selected as they are considered to be rare or exemplary, are particularly intact or have a distinctive and strong neighbourhood character that could potentially be under threat from unsympathetic development.

Various recommendations have been made from this investigation. Many of the identified areas have been recommended for additional controls via Policy and Overlays. Several existing SCAs were found to have a lower level of significance and are therefore recommended for removal from the current Local Policy. Several areas or buildings within areas have been recommended for heritage investigation.

The detailed survey findings are included as Appendix B: Areas of Significant Neighbourhood Character. For each existing and proposed area of significant neighbourhood character information provided includes:

- A precinct description and list of key neighbourhood characteristics.
- A map and photographs.
- A list of possible threats to neighbourhood character.
- An outline of statutory mechanisms to preserve the identified significant character.
- Opportunities to improve the area via public works or planting.

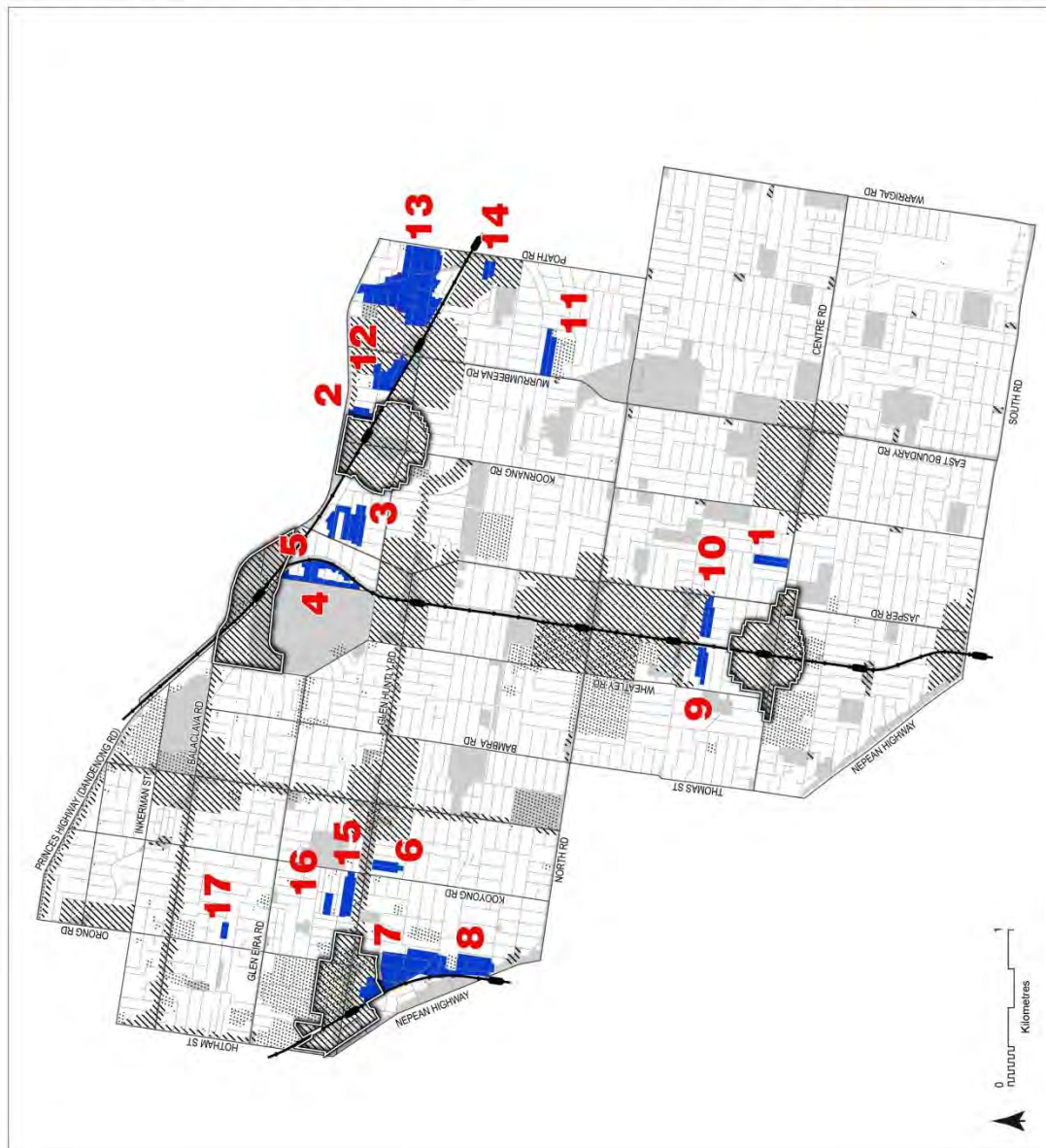
A summary of these findings is provided in the following section. The following map insert shows the location of existing and proposed areas of high neighbourhood character significance.

Areas of Significant Neighbourhood Character

1. The Highway, Bentleigh
2. Chestnut Street, Carnegie
3. McPherson Avenue Area, Carnegie
4. Queens Avenue, Caulfield East
5. Derby Crescent, Caulfield East
6. Clarinda Street, Caulfield South
7. Downshire Road, Elsternwick
8. St James Parade, Elsternwick
9. Exhibition Street, McKinnon
10. Field Street, McKinnon
11. Lindsay Avenue, Murrumbeena
12. Oakdene Crescent, Murrumbeena
13. Boyd Park Area, Murrumbeena
14. Lydon Street, Murrumbeena
15. Murray Street, Elsternwick
16. Prentice Street, Elsternwick
17. Kambea Grove, Caulfield North

- Roads
- Rail
- Housing Diversity Areas
- Minimal Housing Change Areas
- Heritage Overlays
- Non Residential Areas
- Urban Villages and Phoenix Precinct
- Areas of Significant Neighbourhood Character

Areas of Significant Neighbourhood Character



3.2.2. Existing Significant Character Areas (2014 update)

Existing Significant Character Area	Recommendation
1. The Highway, Bentleigh	High degree of neighbourhood character significance, possible heritage significance. Additional controls warranted.
2. Chestnut Street, Carnegie	High degree of neighbourhood character significance. Additional controls warranted. Remove properties at the northern end of the street from the area.
3. McPherson Avenue Area, Carnegie	High degree of neighbourhood character significance. Additional controls warranted. Remove properties in Craigavad Street, and several properties in Munster Avenue and Grange Road from the area. Following the recommendations of the C87 and C107 Panels, identified properties along Hollywood Grove have been incorporated into the McPherson Avenue Area.
4. Urandaline Grove, Caulfield	Area does not display greater degree of neighbourhood character significance to surrounding residential areas. No additional controls warranted.
5. Queens Avenue and Derby Crescent, Caulfield East	High degree of neighbourhood character significance, possible heritage significance. Additional controls warranted. Separate Queens Avenue and Derby Crescent into two areas and remove Epsom, Tattenham and Clifton Streets. Following the recommendations of the C87 and C107 Panels, Moodie Street has been incorporated into the Derby Crescent area.
6. Normanby Road/Park Crescent, Caulfield North	Area does not display greater degree of neighbourhood character significance to surrounding residential areas. No additional controls warranted.
7. Clarinda Street, Caulfield South	High degree of neighbourhood character significance. Additional controls warranted.
8. Hawthorn Road Tramway Estate, Caulfield South	Area does not display greater degree of neighbourhood character significance to surrounding residential areas. No additional controls warranted. Subdivision layout may have heritage significance.

9.	St James Parade / Downshire Road, Elsternwick	<p>High degree of neighbourhood character significance, possible heritage significance. Additional controls warranted.</p> <p>Separate into two areas of significant neighbourhood character.</p> <p>Extend Downshire Road Area north to Stanley Street and Rowan Street.</p> <p>Extend St James Parade Area to include interwar estate to the east (Nagle Ave, Clonard Ave, Duffy Ave, Elster Ave and Gogh St).</p>
10.	Exhibition and Field Streets, McKinnon	<p>High degree of neighbourhood character significance. Additional controls warranted.</p> <p>Separate into two significant areas of neighbourhood character.</p> <p>Following the recommendations of the C87 Panel, non-contributory properties at the western end of Exhibition Street have been excluded.</p>
11.	Lindsay Avenue, Murrumbeena	<p>High degree of neighbourhood character significance. Additional controls warranted.</p>
12.	Oakdene Crescent, Murrumbeena	<p>High degree of neighbourhood character significance, possible heritage significance. Additional controls warranted.</p> <p>Extend boundary to Blackwood Street.</p> <p>Following the recommendations of the C87 Panel, several additional properties on Blackwood Street and Oakdene Crescent have been included.</p>
13.	Boyd Park Area, Murrumbeena	<p>High degree of neighbourhood character significance. Additional controls warranted.</p> <p>Extend area to the south to include Neerim Road (between Hobart Road and Poath Road) and Riley Reserve.</p> <p>Following the recommendations of the C87 Panel, several properties at the perimeter of the area have been removed.</p>
14.	Lydson Street, Murrumbeena	<p>High degree of neighbourhood character significance. Additional controls warranted.</p>
15.	Ulupna Road, Ormond	<p>Area does not display greater degree of neighbourhood character significance to surrounding residential areas. No additional controls warranted.</p>

3.2.3. Potential Areas of Significant Neighbourhood Character

Potential Areas	Recommendation
16. Murray Street, Elsternwick	High degree of neighbourhood character significance, potential heritage significance. Additional controls warranted.
17. Prentice Street, Elsternwick	High degree of neighbourhood character significance, potential heritage significance. Additional controls warranted.
18. Kambea Grove, Caulfield North	High degree of neighbourhood character significance, potential C20th architectural heritage significance. Additional controls warranted.

3.3. Threats to Neighbourhood Character in Glen Eira

The field trips around Glen Eira's residential neighbourhoods revealed to the study team a range of scenarios where inappropriate design responses were felt to impact adversely upon neighbourhood character.

This can occur in a number of ways. New development that is not designed to respond to its site context can undermine the vegetation quality of an area, introduce incongruous and inappropriate building forms or change the established relationship of buildings to the street space or garden space of an area. These threats were found to be relevant to all residential areas, not just the areas of significant neighbourhood character.

Following are descriptions and photographs of typical threats to neighbourhood character.

3.3.1. Fences

There are many instances of high, solid front fences that inhibit views to buildings or vegetation in private gardens and reduce the sense of openness of a street. High, solid fences are only an appropriate design response in streets where similar fencing predominates, such as main roads. In highly consistent streetscapes, these issues may significantly undermine the neighbourhood character:





3.3.2. Building Form and Scale

In terms of building form and scale, potential threats to significant neighbourhood character include:

- Buildings that are out of scale with other buildings in the street, particularly adjacent buildings.
- Roof forms that differ markedly to other roof forms in the street where this is a predominant characteristic. For example, a flat roofed structure within a streetscape of pitched roof forms.



3.3.3. Siting and Rhythm



In terms of building siting and rhythm, potential threats to significant neighbourhood character include:

- Substantially reduced front setbacks. This increases the built form enclosure of the street and reduces the amount of front garden space, and hence may undermine the vegetation character of the street.
- Reduced side setbacks where the established rhythm of space between buildings in the street is not reflected. In particular, boundary to boundary development is not appropriate in a streetscape where there is space between each building form.
- Reduced rear setbacks and loss of available garden space, in areas where partial views to rear gardens may be otherwise visible from the street.

3.3.4. Design Detail

In terms of design detail, potential threats to significant neighbourhood character include:

- New buildings that do not respect the predominant colour or materials selection, where this is particularly consistent in a streetscape.
- Buildings without eaves, where this is the typical pattern of a streetscape.
- Buildings that do not reflect the pattern of asymmetrical building forms, where this is dominant in the streetscape.





3.3.5. Second Storey Additions

In areas of significant character due to the presence of heritage/period dwellings, second storey additions that visually dominate the original building may be out of character with the streetscape and inconsistent with the original architectural style.

The 'box on a box' style of second storey addition, a variation of which is seen in the photo below right, dramatically distorts the proportion of the original dwelling and is out of scale with its neighbours. Second storey additions to heritage dwellings (or older dwellings that form a vital part of the neighbourhood character) should be designed so that the main ridgeline of the original roof form is evident.





3.3.6. Heritage

Reproduction heritage styles, particularly when stylistically incorrect or out of context, is not desirable within areas of significant neighbourhood character or Heritage Overlay areas. This mock Victorian building in the top left picture is in a streetscape of Interwar buildings, while the top right picture shows a mock Edwardian building in an Interwar context.



Mock Victorian



Mock Edwardian



3.3.7. Car Access and Storage



The siting and design of car access and storage can have a substantial impact upon the character streetscapes:

- Additional or widened crossovers that result in increased hard paving and loss of nature strip planting.
- Hard paving areas for car parking within frontage setbacks that are in excess of a standard driveway width and result in the loss of garden space and permeable ground for water run-off.
- Garages that dominate the street presentation of a dwelling due to their location within the frontage setback or their excessive width.

3.3.8. Landscaping



Examples of contributory public and private landscaping

Landscaping is a fundamental aspect of neighbourhood character. This relates to the landscaping of individual gardens and the cumulative effect of landscaping across an entire area. Key threats to neighbourhood character are the loss of canopy trees or other forms of large scale vegetation. This includes street trees or planting in private gardens. In addition, new development that does not provide adequate garden space for the planting of new vegetation is a threat to neighbourhood character.

3.3.9. Public Realm



Examples of contributory public realm elements

Bluestone kerbing is a key feature of many neighbourhoods in Glen Eira and its loss could have a substantial impact on the appearance of a streetscape. As noted above, loss of street trees and space allocated for nature strips could also pose a potential threat to existing character.

4

Implementation Options

4.1. Determining the Required Approach to Statutory Implementation

To determine the preferred approach to statutory implementation for each area of significant neighbourhood character, the following formula has been applied:

$$\begin{array}{l}
 \text{Level of significance} + \\
 \text{Threats or pressure for change} + \quad \rightarrow \quad \text{Action recommended} \\
 \text{Gaps in planning controls} + \\
 \text{Community values}
 \end{array}$$

The key aspects of this approach are discussed below.

4.1.1. Level of Significance

The level of significance assigned to each area of significant neighbourhood character will be a key factor in determining the type of planning control applicable. This takes into account the following considerations.

4.1.1.1. Identification of Key Characteristics

Each of the existing and potential areas of significant neighbourhood character was surveyed in this Review as they displayed distinctive neighbourhood character qualities in the context of the surrounding minimal change residential areas, combined with a high degree of visual consistency. This 'distinctiveness' may be derived from one or a combination of physical characteristics of the area's built form, layout, landscape or topography.

4.1.1.2. Comparative Analysis

The relative significance of each area is based upon comparison with other minimal change residential areas and Heritage Overlay areas within Glen Eira, as well as residential areas across metropolitan Melbourne, in view of Planisphere's experience in conducting many similar character studies. This comparison indicates which areas have character attributes that are rare, exemplary of a particular type of suburban development, or atypical.

4.1.1.3. Heritage or Character?

Several areas of significant neighbourhood character are relatively intact, with a high degree of consistency of building era and style and have therefore been identified as having potential heritage significance. Whether they are ultimately deemed to have heritage significance will depend upon the existing representation of this style and era of development elsewhere in the municipality, amongst other considerations.

Those that have not been identified as having potential heritage significance, however, may still be recommended for neighbourhood character controls due to their distinctive presentation compared with surrounding streets, their high degree of consistency and strong neighbourhood character elements such as building form, scale, siting and detailed design.

Nominating an area for neighbourhood character controls should not preclude it as a possible heritage area in later years, unless its significance has been reduced due to demolition of contributory buildings.

4.1.2. Threats or Pressure for Change

The possible threats to the important characteristics of each area of significant neighbourhood character have been examined. This includes considering the types of development that would be allowed in the context of the current planning and building regulations. An understanding of the pressure for development in each area has also been gained from discussion with Council's planning staff.

General threats/pressures relating to neighbourhood character across the municipality are discussed in [Section 3.3](#), while those relating specifically to each area are detailed in [Appendix B](#).

4.1.3. Gaps in Planning Controls

Whether the existing Planning Scheme controls are able to protect the distinctive qualities of each area of significant neighbourhood character from the identified threats/pressure for change is a key consideration in choice of implementation options. The existing provisions that apply to these areas in regard to each neighbourhood character element that was surveyed are detailed in [Section 4.2](#).

Where gaps in the planning controls to counter potential threats or pressure for change are identified for significant areas, changes to statutory provisions are recommended accordingly.

4.1.4. Community Values

The community perceptions and values of each area are an important aspect of understanding their degree of significance, the potential threats to character and the development pressures. The likelihood of community acceptance of new controls over some forms of development will relate to the extent of community concern about the loss of particular aspects of the character of the area.

4.1.5. Housing Capacity Analysis

The introduction of additional neighbourhood character controls must be considered in relation to the capacity of the Glen Eira municipality to meet projected demand for additional housing.

An analysis of the recommendations of this study that will have an impact upon the capacity of Housing Diversity Areas has been undertaken. In some instances, the capacity of Housing Diversity Areas will be reduced where additional controls are recommended.

The number of properties within Housing Diversity Areas that will be overlaid by the NCO, thereby reducing their development potential to some degree totals 87. The number of properties that no longer are considered to have significant character and by virtue of their location convert from Minimal Change Areas to Housing Diversity Areas totals 64. This reduction in capacity by virtue of the additional NCO controls, when balanced against the increase in the number of properties to be located within Housing Diversity Areas is considered to be insignificant.

The housing capacity analysis by each existing SCA and recommended NCO area is tabled on the following page.

Recommendation of final report that has implication on housing diversity areas	Housing diversity area increased (by number of properties affected +)	Housing diversity area to be overlaid by NCO thereby reducing development potential in these areas (number of properties affected -)
Ulupna Road SCA to be removed	Change from MCA to HDA Increase HDA by 15 properties	
Hawthorn Road Tramways SCA to be removed	Properties fronting Hawthorn Road to change from MCA to HDA (tram routes) Increase HDA by 27 properties	
Oakdene Crescent SCA to be increased		Area to increase by including properties along Blackwood Street and Murrumbeena Road. These properties are currently in a HDA Reduced development potential in HDA by 17 properties
Chestnut Avenue SCA to be decreased	Area to decrease by removing properties to the north of Chestnut Street and along Dandenong Road Increase HDA by 5 properties	
Boyd Park SCA to be increased		Area to increase by including properties to the south of Neerim Road. Properties to the west of Riley Reserve are currently in a HDA. Reduced development potential in HDA by 30 properties.
Downshire Road SCA to be increased		Area to increase to the north to Stanley Street. Reduced development potential in HDA by 40 properties
Normanby Road/Park Crescent, Caulfield North	Properties fronting Balaclava Road to change from MCA to HDA (tram route) Increase HDA by 17 properties	
TOTAL	64 (+ Amendment C77 – increase number by 30) =94	87
MCA = Minimal Change Area	HDA = Housing Diversity Area	

4.1.6. The Next Step: Likelihood of Approval

Once the preferred approach to implementation has been established, the likelihood of approval of additional statutory controls by a Planning Panel or the Minister for Planning must then be considered: there is no point in recommending implementation options to Council that will not be ultimately approved. Current State policy and directives and issues raised previously by Panels in making recommendations on other similar Planning Scheme Amendments will be important considerations in making the final recommendations to Council.

Should Council resolve to proceed with statutory implementation measures, the need for additional planning controls in some areas, as opposed to others where existing controls may suffice, must be clearly identified and supported by a methodology based upon accepted planning practice. In making the recommendations for this Review, all of the above issues have been taken into consideration.

4.2. Existing Planning Scheme Provisions for Neighbourhood Character

4.2.1. Residential 1 Zone

All areas of significant neighbourhood character are zoned Residential 1. The purpose of the Residential 1 zone relating to neighbourhood character is:

To provide for residential development at a range of densities with a variety of dwellings to meet the housing needs of all households.

To encourage residential development that respects the neighbourhood character.

A Schedule is attached to the Residential 1 zone for Glen Eira and applies only to Minimal Change Areas (see below). This includes additional requirements relating to site coverage, private open space and rear setbacks.

4.2.2. ResCode

ResCode applies to single dwellings (Clause 54) and dwellings on lots less than 300m² or multi dwelling development (Clause 55). Both Clauses require a site analysis and design response statement to accompany a planning or building permit application, and consideration of any relevant neighbourhood character policy.

A number of ResCode standards relate specifically to neighbourhood character issues, and these are detailed below. Variations to ResCode standards have been introduced for all minimal change areas within Glen Eira, applying to site coverage, rear setbacks and private open space provision.

4.2.3. Minimal Change Area Policy (Clause 22.08)

The Clause 22.08 Minimal Change Area Policy is applied only when a planning permit is required.

The policy provides a broad neighbourhood character context for the majority of Glen Eira's residential areas. This comprises an overall description of the 'garden suburb' environment that characterises most of the municipality and more detailed descriptions of the 'prevailing character elements' of each suburb. These descriptions also form the 'preferred neighbourhood character' statements, re-inforcing the fact that these are minimal change areas. Typical development pressures within these areas are listed.

The policy includes objectives and decision guidelines relating to:

- site coverage
- side and rear setbacks
- private open space
- two storey or multiple storey dwellings
- building bulk and scale
- street setbacks
- landscaping.

Clause 22.08-3.5 deals specifically with the existing SCAs. It sets out broad policy for these 15 areas that includes:

Ensure that the significant neighbourhood character elements identified for significant character areas are respected and taken into account in any new residential development.

Ensure that alterations or additions to dwellings in a significant character area are sympathetic to the building and the street.

Ensure that new dwellings in significant character areas sympathetically integrate with the streetscape by incorporating the identified contributory elements but do not merely mimic or replicate existing architectural styles.

The character of each SCA is then detailed with a map, general description and a list of contributory elements. No specific design objectives or guidelines are provided (hence the need for this project).

4.2.4. Heritage Policy (Clause 22.01) and Overlays

The Heritage Overlay applies to a number of individual sites and areas within Glen Eira. Several areas of significant neighbourhood character are adjoining heritage areas or contain heritage sites. The Glen Eira Heritage Management Plan contains detailed policies and guidelines for each heritage area or site.

4.2.5. Significant Landscape Overlay

A Significant Landscape Overlay (SLO) applies to No. 21 Omama Road, adjacent to the Springthorpe Gardens in Murrumbeena within the Boyd Park Area.

4.3. Protection of Key Neighbourhood Character Elements

Following is a summary of the key neighbourhood character elements identified within the areas of significant neighbourhood character, and the current level of statutory control offered by existing provisions. From this analysis, the effectiveness of the existing controls in protecting significant neighbourhood character attributes is considered.

These provisions apply to all applications for dwellings on lots under 300m² and multi dwelling developments. Building surveyors *should* also have regard to these provisions in assessing single dwelling developments, however their effectiveness in controlling the neighbourhood character impacts of single dwellings is uncertain.

Character element	Current planning scheme provisions	Requirements for areas of significant neighbourhood character
Demolition	No control over demolition.	The significance of most areas is derived from older building stock and demolition controls are desirable.
Building height	ResCode provisions apply – <i>should</i> not exceed 9m. There is no set maximum height. Buildings above 9m are assessed via the planning permit approvals process or can seek building permit dispensation. Clause 22.08 (Glen Eira Planning Scheme) discourages double storey height at the rear of sites and requires transitional form between single and double storey buildings.	For areas that have a predominant single storey scale, a mandatory maximum height may be warranted as well as additional guidance on the siting and design of second storey additions.
Building form	Clause 22.08 requires building articulation, respect of wider neighbourhood character.	More detailed guidance is warranted to ensure consistency of new development with key character elements.
Building colour and material	ResCode encourages design detail that responds to neighbourhood character. Clause 22.08 requires respect of wider neighbourhood character.	More detailed guidance is warranted to ensure consistency of new development with key character elements.
Roofing form and materials	ResCode encourages design detail that responds to neighbourhood character. Clause 22.08 requires 'appropriate' roof forms.	More detailed guidance is warranted to ensure consistency of new development with key character elements.
Front setbacks	ResCode – average or 9m, whatever is the lesser, no minimum setback from side street. Clause 22.08 requires consideration of dwelling spacing in street.	More detailed guidance is warranted to ensure consistency of new development with key character elements.

Character element	Current planning scheme provisions	Requirements for areas of significant neighbourhood character
Side and rear setbacks	ResCode – allows part of building to be constructed on side boundaries. Residential 1 Zone Schedule requires 4m setback from rear boundaries. Clause 22.08 requires consideration of dwelling spacing in street and setbacks from rear boundary.	Most areas of significant neighbourhood character have detached dwellings and should not have buildings constructed boundary to boundary. More detailed guidance is warranted.
Site coverage	ResCode variation from 60% to 50% for minimal change areas.	Considered adequate for areas of significant neighbourhood character.
Carparking structures	ResCode makes no allowance for visual implications of carparking structures. Clause 22.08 requires that they be not located forward of a dwelling.	More detailed guidance is warranted to ensure consistency of new development with key character elements.
Hard paving	ResCode maximum of 80% impervious surface.	Reduced paving area may be warranted in some areas with landscape significance.
Front boundary treatment	ResCode discourages high fences.	More detailed guidance is warranted to ensure consistency of new development with key character elements.
Garden styles and significant vegetation	ResCode encourages provision of landscaping, where part of neighbourhood character. Clause 22.08 requires adequate space retained for planting and canopy trees. Council planners can offer guidance to applicants on species selection etc. The only significant vegetation offered specific statutory protection in Glen Eira are those that are heritage listed or listed in the Significant Landscape Overlay (1 property) or the Vegetation Protection Overlay (Kitmont Street Reserve and the southern end of Boyd Park).	More detailed guidance is warranted to ensure consistency of new development with key character elements. This includes building siting requirements to ensure adequate space for planting and guidelines to state on the importance of vegetation in most areas, including canopy trees.
Street planting	Council responsibility – non-statutory measures apply.	Council to ensure public realm works are in keeping with identified neighbourhood character significance.
Road treatment	Council responsibility – non-statutory measures apply.	Council to ensure public realm works are in keeping with identified neighbourhood character significance.
Open space interface	ResCode encourages observation of adjoining open space. Clause 55 requires development to be laid out to complement the open space.	For areas of significant neighbourhood character adjoining parkland more detailed guidance may be warranted.

Character element	Current planning scheme provisions	Requirements for areas of significant neighbourhood character
Subdivision pattern	Clause 56 has no requirement relating to existing neighbourhood character issues.	Subdivision in itself is not a neighbourhood character issue. Issues of siting for new buildings, garages and accessways will require additional guidance for these areas.
Lot size and frontage width	Clause 56 has no requirement relating to existing neighbourhood character issues.	As above.

4.4. Statutory Implementation Options

The available statutory mechanisms and options for protecting neighbourhood character are as follows:

4.4.1. Change to MSS

The MSS provides the overall strategic justification for the application of planning policy and controls. It could be amended to include background reference to the areas of significant neighbourhood character and outline the additional controls that may be warranted.

4.4.2. Change to Clause 22.08 Minimal Change Area Policy

The Minimal Change Area Policy could be augmented with the findings of the Review such as updated descriptions, preferred character statements, design objectives and detailed guidelines for each area of significant neighbourhood character.

The policy would apply to all multi dwelling applications and development on sites less than 300m². It would not offer control over single dwellings and as such may not be considered adequately effective in protecting areas of significant neighbourhood character where single dwellings may have an impact. Given the small size of most areas of significant neighbourhood character (1-4 streets) the potential for single dwellings to impact upon neighbourhood character is high.

4.4.3. Changes to the Residential 1 Zone schedule

Variations to the schedule of the Residential 1 Zone could introduce further modifications of the ResCode standards (Clauses 54 and 55 of the planning scheme). In addition to the existing variations of site coverage, side and rear setbacks and private open space, other permitted variations relate to street setback, building height and site coverage.

However, these modified standards would apply to all properties within the minimal change areas, not just the areas of significant neighbourhood character. It would need to be demonstrated that such an approach was justified across all of these areas.

Permits would not be required for single dwellings and minor scale buildings, such as garages, or works.

4.4.4. Residential 3 Zone

The Residential 3 Zone sets the maximum building height at 9 metres, or 10 metres for sloping sites. It does not introduce any other detailed neighbourhood character considerations within the zone provisions.

A new schedule could be created for the Residential 3 Zone that may offer variations to the ResCode standards. This would apply a greater (or different) level of control than the Residential 1 Zone schedule. All of the areas within the Residential 3 Zone would be affected by the same schedule. As such, it would need to be drafted to effectively address a range of neighbourhood character issues across different areas.

Under the Residential 3 zone permits are not required for single dwellings and minor scale buildings, such as garages, or works and there is no control over demolition. Given the small size of most areas of significant neighbourhood character (1-4 streets) the potential for single dwellings to impact upon neighbourhood character is high and this approach would not be adequate for those areas of significant neighbourhood character.

4.4.5. Neighbourhood Character Overlay (NCO)

The use of the NCO has advantages and disadvantages. The primary advantage of the NCO is the ability to vary the ResCode standard, which is not possible in an SLO or VPO. The NCO enables control over most buildings and works. Therefore, a greater level of control is offered in relation to the fundamental neighbourhood character considerations such as building height, form and setbacks, as well as more detailed issues such as colour and material selection and vegetation removal.

The specific advantages of this option are:

- Changes to ResCode standards can be made, which apply only to that particular NCO area. Many of the ResCode standards can be varied through application of the NCO, potentially in some detail.
- Requires consideration of a Statement of Neighbourhood Character which would include the description and preferred character statement that have been drafted for each area of significant neighbourhood character.
- Requires an application to be tested against decision guidelines that are specific to the NCO area.
- It includes tree removal controls.
- It includes demolition controls.

The disadvantages of this option are:

- Demolition controls work only as a 'stay' until plans for the replacement dwelling/s are approved.
- Does not include controls for fencing unless proposed as part of an application for other buildings or works.
- The tree controls are limited to trees over 5m in height.
- It can apply only to small, well-defined areas where there is strong justification for additional controls of this nature.
- There is no ability to exempt certain types of development (eg single dwellings or buildings under a certain height), other than outbuildings and swimming pools. Therefore all buildings in the Overlay area will require a planning permit. This potentially places a great administrative burden upon the Council wherever the Overlay is applied.

The NCO may be appropriate for areas of significant neighbourhood character of a high degree of significance and potential threats.

4.4.6. Design and Development Overlay (DDO)

The DDO is similar to the NCO in that it can control the form and siting of future development. Preferred character statements for an area can be included as the decision guidelines.

However, the DDO does not include controls for demolition or vegetation and does not allow for the changes to ResCode as can be achieved with the NCO.

It is a suitable option where ResCode provisions are considered to be adequate, and only specific issues, such as building height, form or detailed design, need to be assessed. It is also the recommended control for sites that may be adjoining an area of significant neighbourhood character and outside of a residential zone.

4.4.7. Vegetation Protection Overlay (VPO) / Significant Landscape Overlay (SLO)

The VPO and SLO can require a permit for removal of trees, and they can apply to all trees, trees over a certain trunk diameter or height or to any of native, indigenous or exotic vegetation. They may be suitable where vegetation is the only or main neighbourhood character consideration.

The VPO is primarily aimed at situations where the vegetation itself is of significance, rather than the contribution of vegetation to neighbourhood character. The VPO must be justified with a significant tree study.

The SLO is more closely related to the contribution that vegetation makes to the overall landscape quality of an area. It has the distinct advantage of providing the opportunity to control the type of vegetation, the types of buildings and works and fences that require a permit, as necessary.

4.4.8. Include Review as an Incorporated Document

Part or all of the Review could be included as an incorporated document within the Planning Scheme. While this option would give the incorporated material full statutory weight, a Planning Scheme Amendment would be required to change any part of the incorporated document.

The Department of Planning and community development generally discourages the incorporation of documents that contain criteria, performance measures or decision guidelines where these are not included in the main body of the Planning Scheme. Rather, the key elements of a study or design guidelines should be included in the Local Policy and zone or Overlay provisions without having to rely on an external document.

4.4.9. Include Review as Reference Document

This option would require all applications to consider the objectives and guidelines of the Review. However, it would be considered as background material only.

As noted above, the key elements of a study or design guidelines should be included in the main body of the Planning Scheme. Reference documents are to be used in conjunction with other statutory mechanisms whereby their purpose is to provide the background justification for these controls and any additional material that may assist with decision making.

4.4.10. New Residential Zones (2014 update)

In 2013 three new residential zones were introduced to the Victorian Planning Provisions, replacing the Residential 1, 2 and 3 Zones. The three new residential zones are:

- The Neighbourhood Residential Zone, which enables a greater control over new residential development.
- The General Residential Zone, which allows for a variety of housing types including medium density housing provided that respects neighbourhood character.
- The Residential Growth Zone, which provides for housing growth through a mix of housing types that includes medium to higher density housing in appropriate locations.

Amendment C110 to the Glen Eira Planning Scheme introduced the new zones to Glen Eira in August, 2013. All of the Significant Character Areas are included within the Neighbourhood Residential Zone.

4.4.11. Analysis of Options

The VPP Practice Note “Using the Neighbourhood Character Provisions in the Planning Scheme” provides a guide summarising the functions of each potential control:

Function	Local planning policy	Schedule to the residential zones	NCO	SLO	VPO	DDO
Vary Clause 54 and 55 standards (ResCode)	✗	✓ Limited to residential development standards	✓ Excludes standards specified in Clause 43.05-3	✗	✗	✗
Describe preferred neighbourhood character	✓	✗	✓	✓	✓	✓ As a design objective
Require a permit for vegetation removal	✗	✗	✓	✓	✓	✗
Require a permit for demolition	✗	✗	✓	✗	✗	✗
Require a planning permit for one dwelling on a lot	✗	✓ For lots between 300-500 square metres	✓	✓	✗	✓
Introduce local neighbourhood character objectives	✓	✗	✓	✓	✓	✓ As a design objective
Introduce additional decision guidelines	✓	✗	✓	✓	✓	✓

In accordance with the above table, the NCO is considered to achieve the objectives required to provide guidance for the preferred character elements in identified areas. The NCO is deemed the most effective in protecting and encouraging the preferred character as the pressures for redevelopment continues to increase.



Neighbourhood Character Management Plan

5.1. Objectives

This Neighbourhood Character Management Plan proposes a statutory implementation program for the findings of the Neighbourhood Character Review, as well as a range of non-statutory implementation options.

The objectives of the Neighbourhood Character Management Plan are to develop an approach to the management of neighbourhood character within the areas of significant neighbourhood character that includes, as appropriate:

- Broad scale and higher level neighbourhood character objectives included in the Local Planning Policy Framework (including the MSS).
- Descriptions, design objectives and design/development requirements for each area of significant neighbourhood character translated into Overlay controls to ensure retention of the significant and valued character elements.
- Identification of what are contributory elements to neighbourhood character in the public realm.
- Identification of areas with potential heritage or landscape significance.
- Promotion of neighbourhood character issues through the Design Guidelines which will contain illustrative material for residents, planners, designers and developers.

5.2. Recommendations for Statutory Implementation

Given the outcome of Amendment C56, where the Panel discouraged the Option 2 approach that was ultimately pursued, the recommendations for statutory implementation in this Review are based around the following statutory option.

Specifically, this option would comprise:

- Modifications to the MSS and Local Policy.
- Inclusion of the Final Report, including the detailed information on the character of each area (Appendix B) and the Design Guidelines (Appendix C) as a Reference Document.
- Neighbourhood Character Overlays with changes to the ResCode schedule for all recommended areas of significant neighbourhood character.
- Expansion and modification of several boundaries for areas with significant neighbourhood character.
- Removal of those areas of significant neighbourhood character from the Clause 22.08 Policy that are of a low degree of significance.
- Design and Development Overlay to address front fencing in areas of significant neighbourhood character where this has particular significance.

5.2.1. MSS

Clause 21.04 of Council's MSS relates to Housing and Residential Development. It is recommended that this section of the MSS is amended to reflect the background and actions of the Review.

It is recommended that the Overview of this section is amended to include a reference to the areas of significant neighbourhood character, such as:

Glen Eira's residential neighbourhoods include a number of areas that have been identified for their highly distinct character. These areas of significant neighbourhood character may be distinct for range of reasons such as: showing a particularly consistent building form, scale or siting; as an example of a rare or exemplary form of residential development; displaying a high number of intact buildings from a particular era of the City's development; or their particular landscape quality. The unique and highly valued attributes of these areas are considered to be potentially under threat from unsympathetic development. As such, further protection of their neighbourhood character is warranted through the application of Neighbourhood Character Overlay controls.

Objective 2 is 'to improve and protect the liveability, neighbourhood character and amenity of Glen Eira'. Under the strategies to achieve this objective it is recommended that the following is included:

- Identify the significant neighbourhood character areas within the municipality and ensure that the distinctive neighbourhood character attributes of these areas is retained and enhanced.

Under *Implementation* it is recommended that the following strategies are included:

- Using the Minimal Change Area Policy to identify the valued neighbourhood character elements of the significant neighbourhood character areas within the municipality's residential areas that may require a specific approach to management of their urban form and landscape.

- Applying the Neighbourhood Character Overlay to those areas of the municipality that are identified as having distinctive neighbourhood character attributes and are nominated as significant neighbourhood character areas.
- Applying the Design and Development Overlay to those areas of the municipality that are identified as having distinctive neighbourhood character attributes and are nominated as significant neighbourhood character areas, in which the design and height of front fences is a key character element.

5.2.2. Minimal Change Area Policy (Clause 22.08)

It is recommended that the Clause 22.08 Policy is augmented with the findings of this Review, as follows:

5.2.2.1. General

Applying to all minimal change areas:

- Update Clause 22.08-1 to include the additional broad points of description of the Garden Suburban and the Inner Urban environment, that apply to all minimal change areas of the municipality (refer to the NCT Plan in Section 3.1).
- Update the points under 'development pressure' in Clause 22.08-1 to reflect the additional findings of the Review (refer to the Threats to Neighbourhood Character in Section 3.3).
- Update the Clause 22.08-3.4 description of the minimal change areas to reflect the additional and location specific information provided in the NCT Plan.

5.2.2.2. Areas of Significant Neighbourhood Character

It is recommended that Clause 22.08-3.5 is amended to remove the detailed information relating to the current SCAs, and that this term has become redundant in view of the introduction of Neighbourhood Character Overlays.

This Clause might instead make brief reference to the areas of 'neighbourhood character significance' that have now been identified as an outcome of this Review, and the fact that they are all included within Overlay controls.

This recommendation would see the removal of those current SCAs found to have a low degree of neighbourhood character significance. It would be difficult to justify their continued inclusion in a policy which does not control single dwelling design, a key aspect of change in these areas, and in view of the recommendations of this report that they have a low degree of neighbourhood character significance.

5.2.3. Neighbourhood Character Overlay

This Review has identified seventeen (17) areas with significant neighbourhood character that are recommended for a greater level of statutory protection with a Neighbourhood Character Overlay due to the suitability and additional protection offered with this provision. As previously discussed in Chapter 4.3, further guidance is necessary in relation to the following character elements:

- Demolition
- Building heights
- Built form
- Building colour and materials
- Roofing form and materials

- Front setbacks
- Side and rear setbacks
- Car parking structures
- Impervious surfaces
- Front boundary treatments
- Open space interface

For areas of neighbourhood character significance, it was considered that controls over the design of single dwellings, small scale buildings such as garages, demolition and works are warranted. It is recommended that the proposed modifications to boundaries are undertaken in implementing NCOs for each area.

The Practice Note on Using the Neighbourhood Character Provisions in the Planning Schemes recommends the following criteria for utilising the NCO:

- *“The proposed areas exhibit specific characteristics that need to be protected or changed to achieve a preferred character.*
- *The areas, relative to the rest of the municipality, require a specific approach to neighbourhood character.*
- *The application of local policy, the standard provisions of ResCode or the residential schedules will not satisfy the neighbourhood character objectives identified in the LPPF for the particular areas.*
- *A rigorous character study has been undertaken that accurately shows the physical aspects of character in the area that need to be translated into the provisions of the NCO.*
- *The proposal is supported by appropriate community consultation.* “

It is considered that the detailed analysis conducted during this study has demonstrated that each proposed NCO area is in accordance with these criteria.

5.2.3.1. Overlay Schedules

The most appropriate format of the NCO schedule has been determined through discussion with the DPCD. From this discussion, it was decided to create six different NCO Schedules from the seventeen areas recommended for planning controls. The areas were grouped according to similarities in design objectives, permit requirements and ResCode changes. This was considered to be a more efficient way of introducing the new controls to the Glen Eira Planning Scheme, rather than creating separate schedules for each of the seventeen identified areas.

It should be noted that the recommended controls included in the NCO Schedule do not conflict with the existing requirements of the Residential 1 Zone Schedule.

The proposed NCO Schedules comprise the following areas:

Area 1: The Highway, Bentleigh

The Highway is an intact street of Interwar – early Modern clinker brick and rendered dwellings, set in manicured gardens. The Highway has a highly significant neighbourhood character due to the intactness of the original dwellings and the consistency of its key character elements. This includes the predominant single storey scale and the form, siting and materials of the buildings, the styles and height of front fences and the well landscaped surrounds.

Area 2: Edwardian Era Significant Character Areas

The Edwardian Era Significant Character Areas are distinct streetscapes of Edwardian era dwellings, set in established landscape surrounds. The character of these areas is defined by the consistency of the single storey building scale, use of timber construction and pitched roof forms. The streets have a strong landscape character due to mature street planting and well established gardens. In some streets the Edwardian era character is complemented by later Californian Bungalow style dwellings that retain the sense of dwelling form and spacing of earlier development.

These areas include:

- Derby Crescent, Caulfield East
- Prentice Street, Elsternwick
- Chestnut Street, Carnegie
- McPherson Avenue Area, Carnegie

Area 3: Interwar Era Significant Character Areas:

The Interwar Era Significant Character Areas are distinct streetscapes of Interwar era dwellings set in established landscape surrounds. Interwar era dwelling styles include Californian Bungalows, Spanish Mission, Moderne and Arts and Crafts. While the appearance of these styles may differ, they present an overall consistency of neighbourhood character in terms of their level of design detail, articulation of building and roof form and dwelling spacing.

These areas include:

- St James Parade Area, Elsternwick
- Oakdene Crescent Area, Murrumbeena
- Lydson Street, Murrumbeena
- Lindsay Avenue, Murrumbeena
- Field Street, McKinnon
- Exhibition Street, McKinnon
- Kambea Grove, North Caulfield

Area 4: Victorian and Edwardian Era Significant Character Areas:

The Victorian and Edwardian Era Significant Character Areas are distinct streetscapes representing this era of Glen Eira's development. The neighbourhood character of these areas is formed by the groups of Edwardian and Victorian homes set in leafy streetscapes. While later infill development is evident, it is generally respectful of the form and setbacks of original buildings and the streets retain a strong neighbourhood character as a result.

These areas include:

- Clarinda Street, Caulfield South
- Downshire Road Area, Elsternwick
- Murray Street, Elsternwick

Area 5: Queens Avenue, Caulfield East

Queens Avenue is significant as an intact streetscape of substantial Edwardian and Interwar era villas along the eastern edge of the Caulfield Racecourse. Many of the buildings are of an exemplary design quality with a high standard of architectural detailing. An overall consistency is created through the grand scale of the buildings, the high quality of architectural design and the

established garden setting which combine to form a highly distinctive avenue along the edge of the Racecourse.

Area 6: Body Park Area, Murrumbeena

The Boyd Park Area is significant for its distinctive landscape quality, which is derived from its setting around the public reserves of Boyd Park, the Springthorpe Gardens and Riley Reserve, and from the strong garden suburban character in surrounding streets. The Boyd Park Area is also significant for its many Interwar period buildings, set in streetscapes that show a consistency in front and side setbacks that provide space for substantial planting, pitched roof forms and low front fences.

The DPCD Practice Note on drafting the NCO schedule includes the following headings, and the approach to drafting for each heading is outlined.

5.2.3.2. Statement of Neighbourhood Character

The statement of neighbourhood character details the significance of the NCO and why it is considered to be distinct or distinctive in the context of other residential areas. It also describes the preferred future character of each area

The *preferred character statement* has been drafted from those prepared for each character area, included in [Appendix B](#).

5.2.3.3. Neighbourhood character objectives

Neighbourhood character objectives for each NCO then detail what needs to be achieved to retain and enhance the significance of the area. These objectives will relate to more specific design outcomes than those listed in ResCode (Clauses 54 and 55).

All of the NCOs share the same broad neighbourhood character objectives, which are:

- To ensure that new buildings and works reflect the statement of neighbourhood character of the area.
- To encourage retention of older dwellings that contribute to the valued character of the area.
- To maintain the established pattern of front and side setbacks in the street.
- To ensure that new dwellings or extensions to existing dwellings respect the dominant building height, form, façade articulation, materials and roof forms of the streetscape.
- To ensure that the use of design detail in new buildings complements, rather than mimics, that of the predominant building styles in the street.
- To maintain the pattern of visually permeable front fencing that creates a sense of openness in the streetscape and allows views of dwellings and into front gardens, and complements the building era and style.
- To minimise the loss of front garden space due to car parking and driveways, and minimise the dominance of car parking structures in the streetscape.

Additional neighbourhood character objectives have been added to reflect the character of the dominant architectural style of the area. For the Boyd Park area reference is also made to the landscape character, as its significance is largely based upon landscape, topography and the area's layout around parklands.

5.2.3.4. Permit requirement

The NCO schedule allows for a range of permit triggers. All of the NCOs are recommended to include permit requirements:

- To construct or extend an outbuilding normal to a dwelling.
- To demolish or remove a building.

The Boyd Park area includes additional permit requirements due to its landscape/vegetation significance:

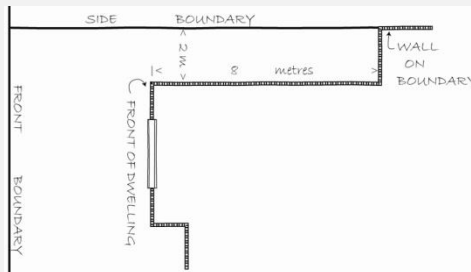
- To remove, destroy or lop a tree.

5.2.3.5. Modification of Clause 54 and Clause 55 standards (ResCode)

Modifications to the ResCode standards are recommended where it is considered that the existing standards are not sufficient to maintain the character of an area.

The following variations to the standards are recommended for all NCOs, aside from The Highway.

Standard	Modified requirement	Comment
Street setback A3 and B6	Equal to the greater setback from the front street of adjacent dwellings within the same Overlay area.	
Walls on boundaries A11 and B18	<p>A wall may be constructed on a boundary where:</p> <ul style="list-style-type: none"> – It is a carport, garage or outbuilding set back 2m behind the front wall of the dwelling, and located on one side boundary only; or – It is any other part of the dwelling and the building is set back a minimum of 2 metres from the side boundary for a distance of 8 metres from the front wall of the building. 	<p>The aim of this recommendation is to maintain the sense of dwelling spacing in the streetscape, which is characterised by a garage on one boundary and a setback distance of the dwelling of an average of 2 metres to the other side boundary.</p> <p>The substantial setback distance of 8 metres of a wall on the boundary from the front wall of the dwelling has been recommended as a guide. It is considered that this distance will help to create an impression of space between adjoining buildings and allow space for planting. It is not based directly upon existing conditions.</p> <p>The 2 metre setback from the side boundary is an average distance taken from the side setbacks of the areas with significant neighbourhood character. (For the Edwardian Era Area NCO a side setback of 1 metre is recommended, as per the measured average).</p>

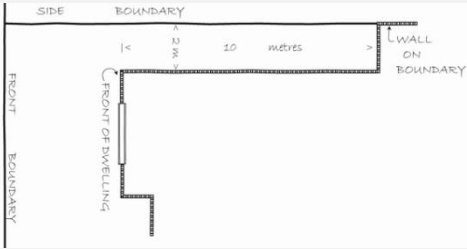


Design detail A19 and B31	<p>The design of buildings, including:</p> <ul style="list-style-type: none"> – Façade articulation and detailing, – Window and door proportions, – Roof form pitch and eaves, – Verandahs, eaves and parapets, – The number of storeys, – Materials and finishes, – Building siting. <p>New buildings should interpret the detailed elements of older dwellings that contribute to the neighbourhood character significance of the area in an innovative and contemporary manner that complements, rather than replicates, period dwelling styles.</p> <p>Second storey elements of new dwellings, and second storey additions to existing dwellings should be sited and designed so that the single storey part of the building, including its roof form, is the dominant visual element when viewed from the street. This will require second storey elements to be:</p> <ul style="list-style-type: none"> – Set back a substantial distance from the front building façade and generally located behind the main ridgeline or highest point of the roof over the ground floor, and – Designed to complement the form and proportions of the existing dwelling or, if a new dwelling, other dwellings in the street. <p>A garage, carport or car space constrained by walls should be:</p> <ul style="list-style-type: none"> – Visually unobtrusive and compatible with the development and the preferred neighbourhood character. – A maximum width of 4 metres where visible from the street. – Located 2 metres behind the front wall of the dwelling. <p>All other requirements of Standards A19 and B31 continue to apply.</p>	<p>A setback distance for upper levels has not been set as it will be determined by the form of the existing roofline.</p> <p>The upper level setback requirement has not been included for Queens Avenue as this is not a key characteristic of the area.</p> <p>The recommended width of garages of 4 metres is based upon analysis of garages in the areas, and the minimum width required for a single garage of today's standard.</p> <p>The setback of garages of 2 metres behind the front wall of a dwelling is considered to be the minimum distance required to create the impression of the garage being recessive to the dwelling.</p>
Front fence height A20 and B32	<p>The design of front fences should complement the era and design of dwellings in the street, and be of visually permeable materials.</p> <p>Note: there are a number of variations in the modifications to ResCode in relation to fencing, depending upon the predominant fencing style in the area – see individual NCO schedules for details.</p>	<p>A fence height of not more than 1.2 metres reflects typical heights of fences that are characteristic of these areas.</p>

5.2.3.6. The Highway

Additional prescriptive controls are recommended for The Highway NCO schedule due to the consistent site layout, building layouts, heights and setbacks, setback patterns, front fences and

location of driveways. This area will benefit from more stringent controls to protect the highly consistent and valued character of this area.

Standard	Modified requirement	Comment
Street setback A3 and B6	Equal to the greater setback from the front street of adjacent dwellings within the same Overlay area.	
Walls on boundaries A11 and B18	<p>A wall may be constructed on a boundary where:</p> <ul style="list-style-type: none"> It is a carport, garage or outbuilding set back at least 10 metres from the front wall of the dwelling, and located on one side boundary only; or <p>It is any other part of the dwelling and the building is setback a minimum of 2 metres from the side boundary for a distance of 10 metres from the front wall of the building. (see sketch)</p> 	<p>The aim of this recommendation is to maintain the consistency of building siting within this street. The recommended dimensions were derived from measurements of GIS data.</p>
	All other requirements of Standards A11 and B18 continue to apply.	
Design detail A19 and B31	<p>The design of buildings should respect the preferred neighbourhood character of the area, specifically in relation to:</p> <ul style="list-style-type: none"> Scale and form, Roof form, pitch and eaves, Number of storeys, Materials and finishes, Façade articulation, Building siting, and Siting and design of driveways, garages or carports. <p>New buildings should interpret the detailed elements of older dwellings that contribute to the neighbourhood character significance of the area in an innovative and contemporary manner that complements, rather than replicates, period dwelling styles.</p> <p>Second storey elements of new dwellings, and</p>	<p>A setback distance for upper levels has not been set as it will be determined by the form of the existing roofline.</p> <p>The recommended width of garages of 4 metres and setback of 10 metres from the front wall of the dwelling is based upon an average distance derived from GIS data.</p>

second storey additions to existing dwellings should be sited and designed so that the single storey part of the building, including its roof form, is the dominant visual element when viewed from the street. This will require second storey elements to be:

- Set back a substantial distance from the front building façade and generally located behind the main ridgeline or highest point of the roof over the ground floor, and
- Designed to complement the form and proportions of the existing dwelling or, if a new dwelling, other dwellings in the street.

A garage, carport or car space constrained by walls should be:

- Visually unobtrusive and compatible with the development and the preferred neighbourhood character.
- A maximum width of 4 metres where visible from the street or not located to the rear of the dwelling.
- Located at least 10 metres behind the front wall of the dwelling.

All other requirements of Standards A19 and B31 continue to apply

Front fence height A20 and B32	<p>The design of front fences should complement the era and design of dwellings in the street, and be constructed of brick or render.</p> <p>A front fence within 3 metres of a street should not exceed a height of 0.5 metres, or 0.8 metres in height for a pillar.</p>	<p>A height of 0.5 metres for the fence and 0.8 metres for the pillar reflects heights of fences throughout the street. This style of fencing is also typical for Kambea Grove.</p>
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5.2.3.7. Decision Guidelines

The NCO allows additional decision guidelines to be specified. Recommended for each of the areas with significant neighbourhood character are:

- The extent to which the proposed buildings or works respects the preferred neighbourhood character of the area.
- The extent to which any building to be demolished, extended or otherwise modified, contributes to the preferred neighbourhood character of the area.

5.2.4. Design and Development Overlay

A Design and Development Overlay (DDO) is recommended for all NCOs, as the introduction of a non-conforming fence would have a substantial impact upon streetscape character. As fencing alone is not a trigger under the NCO, an additional DDO is required. This control only has a permit trigger for fences that do not meet a specified description.

Three DDO Schedules are proposed and they apply to the following areas:

- a. The Highway Bentleigh and Kambea Grove North Caulfield

- b. Prentice Street Elsternwick, Derby Crescent Caulfield, Clarinda Street Caulfield and Chestnut Street Carnegie
- c. All other proposed NCO areas.

The DDO Schedule for The Highway and Kambea Grove has been specifically drafted to reflect the uniform fence heights within those streetscapes that comprise low brick fencing of up to 0.5 metres, with brick pillars of up to 0.8 metres.

The DDO schedule for Prentice Street, Derby Crescent, Clarinda Street and Chestnut Street has specifically been drafted to reflect the uniform timber picket fences up to 1.2m in height.

For all other areas there is a range of fencing styles evident, with the height of original fencing styles generally up to 1.2 metres. The requirements of the DDO can refer to the NCO Schedule which states the style and materials of the fence in each particular area.

5.2.5. Areas of Landscape Significance

Boyd Park is one area of significant neighbourhood character that has been identified for their vegetation quality alone. This includes streets with distinct avenue planting, stands of significant trees along railway reserves and planting in public gardens. In this instance where the vegetation alone is the significant character element, the Vegetation Protection Overlay (VPO) is the appropriate planning tool. The VPO must be justified with a significant tree study of the entire municipality. However, as many of these trees are on Council owned land, an internal management strategy, rather than planning scheme controls, may be the desired approach.

In the Boyd Park Area where landscape significance combines with other elements to create the character such as topography, building form and siting, the Neighbourhood Character Overlay is the recommended approach. This Overlay enables management of most neighbourhood character considerations, including protection trees over 5m in height.

5.2.6. Reference Document

It is recommended that the Final Report is included as a Reference Document within the Planning Scheme, within the MSS, Local Policy and/or NCO Schedules.

5.2.7. SCAs Not Recommended for Overlay Controls

Four of the current SCAs in the Clause 22.08 Policy were found to have a degree of neighbourhood character significance that was similar to surrounding residential areas and did not warrant additional neighbourhood character controls:

- Urandaline Grove, Caulfield
- Normanby Road/Park Crescent, Caulfield North
- Hawthorn Road Tramway Estate, Caulfield South
- Ulupna Road, Ormond.

These areas did not display a particular consistency in the type of dwellings or landscape quality. The character of these areas is mixed and comprises older, original dwelling stock and newer development that presents a different character.

The recommendation of this Review is that all SCAs are to be removed from the Clause 22.08 Policy and only those areas identified in this study as having significant neighbourhood character be included within an NCO. Therefore, these four areas will no longer be afforded any particular reference in the Planning Scheme in terms of their neighbourhood character.

5.3. Other Implementation Options

Non-statutory tools will also provide an important means of implementing Council's neighbourhood character objectives. These include community encouragement and education, staff skilling, design advice and statutory support. These tools are discussed further below.

5.3.1. Training and Promotion

5.3.1.1. Design Guidelines

Design Guidelines have been prepared to accompany this Review (Appendix C). This provides information to illustrate how the preferred future character objectives can be achieved (as required by the project brief). The Guidelines are a highly graphic and illustrative document that is accessible to a wide audience. It should be readily available from Council offices and accessible on Council's website. The Guidelines address the following aspects of development:

- Style indicators for architectural styles of major periods that contribute to the areas of high neighbourhood character significance
- Retention of existing buildings
- Siting of dwellings
- Height and built form
- Detailed design elements
- Height and style of fences
- Maintaining and strengthening the vegetation quality of an area
- Design and siting of garages, carports and driveways
- Design of multi-dwellings

5.3.1.2. Community Encouragement and Education

Community awareness of the importance of neighbourhood character issues is an essential aspect of implementation. This applies to a range of different groups in the community where a range of approaches to communication are required. This includes:

- Education of real estate agents and developers.
- Working with residents' groups and landowners generally.
- Education of design and building professionals.

The Final Report and Design Guidelines will form a large part of this communication. Additional techniques that could be used include:

- Awards or encouragement schemes for 'good character' developments.
- Workshops with residents' groups, Council staff, developers or design professionals.
- Public displays.
- Media articles/events.

5.3.2. Staff Skilling and Design Advice

Council's statutory planners need continued support and training to make the best use of this Review's recommendations. Correct approaches to site analysis, knowledge about acceptable design solutions, familiarity with architectural styles, and consistency of decisions are all important. Training sessions, workshops and review of current applications by urban design consultants are useful techniques. In addition, training may be required by other parts of the Council organisation where the recommendations impact upon public domain works designed and undertaken by engineering personnel or contractors in accordance with specifications prepared by Council staff.

Resourcing may be an issue in the implementation of the recommendations of this Review, as some recommendations such as increasing controls over buildings and vegetation and more detailed assessment of design may result in increased workloads for planning staff. The Council must be aware of this potential and monitor the effect of introducing new controls to ensure that implementation of the Review is effective.

Above all, the Council must determine to 'send out the right message' to the development community through consistent decision making as well as communication techniques discussed earlier. That message must foster an expectation that the best quality design is expected, and that applicants will be subject to delays or refusal if they fail to meet this expectation.

5.3.3. Statutory Support

The main vehicles for statutory support are the Overlay controls and the Local Policy amendments recommended, coupled with the community education and encouragement initiatives referred to above. However, there are allied or associated measures that can be taken.

Possibilities include:

- Permit conditions.
- Better enforcement of planning conditions.
- Increased publicity about penalties.
- Active monitoring of works undertaken without permission (eg illegal carports).
- Local Laws.



Appendices



Appendix A: Neighbourhood Character Type Plan

Character Areas

- 1. Caulfield North (north of Alma)
- 2. Caulfield North (between Alma and Balaclava)
- 3. St Kilda East - Caulfield North (south of Balaclava)
- 4. Elsternwick
- 5. Elsternwick – Prentice Street area
- 6. Caulfield – between Bamba Rd and the racecourse
- 7. Caulfield East – Carnegie
- 8. Glen Huntly, Carnegie, Murrumbeena
- 9. Elsternwick – Caulfield South
- 10. Caulfield South – between Sussex and Bamba Roads
- 11. Carnegie – between Leila Road and North Road
- 12. East Bentleigh, near the corner of Warrigal and Hwy and North Rd
- 13. Ormond, McKinnon and Bentleigh
- 14. East Bentleigh, north of Centre Road
- 15. East Bentleigh, south of Centre Road
- 16. East Bentleigh, near the corner of South Road and Warrigal Hwy

Character Area

Heritage overlay (HO)

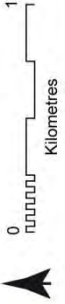
Housing Diversity Areas / Activity Centres (Excluded from survey)

Major roads / Local roads

Rail Line / Station

Neighborhood Character Types

- Victorian / Edwardian Garden Suburban Base with modern overbuilding
- Victorian / Edwardian Inner Urban Base with modern overbuilding
- Edwardian / Interwar Garden Suburban Base with modern overbuilding
- Interwar Garden Suburban Base with modern overbuilding
- Late 1930s-1960s Garden Suburban Base
- 1970s-present Garden Suburban Base





Appendix B: Areas of Significant Neighbourhood Character

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8. St. James Parade, Elsternwick.....	35
9. Exhibition Street, McKinnon	40
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11. Lindsay Avenue, Murrumbeena	48
12. Oakdene Crescent, Murrumbeena	52
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Introduction

Each area of neighbourhood character significance was surveyed in detail to record each neighbourhood character element within both private and public realms.

Two surveys were undertaken during the course of this study, the first in 2006 to collate the detailed information for the *Neighbourhood Character Review 2006*, and recently in 2010 to update and refine the areas identified as having significant neighbourhood character.

A description of each area was drawn from this information, indicating the elements that contribute most strongly to their neighbourhood character. A comparative analysis was then undertaken to assess the relative level of significance of each area and make recommendations on future management strategies.

Methodology

The methodology for the detailed survey was:

Recording of detailed neighbourhood character elements:

- Architectural style
- Building materials
- Roofing form and materials
- Front and side setbacks
- Storey height
- Orientation to street
- Carparking (on or off site, garages etc)
- Garden styles
- Fences / frontage treatment
- Road and footpath treatments
- Street planting
- Subdivision pattern
- Lot size / frontage

Additional notes on the wider location collected such as:

- Notable non-residential uses nearby – schools, shops etc.
- Open space / waterways
- Views and topography
- Noise, traffic, activity if this is of particular note.
- Documenting existing or potential threats to character.
- Boundaries of areas of significant neighbourhood character checked and confirmed.

Following the detailed survey:

- Collation of detailed information to list key character elements for each area.
- Drafting of character statements to understand relationship between key elements of each area.
- Documenting potential threats to main character attributes of each area.
- Mapping of existing and potential areas of significant neighbourhood character.
- Photographs for each area of significant neighbourhood character compiled.

Assessment of significance

The level of significance for each area was determined through comparative analysis against:

- The broad neighbourhood character attributes of all minimal change areas identified in framework survey.
- Other areas of significant neighbourhood character.
- The type and era of development represented in Heritage Overlay areas.
- Typical residential character within the context of metropolitan Melbourne, based on Planisphere's knowledge from other character studies.

From this comparison, it was possible to demonstrate for each area of neighbourhood character significance that the area is exemplar, rare or atypical, shows particular consistency and is under threat from future development.

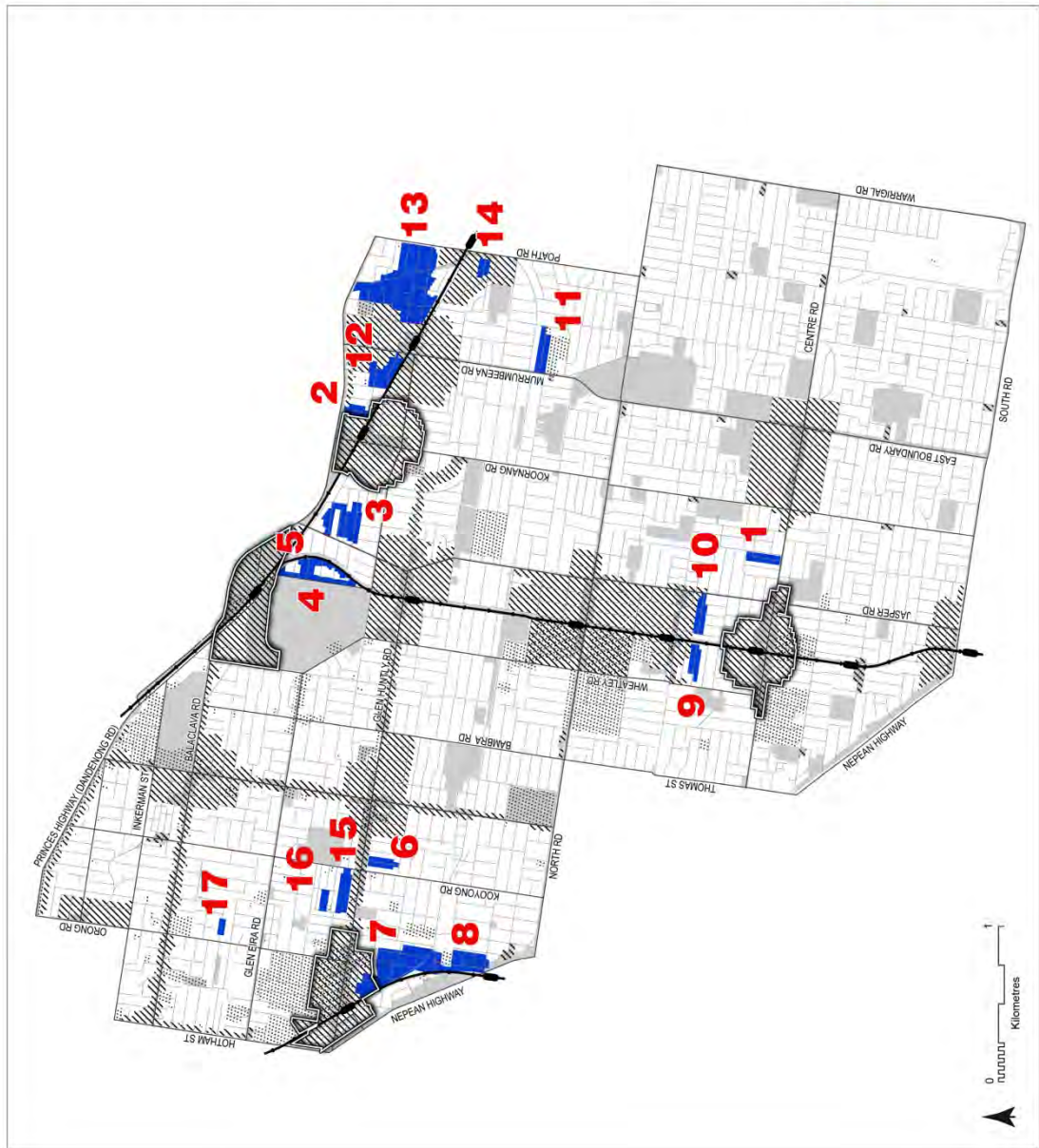
The following map indicates the areas considered to comprise of significant neighbourhood character.

Areas of Significant Neighbourhood Character

1. The Highway, Bentleigh
2. Chestnut Street, Carnegie
3. McPherson Avenue Area, Carnegie
4. Queens Avenue - Caulfield East
5. Derby Crescent, Caulfield East
6. Clarinda Street, Caulfield South
7. Downshire Road, Elsternwick
8. St James Parade, Elsternwick
9. Exhibition Street, McKinnon
10. Field Street, McKinnon
11. Lindsay Avenue, Murrumbeena
12. Oakdene Crescent, Murrumbeena
13. Boyd Park Area, Murrumbeena
14. Lydson Street, Murrumbeena
15. Murray Street, Elsternwick
16. Prentice Street, Elsternwick
17. Kambea Grove, Caulfield North

- Roads
- Rail
- Housing Diversity Areas
- Minimal Housing Change Areas
- Heritage Overlays
- Non Residential Areas
- Urban Villages and Phoenix Precinct
- Areas of Significant Neighbourhood Character

Areas of Significant Neighbourhood Character



1. The Highway, Bentleigh



The Highway

Description

The Highway is an intact street of Interwar – early Modern clinker brick and rendered dwellings, set in manicured gardens. The Highway has a highly significant neighbourhood character due to the intactness of the original dwellings and the consistency of its key character elements. Most buildings retain the original single storey scale which is an integral part of the streetscape character. A distinct Interwar – early Modern picturesque design theme is evident in the form, materials and design detail of each dwelling. Buildings comprise a simple asymmetrical plan form with a projecting front room or small enclosed porch to the front door. Roofs are hipped and tiled with overhanging eaves, and some with gable ends to the street. All buildings include simple decorative features of contrast brickwork or render detailing. Fences are consistently low and constructed of brick. Buildings are regularly spaced and sited, with consistent front and side setbacks and garages located well behind the front facade of the dwelling.





Existing Character Elements

Architectural style	Interwar – early Modern architecture with simple decorative elements. A few buildings have also been inspired by the Arts and Crafts style.
Building materials	All buildings are constructed of clinker brick and render. Some buildings are mostly brick with render details around openings, others are mostly render with decorative brickwork. The use of decorative brickwork gives a distinct texture to the building surfaces.
Building form and layout	Asymmetrical building form and plan with projecting front room and/or small enclosed porch to front entrance.
Roofing	All buildings have hipped tiled roofs.
Front setbacks	Consistent front building setbacks of 6-7m.
Side setbacks	Consistent setbacks of 2m to one boundary and garage to the other.
Storey height	Most buildings are single storey in scale. One original building has a recent second storey addition and near Centre Road there is a recent double storey development.
Orientation to street	All buildings are parallel to property frontage.
Carparking / garaging	Single width driveways with single garages or carports set behind the building frontage so that they do not dominate the streetscape or detract from the architectural integrity of the dwellings. Most garages are original and constructed of clinker brick, with a lawn strip between the pavers. There is one driveway crossing per allotment, generally located on the southern side of the dwellings.

Garden styles	Established picturesque gardens. All properties have lawns and low to medium scale, exotic planting.
Front fences	All front fences are consistently 0.5m in height, with 0.8m pillars and constructed of brick.
Street trees	Medium scale trees, regularly spaced.
Road & footpath treatments	The road has a widened section and small plantation (planted only with lawn) at the bend at the northern end. Footpaths are concrete and 1m wide, with 1.5m nature strips. Concrete kerb and channel.
Subdivision pattern	Street is part of a regular grid layout.
Lot size / frontage	All properties have standard frontage of 15m.
Topography	Land rises up very slightly towards the northern end of the street.

Potential Threats to Character

Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.

Incongruous building style, materials, colour or form of building and roof.

Painting or rendering of exposed clinker brickwork.

Buildings over one storey.

Second storey additions that are highly visible from the street.

Development that breaks the general rhythm of built form along the street.

Boundary to boundary development or reduced frontage setbacks.

Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.

Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.

Change to the location of driveways.

Change to front fencing style, such as removal of a fence, a high fence or a fence of different material other than brick.

Extensive areas of hard paving – greater than existing driveway widths.

Due to the consistency of this streetscape, these threats have significant potential to undermine character.





Citation

A heritage assessment of The Highway was undertaken in 1997 by Bryce Raworth Pty Ltd, which found that the street was a possible candidate for heritage controls. A citation was prepared:

The Highway has a highly significant neighbourhood character due to the intactness of the original dwellings and the consistency of many of its character elements. A distinct Interwar picturesque design theme is evident in the form, materials and design detail of each dwelling (it is likely they were constructed by the one builder). The consistent front and side setbacks and low brick fencing that apply to all properties also create an overall unity and strong sense of spatial rhythm in the streetscape. The distinct visual consonance of The Highway sets this streetscape apart from surrounding residential areas.

2011 Survey Notes

Several changes to the area are noted since the 2006 survey. One new building has been constructed which is a detached double storey dwelling, with a render finish and pitched roof. While the double storey scale is out of character with the streetscape, the detail and form are generally complementary to existing character. The loss of the original building is regrettable. One site has constructed a new garage, however this had been constructed in character with the streetscape and is set behind the front elevation of original dwelling.

Otherwise the character of The Highway remains intact. No change to the extent of the area is recommended.

Recommendation

The Highway has a high degree of neighbourhood character significance. The recommendations for this area remain unchanged since the 2006 report.

The current planning policy and controls do not provide protection from the most significant threats to this streetscape which include loss of the original dwelling stock, double storey buildings, prominent garaging and incongruous colour and materials selection. No change to the extent of the area is recommended.

The heritage study undertaken by Bryce Raworth for The Highway demonstrated the significance of this street – due to its intactness.

Heritage significance aside, it is recommended that a Neighbourhood Character Overlay (NCO) be applied. The NCO should include controls relating to:

- New dwellings or second storey additions should be single storey height, as viewed from the street.
- Garages or carports must not be visually prominent from the street and remain of a single car width and recessed from the building line.

- Materials and colour of new buildings or additions/alterations should be consistent with the clinker brick and render of the existing buildings.
- New roofs should be of the same form, pitch and materials as the existing buildings.
- Front and side setbacks must be retained.
- Buildings should be articulated through use of the asymmetrical plan form with front porch and use of simple contrast brick or render.
- New fencing should be consistently low and of brick construction, up to 0.5m or 0.8m for pillars.

No changes to the boundary of The Highway are recommended.

A key character feature of The Highway is the consistent brick fencing along the street boundary. It is recommended that a Design and Development Overlay be applied to protect the consistency of this type of fencing.

The DDO should require a permit to construct a front or side fence, unless it meets the following requirements:

- It is a front fence within 3 metres of a street and does not exceed 0.5 metres in height, or 0.8m in height for a pillar.
- It is constructed of brick or render in a style and colour that complements the dwelling and predominant fence style of the street; or
- It is a side fence forward of the dwelling that does not exceed 1.2 metres in height.

Preferred Character Statement

A Preferred Character Statement, rather than a citation, would be included in the NCO schedule:

The Highway is an intact street of Interwar – early Modern clinker brick and rendered dwellings, set in manicured gardens. The Highway has a highly significant neighbourhood character due to the intactness of the original dwellings and the consistency of its key character elements. This includes the predominant single storey scale and the form, siting and materials of the buildings, the styles and height of front fences and the well landscaped surrounds.

The preferred neighbourhood character for The Highway is defined by the continued presence of Interwar – early Modern dwellings combined with new dwellings that complement the key characteristics of the streetscape. New buildings will retain the single storey scale of the streetscape, with upper levels well recessed from the front facade. Buildings will be constructed of brick or render and articulation will be achieved through asymmetrical plan forms, pitched roofs with eaves and simple design detail. Consistent front and side setbacks will reinforce the distinct spatial rhythm of the street and provide space for well landscaped gardens. Low scale brick fencing will reflect the established style of fencing and retain the sense of openness in the streetscape.

2. Chestnut Street, Carnegie



Description

Chestnut Street is a distinct streetscape of Edwardian dwellings and early California Bungalows. The character of the streetscape is defined by several consistent elements: a single storey scale; timber construction; an asymmetrical plan form with projecting front room and verandah; and pitched roof forms. Regular frontage setbacks and spacing between each building allow space for landscaping. Many of the buildings are finished in light colours and this creates a sense of 'lightness' of built form in the streetscape. Low timber picket or permeable front fences allow views to the dwellings and their established gardens.





Existing Character Elements

Architectural style	Mostly Edwardian dwellings and early Californian Bungalows. Isolated Interwar buildings, 1960s flats.
Building materials	Edwardian dwellings and Californian Bungalows are constructed of timber.
Building form and layout	Asymmetrical building form and plan with projecting front room and porch.
Roofing	Pitched roofs of iron or tiles.
Front setbacks	Setbacks are consistently small (4-5m).
Side setbacks	Earlier buildings have small side setbacks to both boundaries (1-3m to each boundary) while later buildings may have space for a garage at one side.
Storey height	Predominantly single storey. A block of double storey 1960s flats are an anomaly.
Orientation to street	Dwellings parallel to street.
Carparking / garaging	Earlier buildings do not have space for cars. Several later Interwar homes have side driveways. Carspaces have sometimes been paved in the front setback.
Garden styles	Established, exotic garden and canopy trees (low to medium level).
Front fences	Predominantly low-average height timber picket fencing (up to 1.2m).
Street trees	Native species – regular spacing and sizing.
Road & footpath treatments	Upstanding bluestone kerbs, footpath and nature strip present on both sides.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	The land is generally flat.



Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Incongruous building style, materials, colour or form of building and roof.
- Painting or rendering of exposed brickwork.
- Buildings over one storey.
- Second storey additions that are highly visible from the street.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development or reduced frontage setbacks.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- Change to the location of driveways.
- Change to front fencing style, such as removal of a fence, a high fence or a fence of different material other than brick.
- Extensive areas of hard paving – greater than existing driveway widths.
- Due to the consistency of this streetscape, these threats have significant potential to undermine character.

2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey.

Upon review, it is recommended that the area is reduced in size to remove non-contributory properties at the northern end. These buildings are 80s villa units and Interwar/Postwar moderne dwelling and flats and do not relate to the character of the rest of the street. It is not considered that potential higher density redevelopment of these sites (in the instance that they are designated part of the Housing Diversity Area) would impact adversely upon the remainder of the streetscape.

Recommendation

Chestnut Street has a high degree of neighbourhood character significance and is distinct from surrounding residential areas.

It is recommended that Chestnut Street is maintained as an area of neighbourhood character significance and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The NCO for Chestnut Street should highlight the distinct Edwardian era character of the area.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof forms with eaves.
- Use of verandahs or projecting front room to provide facade articulation.
- Predominant single storey building height.
- Building form, scale and design of second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of Chestnut Avenue has been identified.

A DDO should be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; and
- It is constructed of timber pickets in a style that complements the predominant fencing style in the street; or
- Is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred neighbourhood character of Chestnut Street will be defined by the many original timber dwellings with their established garden settings and new dwellings that complement these styles. New development will reflect the predominant scale and form of existing buildings, which includes a single storey building height at the street frontage and use of pitched roof forms with eaves. Building articulation will be achieved through the use of asymmetrical plan forms and simple design detail. Timber construction or light colour finishes will maintain the sense of 'lightness' of built form in the streetscape. Front and side setbacks will allow space for landscaping. Low timber picket or permeable front fences will allow views to the dwellings with their established gardens and retain the openness of the streetscape.

3. McPherson Avenue Area, Carnegie



Description

The McPherson Avenue area is characterised by the presence of many intact Edwardian era dwellings and California Bungalows, set within landscaped gardens and well planted streetscapes. An overall consistency of character is created by the regular pattern of frontage setbacks and dwelling spacing, asymmetrical building forms with projecting front room and porch, and pitched roofs. Original dwellings are generally constructed of timber, finished in a light colour and with simple design detail. Many front fences are low or permeable, allowing views to front gardens and creating an open, spacious feel.





Existing Character Elements

Architectural style	Predominantly original Edwardian dwellings and Californian Bungalows. Infill development is evident and is modern or reproduction in style.
Building materials	Most original buildings are constructed of light coloured timber, some with render elements. New dwellings or units are often constructed of brick.
Building form and layout	Generally, asymmetrical building form and plan with projecting front room and porch.
Roofing	Pitched iron or tiled.
Front setbacks	Relatively consistent within each streetscape. Ranging from small (4-5m) to average (6-7m).
Side setbacks	Ranging from small (1-3m) to average (1m to one boundary and garage to the other).
Storey height	Mixture of original single storey dwellings and those with second storey additions. There are several examples of second storey additions to original buildings that are of an overwhelming scale.
Orientation to street	Dwellings parallel to street.
Carparking / garaging	Earlier buildings have no carspace or paving area in frontage setback. Later buildings have carspace, carport or garage at side or rear.
Garden styles	Established exotic gardens, many with canopy trees.
Front fences	Fences are low to average height (1-1.2m). Occasional high fences >1m. Many fences are of design and materials that are appropriate for the era and style of the house.
Street trees	Exotic and native species, including flowering gums.
Road & footpath treatments	Upstanding kerbs with footpath and nature strip present on both sides (except Craigavid). Mostly bluestone kerbs and some channels.
Subdivision pattern	Grid.

Lot size / frontage	10-20m.
Topography	Land is generally flat.



Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Incongruous colour or form of building and roof.
- Double storey buildings or second storey additions that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Removal of bluestone kerbing.

2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey.

Upon review it is recommended that Craigavad Street is excluded from the area, which has a lower degree of consistency than the other streets of the area. Most original dwellings in Craigavad Street have imposing second storey additions, and other sites support non-contributory buildings. Due to the street layout of the area, there is also a sense of physical segregation from the rest of the precinct.

In addition, several properties fronting Grange Road are also not considered to contribute to the character of the area and are recommended for removal.

2013 Response to Amendment C87 Panel

In response to submissions received and recommendations from the Panel, properties along Hollywood Grove were recommended for inclusion. These properties were found to display a similar degree of significance and consistency to the McPherson Avenue area with Edwardian and Interwar building styles, consistent siting patterns and uses of timber.

Recommendation

The McPherson Avenue area has a high degree of significance and is distinct from surrounding residential areas. It is recommended that it is maintained as an area of neighbourhood character significance and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for McPherson Avenue should highlight the distinct Edwardian era character of the area.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of McPherson Avenue has been identified.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred future character of the McPherson Avenue Area will be defined by the many Edwardian era dwellings and Californian Bungalows and new dwellings that are respectful of these building styles. New development will reflect the rhythm of dwelling form and spacing in the streetscape, including front and side setbacks that allow space for substantial landscaping, pitched roof forms with eaves and variation in the form of front façades. Upper level additions will be set back from the front facade so that they are visually recessive and buildings will be finished with light coloured materials. Fencing styles of a low height and constructed of permeable materials will complement the dwelling design and retain the sense of openness in the streetscape, allowing views to front gardens and dwellings.

4. Queens Avenue, Caulfield East



Description

Queens Avenue is highly significant for its historic associations with the Caulfield Racecourse that have seen the development of many substantial Federation and Interwar era villas. The lot sizes are generally large and most buildings are double storey in scale. There is a range of dwelling types that represent well the different architectural styles of the late C19th and early C20th. Many of the buildings are of an exemplary design quality with a high standard of architectural detailing.



Roof forms are often elaborate or steeply pitched, and many buildings contain upper levels within attic spaces. Building facades are well articulated through the use of asymmetrical plan forms, with a projecting front room or porch, and the use of textured brick or render. While front and side setbacks are varied, they consistently establish a sense of space around each dwelling and allow for landscaped front gardens.

While the character of the street is a mixture of period building styles, there is an overall consistency in the grand scale of the buildings, a high quality of architectural design and the

garden setting created by large front setbacks. These elements combine to form a highly distinctive avenue along the edge of the Racecourse.

Previously, the Queens Avenue significant neighbourhood character area was part of a much larger area of significant neighbourhood character comprising Derby Crescent and the connecting residential streets between the two main roads. However following the recent survey, it was considered that the character areas of Queens and Derby were different from one another and warranted separate controls, while new developments undertaken in the most of the adjoining streets have lowered the significance of those areas and did not warrant further protection.



Existing Character Elements

Architectural style	Large 'mansion' style dwellings, many of which appear to be architect designed and are examples of the finest quality buildings from the Federation-Interwar eras.
Building materials	Many buildings are constructed of brick, or render.
Building form and layout	Grand, double storey scale dwellings. Many of these are set on large, well landscaped lots.
Roofing	Generally pitched, with tiles or iron.
Front setbacks	Average (6-7m) to generous (8-10m) setbacks.
Side setbacks	Average (1m to one boundary and garage to the other) to spacious setbacks (3-4m).
Storey height	Predominantly double storey.
Orientation to street	Dwellings are parallel to the street.
Carparking / garaging	Most buildings have a carspace, carport or garage at the side or rear of dwellings.
Garden styles	Established, exotic gardens and some canopy trees.
Front fences	There are a range of fencing heights, styles and materials.
Street trees	Exotic species, irregular spacing and growth. Large trees and heavy undergrowth is located along the racecourse fence on the western edge of Queens Avenue.
Road & footpath treatments	Footpath and nature strip present on both sides.
Subdivision pattern	Grid and crescent.
Lot size / frontage	10 – 30m
Topography	Land is generally flat.

Potential threats to character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Incongruous colour or form of building and roof.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).

2011 Survey Notes

Only a minor change has occurred since the 2006 survey, comprising a two storey dual occupancy of brick townhouses on Queens Avenue. Otherwise this area remains intact.

As noted, it is recommended that a separate SCA is created for Queens Avenue, as its character is significantly different to Derby Crescent and the connecting streets.

2013 Response to Amendment C87 Panel

In response to submissions received and recommendations from the Panel, non-contributory properties at the southern end of Queens Avenue have been removed from the area.

Recommendation

The Queens Avenue Precinct comprises three distinct character areas: Queens Avenue along the eastern edge of the Caulfield Racecourse; Derby Crescent which runs along the railway line to the east; and the connecting streets of Epsom, Moodie, Tattenham, Clifton and Lord Streets.

Queens Avenue and Derby Crescent have a high degree of significance and are distinct from other residential areas in the municipality. Queens Avenue and Derby Crescent also have potential heritage significance.

It is recommended that the area is reduced in size to focus only on those parts with a high degree of neighbourhood character significance. It is proposed that the area of significant neighbourhood character is divided into two distinct areas of Queens Avenue and Derby Crescent. As these two areas have a different character, they would require separate NCO schedules.

It is proposed that the connecting streets are not included in the NCO, aside from Moodie Street. The 2006 report noted that these streets have a mixed character of no particular neighbourhood character significance. These streets were recommended for inclusion in the NCO area in order

to encourage new development that was more in keeping with the character of the area. However, it is considered that development within these streets will not pose a potential threat to the significance of either Queens Avenue or Derby Crescent. It is not possible to draft an NCO Schedule for an area of such mixed character.

The recommended NCO for Queens Avenue should highlight the exemplary design qualities of the buildings in this area, and note the high standard of architectural detailing used in each dwelling. In Queens Avenue, statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height and style in keeping with era of building.
- Building and roof form.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of Queens Avenue has been identified. In particular, the importance of the planting along the edge of the racecourse in Queens Avenue as a distinct part of this streetscape is recognised.

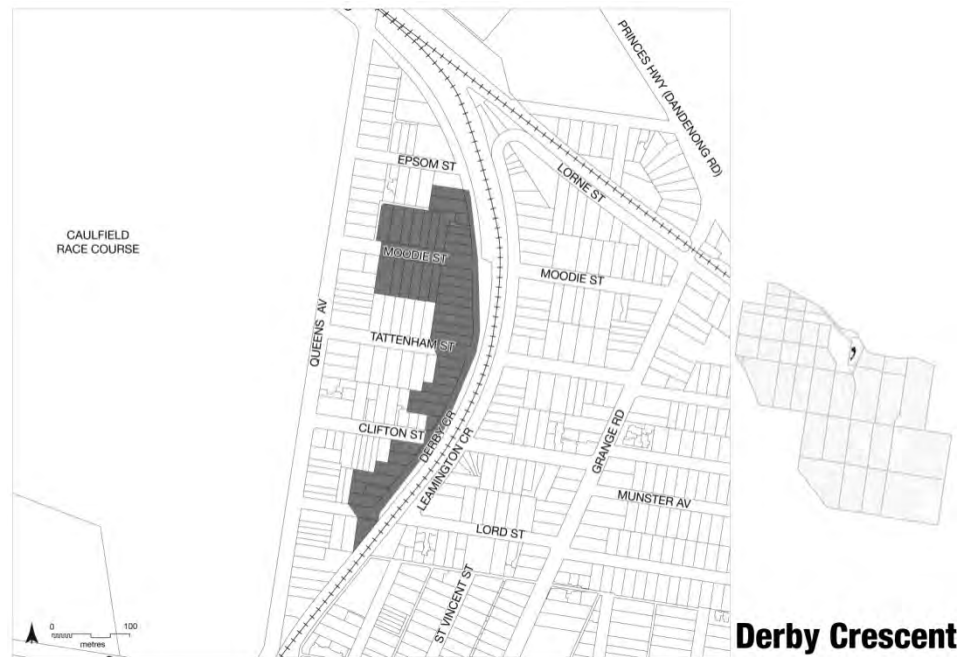
The use of a DDO is recommended in order to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statements

The preferred future character of Queens Avenue will comprise the continued presence of the original Edwardian and Interwar era villas, as well as new buildings that respect the key characteristics of the streetscape. New development will reflect the scale of neighbouring buildings and exhibit a high standard of architectural design and detail. Buildings will be articulated by way of variations in plan and roof form and the composition of materials. Front and side setbacks will maintain the sense of space within the streetscape and allow for the planting of substantial vegetation. Fencing styles of a low height or constructed of permeable materials will complement the dwelling design and allow views to front gardens and dwellings.

5. Derby Crescent, Caulfield East



Description

Derby Crescent (as well as Moodie Street) is significant as a substantially intact streetscape of Edwardian era cottages. The buildings are highly consistent in terms of their scale, form and siting, with all buildings presenting a single storey height to the street, regular, small front and side setbacks and pitched roofs. Articulation is provided through asymmetrical plan forms with a projecting front room, gable end to the street and verandah, complemented by simple architectural detailing. Along Derby Crescent, north of Clifton Street, and within Moodie Street, all original buildings are constructed of timber and finished in a light colour, with many appearing to be almost identical in design. South of Clifton Street, there is a greater variety in the colours and materials of buildings. Front fences are generally moderate height timber picket, allowing views into the gardens. The curvilinear road layout following the railway line adds to the character of this street.



Derby Crescent is significant as a substantially intact streetscapes of Edwardian era cottages. The buildings are highly consistent in terms of their scale, form and siting, with all buildings presenting a single storey height to the street, regular, small front and side setbacks and pitched roofs. Articulation is provided through asymmetrical plan forms with a projecting front room, gable end to the street and verandah, complemented by simple architectural detailing. North of Clifton Street and within Moodie Street, all original buildings are constructed of timber and finished in a light colour, with many appearing to be almost identical in design. South of Clifton Street there is a greater variety in the colours and materials of buildings. Front fences are generally moderate height timber picket, allowing views into the gardens. The curvilinear road layout following the railway line adds to the character of this street.



Existing Character Elements

Architectural style	Almost uniformly, modest Edwardian timber cottages.
Building materials	Predominantly light coloured timber north of Clifton Street and within Moodie Street. Mixed colours and building materials south of Clifton Street.
Building form and layout	The original Edwardian era buildings are consistently asymmetrical with a projecting front room and side verandah.
Roofing	Generally pitched, with tiles or iron. Original buildings have pitched iron roofs with front gable.
Front setbacks	Small (4-5m) to average (6-7m) setbacks.
Side setbacks	Small to average, ranging from 1 to 3m.
Storey height	Predominantly single storey.

Orientation to street	Dwellings are parallel to the street.
Carparking / garaging	Most buildings have a car space, carport or garage at the side or rear of dwellings. Edwardian cottages have paved car spaces in frontage setback.
Garden styles	Established, exotic gardens and some canopy trees.
Front fences	Predominantly average height timber picket fencing up to 1.2m.
Street trees	Exotic species, irregular spacing and growth.
Road & footpath treatments	Footpath and nature strip present on both sides.
Subdivision pattern	Grid and crescent.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential threats to character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Incongruous colour or form of building and roof.
- Buildings over one storey, or second storey additions, where second storey elements are highly visible from the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Removal of bluestone kerbing.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).
- Development within the connecting streets of Epsom, Tattenham, Clifton and Lord that is out of scale and character with buildings on Derby Crescent, where visible from this street.

2011 Survey Notes

As noted, it is recommended that a new SCA is created specifically for Derby Crescent.

It is recommended that the northern end of Derby Crescent is excluded from the area. This comprises predominantly modern townhouses and flats and only one older building which is visually removed from the other older building stock south of Epsom Road.

It is also recommended that the description is amended to remove reference to Queens Avenue.

2013 Response to Amendment C87 Panel

In response to submissions received and recommendations from the Panel, Moodie Street was investigated for inclusion within the Derby Crescent area. The street comprises mostly Edwardian timber cottages displaying a high degree of consistency, similar to the Derby Crescent area, and this recommendation is therefore supported.

Recommendation

It is recommended that the area is reduced in size to focus only on those parts with a high degree of neighbourhood character significance. It is proposed that the area of significant neighbourhood character is divided into two distinct areas of Queens Avenue and Derby Crescent (together with Moodie Street). As these two areas have a different character, they would require separate NCO schedules. The recommended NCO for Derby Crescent should highlight the distinct Edwardian era character of the area.

In Derby Crescent, statutory provisions should address these neighbourhood character elements:

- Building scale and design of second storey additions.
- Colour of buildings.
- Dwelling spacing – front and side setbacks.
- Fencing height and style in keeping with era of building.
- Building and roof form.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; and
- It is constructed of timber pickets in a style that complements the predominant fencing style in the street; or
- Is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statements

The preferred future character of Derby Crescent will be defined by the many Edwardian era dwellings with their highly consistent scale, form and siting, and new dwellings that complement these styles. New development will adopt small front and side setbacks that are consistent with the streetscape pattern and a single storey building height at the street frontage with second storeys recessed. Articulation will be achieved through asymmetrical plan forms with a projecting front room or verandah and pitched roofs with eaves and a gable end to the street, complemented by simple architectural detailing. North of Clifton Street, buildings will be constructed of timber and finished in light colours to reflect the existing pattern of development. Fencing styles of a low height and constructed of timber pickets will complement the dwelling design and retain the sense of openness in the streetscape.

6. Clarinda Street, Caulfield South



Description

Clarinda Street is significant as a streetscape of Victorian, Edwardian and Interwar period dwellings set in garden surrounds. While there is a range of architectural styles, the streetscape has a consistency of character in the landscaped frontage setbacks, the space between each building, pitched roof forms with eaves and a predominant single storey scale. Building facades are articulated through variations in plan and roof form, and simple architectural detailing typical of the era of development. In addition, the mature canopy trees in private gardens and street planting create a leafy environment.





Existing character elements

Architectural style	Mostly Edwardian and Californian Bungalows. Occasional Victorian and 1940-1950s styles. Three 1990s dwellings.
Building materials	Brick.
Building form and layout	Edwardian and Californian Bungalows have asymmetrical plan with projecting front room and verandah. Victorian buildings are often double fronted. Postwar buildings are asymmetrical, double-fronted.
Roofing	Pitched tiled roofing with projecting eaves.
Front setbacks	Relatively consistent, average setbacks of 6-7m.
Side setbacks	Average (2m to one boundary and garage or carport to the other).
Storey height	Predominantly single storey. The 1990s dwellings are double storey.
Orientation to street	Dwellings parallel to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling, where provided.
Garden styles	Established exotic gardens and some canopy trees.
Front fences	Predominantly low to average height timber picket fencing (up to 1.2m).
Street trees	Exotic and native species – regular spacing and sizes.
Road & footpath treatments	Upstanding bluestone kerbs and footpath and nature strip on both sides.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Boundary to boundary development.
- Reduced frontage setbacks and loss of garden space.
- Further intrusions into the streetscape of double storey buildings that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Second storey additions to period dwellings that are highly visible and not in keeping with the form, massing and window proportions of the original dwelling.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Removal of bluestone kerbing.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).

2011 Survey Notes

Only one minor change has occurred to Clarinda Street since 2006. Otherwise its character remains intact and no changes are recommended to the description or boundary.

Recommendation

Clarinda Street has a high degree of significance and is distinct from surrounding residential areas.

It is recommended that it is maintained as an area of neighbourhood character significance and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for Clarinda Street should highlight the Victorian and Edwardian era character of the area.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Predominant single storey scale.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised.

No change to the extent of the area is recommended.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; and
- It is constructed of timber pickets in a style that complements the predominant fencing style in the street; or
- Is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred neighbourhood character of Clarinda Street will be defined by the many Victorian, Edwardian dwellings and Interwar era dwellings and new dwellings that are respectful of the streetscape character. New development will reflect the rhythm of dwelling form and spacing in the streetscape, including front and side setbacks that allow space for substantial planting. Buildings will be articulated through pitched roof forms with eaves, variations in plan and roof form and simple architectural detailing typical of the era of development. Upper level additions will be set back from the front facade so that they are visually recessive. Fencing styles of a low height and constructed of permeable materials will complement the dwelling design and retain the sense of openness in the streetscape and the established garden setting.

7. Downshire Road, Elsternwick

It is recommended that the previous area of significant neighbourhood character comprising of St James Parade and Downshire Road is divided into two areas, as the characteristics and significance of each is quite distinctive.



Description

The Downshire Road Area displays a distinct neighbourhood character due to the groups of Edwardian and Victorian homes set in leafy streetscapes. While modern infill development is evident, it is generally respectful of the form and setbacks of original buildings and the streets retain a strong neighbourhood character as a result. The streetscapes have a consistency of character in the landscaped frontage setbacks, the space between each building, pitched roof forms with eaves and a predominant single storey scale. Building facades are articulated through variations in plan and roof form, and simple architectural detailing typical of the era of development. Adding to the character of the area is the complex street layout, comprising gridded and curvilinear streets, and the land sloping gently away from Glen Huntly Road.



Existing character elements

Architectural style	Clusters of Edwardian and Victorian. Dispersed Interwar and modern infill.
Building materials	Brick or timber.
Building form and layout	Range of building forms including asymmetrical plan with projecting front room, and double fronted.
Roofing	Pitched tiled or iron.
Front setbacks	Range from small (3m) to average (6-7m).
Side setbacks	Generally average (1m or greater to one boundary, garage to the other).
Storey height	Mostly single storey, some second storey additions to original buildings.
Orientation to street	Parallel.

Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees.
Front fences	Range of fencing heights and styles, to suit era of development, such as iron palisade, picket, low brick. High fences along Riddell Parade.
Street trees	Exotic and native species – irregular spacing and sizes. Some areas of inconsistent street trees.
Road & footpath treatments	Upstanding kerbs, mostly concrete. Bluestone channels in parts.
Subdivision pattern	Grid with Riddell Parade curved to follow former railway easement.
Lot size / frontage	Mostly 10-20m. Northern end of Downshire Road terraces and row cottages have frontages <10m.
Topography	Land slopes down to Riddell Parade.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development or reduced frontage setbacks, where not the pattern of development of surrounding buildings.
- Double storey buildings or second storey additions that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Removal of bluestone channels.

2011 Survey Notes

Minor changes to the area are noted since the 2006 survey, in the form of several new single dwellings and unit developments.

The 2011 survey revealed that several adjoining streets to the north could also be considered for inclusion in the area. The northern section of Riddell Parade, Carre Street and Stanley Street were also found to have an intact and consistent streetscape character of a similar quality to the original area of significant neighbourhood character. These streets were originally not investigated as they are included within the housing diversity area. However, it is recommended that they should also be considered as a part of the area of significant neighbourhood character.

Upon review it is recommended that the eastern side of Shoobra Street is not included in the area of significant neighbourhood character as the character is very mixed. It is recommended that the Downshire Road area of significant neighbourhood character is extended to include the

northern section of Downshire Road and Orrong Road to Rowan Street and the eastern side of Shoobra Road.

Recommendation



The Downshire Road area has a high degree of significance and is distinct from other residential areas in the municipality.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for Downshire Road should highlight the Victorian and Edwardian era character of the area.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or

- It is a side fence forward of the dwelling not greater than 1.2 metres in height.



Preferred Character Statement

The preferred future character of the Downshire Road area will be defined by the many Edwardian and Victorian buildings and new development that is respectful of the streetscape context. The key characteristics of landscaped front setbacks that allow adequate space for planting, side setbacks that maintain the rhythm of dwelling spacing in the street and pitched roof forms with eaves will be maintained. New dwellings alongside period buildings will respect their form and scale. Façade articulation will be achieved through variations in plan form and simple architectural detailing. Fencing styles of a low height and constructed of permeable materials will complement the dwelling design and retain the sense of openness in the streetscape.

8. St. James Parade, Elsternwick



Description

The St James Parade Area is significant as an intact collection of Interwar era dwellings with highly consistent neighbourhood character attributes. Most buildings are Californian Bungalows and display common characteristics of an asymmetrical plan form with a projecting front room, deep verandah with prominent piers and a wide eave overhang. Several buildings are of the Interwar Spanish Mission style and these feature arches and columns in their facade articulation. All buildings have a strong horizontal emphasis in their facade proportion. Roof forms are pitched and varied, some with gable ends to the street. Building scale is generally single storey or with a second storey contained within the attic space. Buildings are finished with light coloured timber or render walls, or exposed red brickwork, and have simple detail in contrasting materials. With the consistency of the buildings and the established planting of the landscaped setbacks, the St James Parade Area forms a distinct Interwar garden suburban environment.





Existing character elements

Architectural style	Predominantly Interwar Californian Bungalows with examples of Interwar Spanish Mission.
Building materials	Light coloured timber or render, or exposed red brick.
Building form and layout	Generally, asymmetrical building form and plan with projecting front room and porch.
Roofing	Pitched tiled, some with gable ends to the street. Wide overhanging eaves.
Front setbacks	Consistent setbacks of 6-7m.
Side setbacks	Consistent setbacks of 1m to one boundary and garage to the other.
Storey height	Predominantly single storey with occasional second storey additions. Some original buildings have second storeys contained within an attic space.
Orientation to street	Dwellings parallel to street.
Carparking / garaging	All buildings have carspace, carport or garage at side or rear.
Garden styles	Established exotic gardens, many with canopy trees.
Front fences	Fences are generally low and of a design and materials that are appropriate for the era and style of the house.
Street trees	Established exotic and native species, consistent planting.
Road & footpath treatments	Upstanding concrete kerbs with footpath and nature strip present on both sides.

Subdivision pattern	North section follows former railway easement with angular street layout. Remainder of area is a grid.
Lot size / frontage	10-20m.
Topography	Land slopes gently to the south of the area.



Potential Threats to Character

- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development or reduced frontage setbacks.
- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Incongruous building style, materials, colour or form of building and roof.
- Painting or rendering of exposed brickwork or previously unpainted render.
- Buildings over one storey, or second storey additions, where second storey elements are highly visible from the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High fences of solid material.
- Extensive areas of hard paving – greater than existing driveway widths.

2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey.

The 2011 survey revealed that several adjoining streets could also be considered for inclusion in the area. Elster Avenue to the south also has a very similar character to the area and is highly consistent and intact. Buildings to the north along Riddell Parade are recommended for inclusion in this area, rather than the Downshire Road Area to the north, as they are also of the same character.

Recommendation

It is recommended that the St. James Parade area of significant neighbourhood character is extended to include the streets east of St. James Parade (Nagle Ave, Clonard Ave, Duffy Ave and Gogh St).

The St James Parade Area has a high degree of significance and is distinct from other residential areas in the municipality as an intact Interwar estate.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for St. James Parade should highlight the Interwar era character of this area.

The area has also been identified as having potential heritage significance.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the scale, form and spacing of street trees is recognised.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

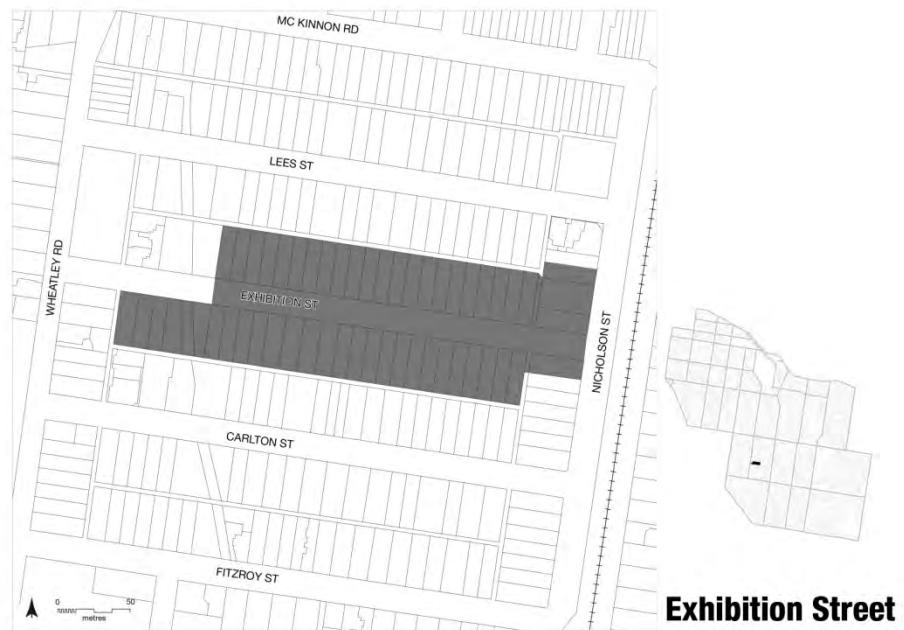
- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred future character of the St James Parade Area will be defined by the many original buildings of this highly distinct Interwar garden suburban environment, as well as new development that is respectful of the established character. New development will adopt the key characteristics of buildings in the area, namely the single storey height, consistent frontage and side setbacks that allow space for substantial planting and low pitched roof forms with wide eaves that create a horizontal emphasis. Upper level additions will be set back from the front facade so that they are visually recessive. The design detail, including the use of render and textured brickwork, and the high degree of façade articulation created through variations in plan and roof form will also be reflected in new buildings. Fencing styles of a low height will complement the dwelling design and retain the sense of openness in the streetscape by allowing views to dwellings and their established gardens.

9. Exhibition Street, McKinnon

It is recommended that the previous area of significant neighbourhood character comprising of Exhibition and Field Street is divided into two discreet areas as their existing qualities and level of significance are considered to require different approaches to management.



Description

Exhibition Street is a streetscape of Interwar timber dwellings which display highly consistent neighbourhood character attributes. While some of the buildings have experienced alterations to their detailed design and appearance over the years, there is a strong consistency in the character of the street overall. This is due to the single storey scale, pitched roof forms, regular front and side setbacks and timber construction with Interwar detailing. Architectural styles are characteristically simple versions of California Bungalows and Mediterranean Interwar. Most buildings have a projecting front room or recessed porch. The smaller lot sizes are also a distinct feature of the street. The street is relatively open with low scale street trees and few canopy trees in gardens. There are, however, many high fences.





Existing character elements

Architectural style	1930s timber cottages.
Building materials	Predominantly timber.
Building form and layout	Generally, asymmetrical building form and plan with projecting front room and porch.
Roofing	A mix of pitched tiled and pitched iron.
Front setbacks	Small front setbacks of 4-5m.
Side setbacks	Average side setbacks of 1m to one boundary and garage to the other.
Storey height	Predominantly single storey (< 80%).
Orientation to street	Dwellings parallel to the street.
Carparking / garaging	Carspace, carport or garage to the side or rear of dwelling. Several buildings have a paved carspace in frontage setback.
Garden styles	Established exotic garden – medium to low level.
Front fences	Mixed front fences, many of which are high and solid.
Street trees	Mixed species, regular spacing, medium to low level.
Road & footpath treatments	Upstanding concrete kerbs, footpath and nature strip present on both sides.
Subdivision pattern	Grid.
Lot size / frontage	10m exactly.
Topography	Land is generally flat.

Potential threats to character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Incongruous building style, materials, colour or form of building and roof.
- Extensive areas of hard paving – greater than existing driveway widths.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development or reduced front setbacks.

- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material. There are many high fences existing in the area, so this represents a desired future character rather than a maintenance of existing character.
- The existing Special Building Overlay (SBO) for this area requires new buildings to be constructed with a floor level 800mm above ground level. New development may therefore may have a higher overall building height, however all other neighbourhood character requirements should still be met.

2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey.

It is recommended that the description is changed to read '*Exhibition Street is an intact street of Interwar timber dwellings...*' removing reference to the degree of intactness.

No change to the extent of the area is recommended.

2013 Response to Amendment C87 Panel

In response to submissions and recommendations from the Panel, non-contributory properties at the eastern end of Exhibition Street and on Wheatley Road have been removed from the area.

Recommendation

Exhibition Street has a high degree of significance and is distinct from surrounding residential areas.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Edwardian era character.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the scale, form and spacing of street trees is recognised.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the

design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred future character of Exhibition Street will be defined by the many original Interwar buildings, as well as new development that is respectful of the established character. New development will adopt the key characteristics of buildings in the street, namely the single storey height, consistent frontage and side setbacks that allow space for planting and pitched roof forms. Second storey elements of new buildings or additions to existing buildings will be set back from the street. New buildings will also adopt a similar lightness of built form with timber construction or light coloured finishes. Façade articulation will be provided through variations in plan form and simple architectural detail. Front fencing of a low height or constructed of visually permeable materials will allow views of the dwellings and their gardens.

10. Field Street, McKinnon



Description

Field Street is significant as an intact street of Californian Bungalows and other Interwar or early Modern style dwellings. There is a consistency of character created by the regular frontage setbacks, the space between each building and the well articulated dwelling forms typified by these early C20th architectural styles. There is a range of materials used, including brick, timber or render with exposed brick detail, and this adds variety to the streetscape.



Existing Character Elements

Architectural style	Californian Bungalows, 1930s styles, Arts and Crafts and clinker/dark brick dwellings.
Building materials	A mix of building materials including render dwellings with decorative or patchwork brickwork.
Building form and layout	Generally, asymmetrical building form and plan with projecting front room and porch.
Roofing	Pitched tiled roofing.
Front setbacks	Average (6-7m).
Side setbacks	Average (1m to one boundary and garage to another).
Storey height	Predominantly single storey (< 80%) with several second storey additions.
Orientation to street	Dwellings set parallel to the street.
Carparking / garaging	Carspace, carport or garage at the side or rear of the dwelling.
Garden styles	Established exotic gardens, occasional canopy trees
Front fences	Open – low front fences (< 1m) with occasional high timber paling fences.
Street trees	Exotic species – irregular space and sizes.
Road & footpath treatments	Upstanding concrete kerbs, footpath and nature strip present on both sides.
Subdivision pattern	Grid.
Lot size / frontage	10 – 20m.
Topography	Land slopes away to the west and south of Field Street.

Potential threats to character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Painting or rendering of exposed brickwork or previously unpainted render.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- Change to front fencing style, such as removal of a fence, a high fence or a fence of different material other than brick.
- Extensive areas of hard paving – greater than existing driveway widths.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- High front fences, or fences constructed of an impermeable material.

2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey. No change to the description or extent of the area is recommended.

Recommendation

Field Street has a high degree of significance and is distinct from surrounding residential areas.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Interwar era character.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the scale, form and spacing of street trees is recognised.

Aside from separation from Exhibition Street, no change to the extent of the area is recommended.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred character statement

The preferred future character of Field Street will include its retention as an Interwar streetscape of a consistent dwelling style, scale and siting. Original buildings will be retained where possible and new development will adopt the key characteristics of buildings in the street. This includes the predominant single storey height, consistent frontage and side setbacks that allow space for planting, pitched roof forms and well articulated facades. A range of materials and finishes, including brick, timber or render with exposed brick detail, will add variety to the streetscape. Fencing styles of a low height will complement the dwelling design and retain the sense of openness in the streetscape.

11. Lindsay Avenue, Murrumbeena



Description

Lindsay Avenue is significant as a streetscape of mostly Interwar dwellings, with many Californian Bungalows. There are also a number of early Modern buildings. The many period dwellings reflect the original development of the area and form a relationship with the adjacent Interwar heritage area of the Beauville Estate. Lindsay Avenue has consistent neighbourhood character attributes of regular front setbacks and space between buildings that creates a regular rhythm of built form in the street. Buildings of all eras also have pitched tiled roofs and generally facades are well articulated. Established gardens create a leafy suburban environment.





Existing Character Elements

Architectural style	Californian Bungalows, Interwar, 1940s brick and contemporary.
Building materials	Brick or render.
Building form and layout	Many have asymmetrical plan with projecting front room.
Roofing	Pitched tiled roofing.
Front setbacks	Average setbacks of 6-7m.
Side setbacks	Average setbacks of 1m to one boundary and garage or carport to the other.
Storey height	Generally single storey. Several buildings have second storey extensions.
Orientation to street	Dwellings parallel to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees. Low to medium level.
Front fences	Mixed front fences.
Street trees	Exotic species, irregular spacing and sizes.
Road & footpath treatments	Upstanding concrete kerbs, footpath and nature strip present on both sides.
Subdivision pattern	Grid.
Lot size / frontage	Frontages of 13-15m are common.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- New buildings that don't respect the scale, form, siting and detailed design of adjacent period buildings.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.

- Double storey buildings or second storey additions that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single car space.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).



2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey. No. 11 and 43 both have a second storey addition, while no. 11 has also been rendered, however these changes do not affect the character of the streetscape. No change to the description or extent of the area is recommended.

Recommendation

Lindsay Avenue has a high degree of significance and is distinct from surrounding residential areas.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Interwar era character.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the scale, form and spacing of street trees is recognised.

No change to the extent of the area is recommended.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

For the preferred future character of Lindsay Avenue, the spacious Interwar garden suburban environment will be maintained. Original buildings will be retained and new development will adopt the key neighbourhood character elements. This includes the consistent frontage and side setbacks that allow space for planting, pitched roof forms and well articulated facades typical of the Interwar era. Second storey elements of new buildings or additions to existing buildings will be set back from the street. Low front fences will allow views to the buildings and gardens to contribute to the streetscape character and to maintain the sense of openness.

12. Oakdene Crescent, Murrumbeena



Description

The Oakdene Crescent Area is significant as an intact Interwar subdivision with a range of styles of the era represented, including Moderne, Arts and Crafts, Spanish Mission and Californian Bungalows. Only a small number of buildings have been altered. There is a high degree of uniformity in the streetscape due to consistent front and side setbacks and the gardens that are established with low level picturesque planting. All buildings have pitched roof forms, asymmetrical plans and well articulated facades with rich detailing. Adding to the character of the area is the curvilinear street layout. The unaltered state of many of the dwellings, including the retention of many original front fences is quite distinctive in the context of surrounding residential areas.



Existing character elements

Architectural style A range of interwar styles including Moderne, Arts and Crafts, and Spanish Mission styles. Some Californian Bungalows.

Building materials Brick predominantly. Some Californian Bungalows have timber.

Building form and layout Many have asymmetrical plan with projecting front room or porch.

Roofing Pitched tiled roofing.

Front setbacks Average setbacks of 6-7m.

Side setbacks Average setbacks of 1m or greater on one boundary and garage to the other.

Storey height	Predominantly single storey, with occasional second storey additions.
Orientation to street	Dwellings are set parallel to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees. Medium scale.
Front fences	Low to average height 0.5 to 1m. Occasional higher fences.
Street trees	Native species – regular spacing and sizes.
Road & footpath treatments	Upstanding kerbs. Some bluestone channels. Footpath and nature strip present on both sides of the road.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- New buildings that don't respect the scale, form, siting and detailed design of adjacent period buildings.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Double storey buildings or second storey additions that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).



2011 Survey Notes

Only one minor change to the area is noted since the 2006 survey, with a new Federation-style, two storey dual occupancy dwelling developed at no. 23 Oakdene Crescent..

It is recommended that the description is changed to read '*The Oakdene Crescent Area is significant as an intact Interwar subdivision...*' removing reference to the degree of intactness.

The area of significant neighbourhood character boundary is recommended to be extended as per the 2006 report, but with the inclusion of several additional dwellings along Blackwood Street that are in keeping with the character of the area. There are several modern non-contributory buildings in this additional cluster east of Acacia Street which was the rationale for them not being included in 2006. However, upon review it seems acceptable to extend the area of significant neighbourhood character to include the buildings in this cluster that are contributory. It should be noted that this additional area encroaches on a housing diversity area.

2013 Response to Amendment C87 Panel

In response to submissions received and recommendations from the Panel, the area is extended to include additional contributory properties along Blackwood Street and Oakdene Crescent.

Recommendation

Oakdene Crescent has a high degree of significance and is distinct from other residential areas in the municipality. It is recommended that the area is expanded to include dwellings in Blackwood Street and Murrumbeena Road.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Interwar era character.

It has also been identified as having potential heritage significance.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised.

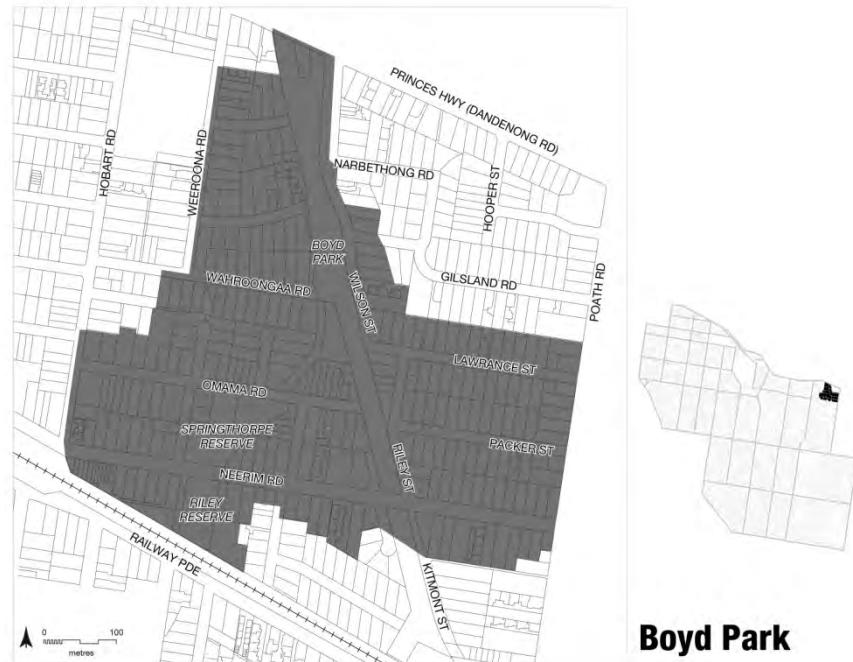
A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred future character of the Oakdene Crescent Area will be created by the retention of its spacious Interwar garden suburban environment. Original buildings will be retained and new development will adopt the key characteristics of buildings in the area. This includes the single storey height, consistent frontage and side setbacks that allow space for planting, pitched roof forms and well articulated facades. Façade articulation will be achieved through the use of asymmetrical plan forms and architectural detailing that reflects the Interwar dwelling styles. Fencing styles of a low height will complement the dwelling design and retain the sense of openness in the streetscape.

13. Boyd Park, Murrumbeena



Description



The Boyd Park Area is significant for its distinctive landscape quality, which is derived from its setting around the public reserves of Boyd Park, the Springthorpe Gardens and Riley Reserve, and the strong garden suburban character in surrounding streets.

Boyd Park is a linear reserve set on former railway land, running north-south through the area. This reserve has an unstructured, natural quality with its native plantings and informal layout. The topography of surrounding streets slopes down into Boyd Park and it is the focal point of the area. There are many properties adjoining the reserve and the planting in private gardens makes an important contribution to the overall landscape character of the reserve and the wider area.

The southern continuation of the Boyd Park reserve extends into Kitmont Street which has a unique quality with its unmade road surface and buildings on the eastern side of the street fronting the adjacent open space. While of a mixed architectural character, they are well screened from the reserve by established vegetation and large canopy trees.



The Springthorpe Gardens on Neerim Road provide a contrasting landscape quality to the Boyd Park reserve with a formal layout and exotic planting theme of lawns, flower beds and large canopy trees such as oaks, pines and elms. The established exotic planting of properties adjoining the Springthorpe Gardens also contribute to a distinct landscape character, with planting themes flowing beyond the park to the surrounding streets. On the southern side of Neerim Road, opposite the Springthorpe Gardens, the smaller and more informal Riley Reserve also adds to the open, well landscaped character of the area.

The Boyd Park Area retains many Interwar period buildings which are an important part of the area's character. This includes many Californian Bungalows, as well as examples of Interwar Mediterranean or Old English. Of particular note are Astolat Avenue and Joyous Guard Court which are intact streets of Interwar Mediterranean dwellings with complementary low fences, both of which may have heritage value. Other streets which have a more mixed architectural character still display a consistency of front and side setbacks that provide space for substantial planting, pitched roof forms and low front fences.



Existing Character Elements

Architectural style

There is a range of architectural styles in the area however the character is derived from a combination of Californian Bungalows and other interwar era styles. There are a number of newer infill developments including 1960s flats, and contemporary reproduction styles.

Building materials

Brick and timber.

Building form and layout

Many buildings have an asymmetrical form, although this varies with the architectural style.

Roofing	Pitched tiled and pitched iron roofing.
Front setbacks	Average (6-7m).
Side setbacks	Average (1m or greater on one boundary and garage to the other).
Storey height	Predominantly single storey. The 1960s flats and contemporary dwellings are two storey.
Orientation to street	Generally, dwellings are set parallel to the street. On some curved streets such as Wahroonga Street dwellings are angled to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees. Large scale. Gardens adjoining public reserves generally have a strong connection with the planting in the public reserves.
Front fences	Low average height 1m to 1.2m. Occasional higher fences.
Street trees	Native species – irregular spacing and sizes (regular in some parts).
Road & footpath treatments	Upstanding bluestone kerbs. Footpath and nature strip present on both sides of the road. Kitmont Street is an unmade road.
Subdivision pattern	Grid.
Lot size / frontage	10-20m
Public reserves	Boyd Park and Springthorpe Gardens. The public reserves are a very important element in establishing the distinct character of the streets in this area.
Topography	This area has a distinct topography with land sloping down towards Boyd Park.

Potential Threats to Character



- Loss of vegetation quality and canopy trees, particularly adjacent to parks.
- Poor response to park interfaces in terms of built form and landscape design.
- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.

- New buildings that don't respect the scale, form, siting and detailed design of adjacent period buildings.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Double storey buildings or second storey additions that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Loss of canopy trees in private gardens or street trees.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).

2011 Survey Notes

No substantial changes to the area are noted since the 2006 survey. Several sites at the western end of Neerim Road have recently been redeveloped, otherwise, the character of the area remains intact.

The description of the area has been amended to refer to Riley Reserve, on the south side of Neerim Road, as this small park also makes a contribution to the landscape character of the area.

In addition, the potential heritage value of Astolat Avenue and Joyous Guard Court has been noted.

It is also recommended that Kitmont Street is removed from the area as the dwellings in this section are very mixed in character and do not relate visually to the rest of the area of significant neighbourhood character. As a result, the NCO controls for the built form of the area of significant neighbourhood character would not be relevant to this section. In addition, its character is derived largely from elements in the public domain, namely the street vegetation and unmade road surface.

2013 Response to Amendment C87 Panel

In response to submissions received and recommendations from the Panel, several non-contributory properties at the perimeter of the area have been removed.

Recommendation

Boyd Park has a high degree of significance and is distinct from other residential areas in the municipality.

It is recommended that the area is maintained as an area of significant neighbourhood character, with several modifications to the boundary:

- Area should be extended to include the southern side of Neerim Road.
- Kitmont Street excluded from the NCO, for the reasons state above.
- Sites at the corner of Weroona Road and Dandenong Road excluded as their character is mixed and they have little relation to the remainder of the area.
- Parts of Gisland Road and Narbethong Road excluded as their character is too mixed.

It is recommended that the area is afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings.

Astolat Avenue and Joyous Guard Court have been identified as having potential heritage significance.

Statutory provisions should address the following neighbourhood character elements:

- Landscape quality and sense of planting themes flowing between public reserves and adjacent private gardens.
- The distinct topography that slopes down to Boyd Park.
- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised. The unmade surface of Kitmont Street is also recognised as contributing to the neighbourhood character of the area

It is also important to address the interface between the park and adjoining residential properties to ensure any new developments will not negatively impact the high quality public amenity of the park.

The contrasting landscape themes of Boyd Park, the Springthorpe Gardens and Riley Reserve are a key characteristic of this area and should be maintained.

A study of the municipality's significant trees may recommend trees within the public reserves for statutory control via the Vegetation Protection Overlay.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred neighbourhood character of the Boyd Park Area will be defined by the enhancement of this unique Interwar era garden suburban environment. Original buildings and established canopy trees will be retained where possible. New development will complement the key characteristics of the streetscape by adopting pitched roof forms with eaves, well articulated facades and setbacks that allow adequate garden space for substantial planting. On sites adjoining the public reserves dwellings will be sited and designed to provide an attractive and well landscaped interface with the reserve. Throughout the area, front fences that are of a low height or constructed of permeable material will allow views to the buildings and gardens as an integral part of the streetscape character.

Neighbourhood Character Objectives

Additional neighbourhood character objectives are recommended for this area:

- To preserve and enhance the unique landscape character of the area, which extends across the open spaces and into adjacent private gardens and street planting.
- To maintain the prominence of vegetation in the area by retaining established vegetation, particularly medium to large sized canopy trees, and the planting of substantial vegetation.
- To ensure that the scale, siting and form of new development protects and enhances the uninterrupted landscape character of the area.
- To retain adequate space for landscaping by reflecting the established pattern of dwelling spacing.
- To ensure that buildings adjoining the reserves present a profile against the landscape setting that allows the landscaping to remain a key feature of the area.
- To ensure that garden spaces and views to dwellings are unencumbered by garages, outbuildings or expanses of hard paving.
- To retain views to dwellings and their gardens from the street by ensuring front fences are either low or constructed of permeable materials.
- To encourage retention of existing Interwar buildings that contribute to the neighbourhood character of the area.

14. Lydson Street, Murrumbeena



Description

Lydson Street is significant as an intact street of Californian Bungalows and other Interwar dwellings. There is a high degree of consistency in the form, scale and setbacks of the buildings that creates a sense of rhythm and spaciousness in the street and has allowed a garden character to be established. Many of the dwellings in the area are unaltered, and retain the original Interwar style of the front gardens and fences. In this regard, Lydson Street is distinct from surrounding residential areas.



Existing character elements

Architectural style	Mostly Californian Bungalow, occasional other Interwar.
Building materials	Mostly timber, some brick or brick detail.
Building form and layout	Asymmetrical building form and plan with projecting front room and porch.
Roofing	Pitched tiled roofing.

Front setbacks	Average (6-7m).
Side setbacks	Average (1m on one boundary and garage to the other).
Storey height	Predominantly single storey. Only a few buildings have second storey additions.
Orientation to street	Dwellings parallel to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees. Medium scale.
Front fences	Mixed front fences, many in keeping with character of buildings.
Street trees	Exotic species – irregular spacing and sizes.
Road & footpath treatments	Upstanding concrete kerbs.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- New buildings that don't respect the scale, form, siting and detailed design of adjacent period buildings.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Double storey buildings or second storey additions that are not designed to be in keeping with the form, massing, window proportions and setbacks of other buildings in the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).

2011 Survey Notes

Minor changes have occurred since 2006, with one new dwelling and one instance of new second storey additions. Otherwise, the streetscape is intact.

It is recommended that the description is changed to read '*Lydson Street is significant as an intact street...*' removing reference to the degree of intactness.

No change to the extent of the area is recommended.

Recommendation

Lydson Street has a high degree of significance and is distinct from surrounding residential areas.

It is recommended that it is maintained as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Interwar era character.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the scale, form and spacing of street trees is recognised.

No change to the extent of the area is recommended.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

For the preferred future character of Lydson Street, the spacious Interwar garden suburban environment will be maintained. Original buildings will be retained and new development will adopt the key characteristics of street. This includes the consistent frontage and side setbacks that allow space for planting, pitched roof forms with eaves and facades that are articulated through variations in plan form or simple detail typical of the Interwar era. Second storey elements of new buildings or additions to existing buildings will be setback from the street. Low front fences will allow views to the buildings and gardens to contribute to the streetscape character and to maintain the sense of openness.

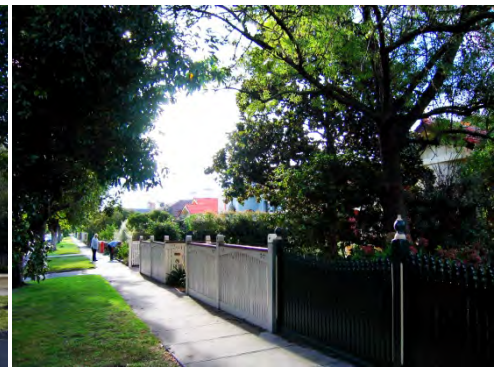
15. Murray Street, Elsternwick



Description

Murray Street is a Victorian and Edwardian era streetscape with many of the original buildings remaining and well preserved. Mostly the street comprises detached villas on relatively large lots set in garden surrounds, giving the street a sense of spaciousness. However, there are also rows of cottages and terraces towards the western end of the street. There is a distinct neighbourhood character evident in Murray Street with an overall consistency of building spacing, frontage setbacks with well established gardens, a predominantly single storey scale and pitched roof forms. In addition, the street is distinctive for its overall width and substantial footpaths and nature strips. While later overbuilding has occurred, including several Interwar dwellings and one contemporary dwelling, these have generally been respectful of the established neighbourhood character.





Existing Character Elements

Architectural style	Victorian and Edwardian era base with overbuilding of Interwar era. Only one contemporary building.
Building materials	Mostly brick, some timber or render, depending on era of development.
Building form and layout	Many asymmetrical plan forms with projecting front room or porch. Several symmetrical double fronted Victorian era dwellings.
Roofing	Mostly pitched tiled roofs, several iron.
Front setbacks	Average (6-7m), consistent setbacks.
Side setbacks	Most houses have setbacks that are average (1m to one boundary and garage to the other) or large (3m to both boundaries). In the western end of the street, row housing or semi-detached differs from side setback pattern.
Storey height	Most single storey, several attic styles. One recent second storey addition to an Edwardian house.
Orientation to street	Parallel to the street.
Carparking / garaging	Mostly carspace, carport or garage at the side or rear of the dwelling. Row housing has on street parking.
Garden styles	Established exotic gardens, some with canopy trees of medium to high level.

Front fences	Mixed fencing styles. Many are appropriate for the era of the dwelling. Several higher fences (1.5m) of stone with iron palisade for Victorian dwellings. Many picket fences. Occasional inappropriate high fences.
Street trees	Mixed species and irregular sizes, although well established and regularly spaced.
Road & footpath treatments	Wide street reserve. Bluestone kerbs. Footpath and wide nature strip present on both sides of the road.
Subdivision pattern	Grid.
Lot size / frontage	Most are 10-20m. Row or semi-detached housing <10m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street (spacious to the east, more contained to the west).
- Boundary to boundary development, where this is not the setback pattern of adjacent sites.
- Reduced frontage setbacks.
- Double storey buildings or second storey additions that are out of scale with the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single car space.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences or fences constructed of an impermeable material.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).



2011 Survey Notes

Minor changes have occurred since 2006, with one new second storey addition and one building having been rendered. Otherwise, the streetscape is intact.

No change to the description is recommended.

It is recommended that the extent of the area is reduced to exclude non-contributory buildings at the western end of the street.

Recommendation

Murray Street is not included in the current Local Policy as a Significant Character Area.

Murray Street has a high degree of significance and is distinct from other residential areas in the municipality.

It is recommended that Murray Street is nominated as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Victorian and Edwardian era character.

Murray Street has also been identified as having potential heritage significance.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of Queens Avenue has been identified.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; or
- It is a front fence within 3 metres of a street and does not exceed 0.8 metres and is constructed of brick or render in a style that complements the dwelling; or
- It is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred future character of Murray Street will be defined by the many Victorian, Edwardian and Interwar era buildings and new development that is respectful of the streetscape context. The key characteristics of landscaped front setbacks that allow adequate space for planting, side setbacks that maintain the rhythm of dwelling spacing in the street and pitched roof forms with eaves will be maintained. New dwellings alongside period buildings will respect their form and scale. Façade articulation will be achieved through variations in plan form to produce a projecting

front room or porch, or the use of a front verandah, and simple architectural detailing. Fencing styles of a low height and constructed of permeable materials will complement the dwelling design and retain the sense of openness in the streetscape.

16. Prentice Street, Elsternwick



Description

Prentice Street is a small pocket comprising a row Edwardian era timber cottages. Located behind the Glen Huntly Road shopping strip, it represents an area of inner urban development which is uncommon in Glen Eira. As a contrast to most other residential areas in the municipality, the road reserve and footpaths are narrow and without nature strips and the dwellings are set on small lots with minimal front and side setbacks. As a consequence it is the built form that is the predominant characteristic of the street space, rather than the spaces or gardens around them.

The buildings have a highly consistent pitched roof form and single storey scale, with upper level additions mostly included in attic spaces, and use of light coloured timber. The regular spacing of the buildings is a distinct characteristic, with regular front setbacks that allow space for small garden areas, and very narrow spacing in between each building. Fences are generally of low height timber pickets, appropriate to the dwelling style.





Existing Character Elements

Architectural style	Edwardian.
Building materials	Timber, light colours.
Building form and layout	Single or double frontage row cottages.
Roofing	Pitched iron.
Front setbacks	Minimal (0-3m).
Side setbacks	Minimal (built to one side boundary).
Storey height	Predominantly single storey (<80%).
Orientation to street	Dwellings parallel to street.
Carparking / garaging	On street carparking.
Garden styles	Established exotic gardens and small trees.
Front fences	Predominantly low to average height timber picket fences (up to 1.2m)
Street trees	Exotic species – regular spacing and sizes.
Road & footpath treatments	Upstanding bluestone kerbs present on both sides of the road.
Subdivision pattern	Grid.
Lot size / frontage	<10m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street.
- Incongruous colour or form of building and roof.
- Buildings over one storey, or second storey additions, where second storey elements are highly visible from the street.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.

- High front fences, or fences constructed of an impermeable material.
- Removal of bluestone kerbing.



2011 Survey Notes

Minor changes have occurred since 2006. Several buildings have new second storey additions, all of which are constructed of timber and in keeping with the character. One new building has been constructed in brick and render and another original building has been painted a prominent dark colour both of which conflict with the existing character of the streetscape.

Otherwise, the streetscape overall retains a highly intact character.

No change is recommended to the extent of the area.

Recommendation

Prentice Street is not included in the current Local Policy as a Significant Character Area.

Prentice Street has a high degree of significance and is distinct from other residential areas in the municipality, particularly as a representation of an inner urban environment, which is uncommon in Glen Eira.

It is recommended that Prentice Street is nominated as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Edwardian era character.

Prentice Street has also been identified as having potential heritage significance.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.

- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street that is at least 25% visually permeable to allow views to front gardens and dwellings and does not exceed 1.2 metres in height; and
- It is constructed of timber pickets in a style that complements the predominant fencing style in the street; or
- Is a side fence forward of the dwelling not greater than 1.2 metres in height.

Preferred Character Statement

The preferred future character of the Prentice Street Area will be defined by the Edwardian era timber cottages together with new development that is respectful of the key characteristics of the street. This includes retention of the single storey dwelling scale, small front and side setbacks and pitched roof forms with gable ends to the street. The use of timber and light coloured materials is also a key aspect of the area's character. Low height timber picket fencing will maintain the consistency of fencing in the street and the views to dwellings.

17. Kambea Grove, Caulfield North



Description

Kambea Grove is significant as a collection of Interwar dwellings, set within garden surrounds. There is a distinctive range of Interwar architectural styles including Spanish Mission, Arts and Crafts and Art Deco, many of which are of a fine architectural quality. While building styles are varied, this area is unified by the form and articulation of buildings and consistent frontage setbacks that allow space for established exotic garden styles.





Existing Character Elements

Architectural style	Interwar mix of Moderne, Spanish Mission and Arts and Crafts. Altered and contemporary buildings.
Building materials	Brick.
Building form and layout	Many asymmetrical plan forms with projecting front room or porch.
Roofing	Pitched tiled roofs.
Front setbacks	Average (6-7m), consistent setbacks.
Side setbacks	Average (1m to one boundary and garage to the other).
Storey height	Mixture of single and double storey, attic style on the north side of the street.
Orientation to street	Parallel to the street.
Carparking / garaging	Carspace, carport or garage at the side or rear of the dwelling.
Garden styles	Established exotic garden with canopy trees, medium to high level.
Front fences	Consistent low brick fencing, approx 0.5m to 0.8m in height.
Street trees	Exotic species – irregular spacing and sizes.
Road & footpath treatments	Upstanding kerbs. Footpath and nature strip present on both sides of the road.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of original buildings, particularly if replaced with new buildings that do not respond to the key characteristics of the street.
- Development that breaks the general rhythm of built form along the street.
- Boundary to boundary development.
- Reduced frontage setbacks.
- Buildings with an overall rectangular or box form or extensive surfaces of unarticulated brick or masonry.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or large scale garaging, particularly if constructed forward of the building line, or dominating the width of the frontage.
- High front fences, or fences constructed of an impermeable material.
- Highly visible reduction in frontage widths (i.e. that may result in additional crossovers, smaller front gardens or building forms).



2011 Survey Notes

Minor changes have occurred since 2006. One new building is constructed of brick with black render and no visible roof form, which forms a stark contrast along the streetscape due to the colour and box-like form. Otherwise, the streetscape is intact.

It is recommended that the area of significant neighbourhood character is extended east to Otira Road to include other Interwar dwellings. The original recommendation did not include this cluster due to a break in the streetscape character with several non-contributory buildings, however upon review it is considered an appropriate response to extend the area this far.

Recommendation

Kambee Grove is not included in the current Local Policy as a Significant Character Area.

Kambee Grove is considered significant in terms of neighbourhood character. In addition, several of its buildings have been identified as having potential individual heritage significance.

It is recommended that it is designated as an area of significant neighbourhood character and afforded statutory protection via Local Policy and NCO, thereby requiring a permit for demolition and construction of all buildings, including single dwellings. The recommended NCO for this area should highlight the Interwar era character.

Statutory provisions should address the following neighbourhood character elements:

- Dwelling spacing – front and side setbacks.
- Fencing height.
- Colour and materials of buildings.
- Predominant pitched roof form.
- Design of double storey buildings and second storey additions.
- Garaging, carports, extent of hard paving.
- Additional crossovers.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees is recognised.

A DDO is recommended to be applied to this area to maintain the character of low front fences and to ensure that the front and side fences within the building frontage will complement the design and materials of the preferred neighbourhood character. The overlay should require a permit to construct a front fence or side fence that does not meet the following requirements:

- It is a front fence within 3 metres of a street and does not exceed 0.5 metres in height, or 0.8m in height for a pillar.
- It is constructed of brick or render in a style and colour that complements the dwelling and predominant fence style of the street; or
- It is a side fence forward of the dwelling that does not exceed 1.2 metres in height.

Preferred Character Statement

The preferred future character of the Kambea Gove Area will be defined by the continued presence of the Interwar era buildings, together with new development that is respectful of the key characteristics of the street. This includes variations in building and roof form, with pitched roofs and eaves, and careful use articulation through use of projected or recessed facade elements and simple architectural detailing. Landscaped front setbacks will allow adequate space for substantial planting and side setbacks will maintain the rhythm of dwelling spacing in the street. Fencing styles of a low height and constructed of permeable materials will complement the dwelling design and retain the sense of openness in the streetscape.

Previous areas of significant neighbourhood character

Urandaline Grove, Caulfield



Description

Urandaline Grove is a short curving street with a number of intact Interwar homes, including several fine examples of Spanish Mission villas, adjoining the Glen Eira Road heritage area. The street has seen significant changes to its original dwelling stock which includes substantial additions to a number of buildings or new dwellings that are of a different style and scale to the Interwar base. There is no significant planting in the street. As a result, Urandaline Grove does not retain a cohesive neighbourhood character.



Existing Character Elements

Architectural style	Base of Interwar styles, mostly Spanish Mission, with extensive modern overbuilding.
Building materials	Brick, render or concrete on all buildings.
Building form and layout	Mixed.
Roofing	Mostly pitched tiled roofing.
Front setbacks	Average setbacks of 6-7m.
Side setbacks	Average side setbacks of 1m to one boundary and garage to the other.
Storey height	Predominantly single storey although several new buildings or additions that are prominent double storey due to their form.
Orientation to street	On straight sections dwellings are set parallel to street. All dwellings are oriented in the same direction, so where the street curves houses are angled to the street frontage.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established, exotic gardens with low scale planting. Only several canopy trees.
Front fences	Mixed front fences ranging from original low brick fences to high palisade or solid fences.
Street trees	Exotic species, irregular growth and spacing.
Road & footpath treatments	Upstanding concrete kerbs. Footpath and nature strip present on both sides.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of remaining Spanish Mission villas.
- Threats that apply to all minimal change areas.

Recommendation

Urandaline Grove is not considered to display a sufficiently distinctive or consistent neighbourhood character to warrant augmented policy or particular overlay controls.

However, the intact Interwar dwellings have been identified as having potential heritage significance for their C20th architectural heritage (as Moderne buildings).

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of Queens Avenue has been identified.

Normanby Road/Park Crescent, Caulfield North



Description

This area is defined by the street alignment which follows the eastern edge of Caulfield Park and the raised edge of the railway embankment. They have a mix of building styles dating from the Victorian era to the present and a varied subdivision pattern. Normanby Road includes a number of small Victorian era terraces which represent an inner urban character type, which is uncommon in Glen Eira. Park Crescent and Kambrook Road have a high number of modern buildings. Normanby Road and Park Crescent both have significant planting, with avenues of exotic trees.



Park Cres



Kambrook Rd



Normanby Rd

Existing Character Elements

Architectural style	A mixture of styles, ranging from the Victorian era to the present. This includes original terrace housing, 1970s flats, 1980s public housing and detached dwellings of all eras.
Building materials	Predominantly brick with some timber.
Building form and layout	Mixed.
Roofing	Generally pitched, a mix of tiles and iron.
Front setbacks	Setbacks range from small (4-5m) to average (6-7m).
Side setbacks	Setbacks range from terrace (boundary to boundary) to average (1m to one boundary and garage to the other).
Storey height	A mixture of single and double storey.
Orientation to street	Dwellings parallel to street.
Carparking / garaging	Larger and later detached dwellings have a carspace, carport or garage at side or rear. On street parking for terraces or earlier cottages.
Garden styles	Established, exotic gardens and some canopy trees.
Front fences	Mixed front fences. High fences on Normanby Road.
Street trees	Exotic species, regular spaces and sizes. Normanby Road and Park Crescent have distinct avenue planting.
Road & footpath treatments	Upstanding bluestone kerbs, footpath and nature strip present on both sides
Subdivision pattern	Irregular, curvilinear.
Lot size / frontage	<10 - 20m.
Topography	Land is generally flat. The heavily planted railway embankment on Normanby Road is a distinct local landmark.

Potential Threats to Character

- Loss of period buildings.
- Loss of avenue planting in Normanby Road and Park Crescent.

- Inappropriate development on Normanby Road sites at Inkerman Street intersection (hardware and service station).
- Other threats that apply to all minimal change areas.

Recommendation

The range of development, with its mixed base and extensive overbuilding leave a neighbourhood character that is not consistent or distinct from surrounding areas. In addition, several sites along the park interface have highly inappropriate development in terms of visual bulk, poor design detail and lack of landscaping.

The area of significant neighbourhood character is not considered to be of adequate significance to warrant policy or particular overlay controls. While the interface with the park is important, owing to the existing range of development along Park Crescent which includes unsympathetic, larger scale buildings, it is not considered that additional controls or policy are required.

The loss of period buildings is regrettable, however the building types are most likely represented in other Heritage Overlay areas in the municipality. Further heritage investigation could ascertain whether any buildings in this area warrant specific heritage controls.

Redevelopment options for the sites on Normanby Road adjoining Inkerman Street could be controlled via a Design and Development Overlay.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of Queens Avenue has been identified

In particular, it is imperative that the avenue planting along Park Crescent and Normanby Road is maintained as significant elements of the area's character. These trees could be investigated for potential statutory controls, should Council undertake a significant tree study. The planting along the railway embankment could be renewed with a formalised landscape scheme or with the introduction of native species.

Hawthorn Road Tramway Estate, Caulfield South



Description

The Tramway Estate features a highly unusual subdivision pattern, developed around 1920, with its triangular allotments at the termination of each street block, and midblock triangular street widenings. However due to a lack of recognition through landscaping and pavement design, this feature is not a distinct part of the area's character when viewed 'on the ground'. Of greater contribution to neighbourhood character in this precinct are the remaining Interwar era buildings, consistent front setbacks and canopy trees, particularly streets trees, that create a pleasant, leafy environment. While many fine examples of the original Interwar era dwellings remain, modern overbuilding has seen substantial change to its architecture styles and building forms.



Existing Character Elements

Architectural style	Some Californian bungalows. Interwar Moderne, Spanish Mission and several Arts and Crafts building. Occasional infill of contemporary dwellings.
Building materials	Brick and render, occasional timber Californian bungalows.
Building form and layout	Asymmetrical plan form with projecting front room and recessed verandah.
Roofing	Pitched tiled roofing.
Front setbacks	Average setbacks of 6-7m.
Side setbacks	Average setbacks of 1m to one boundary and garage or carport to the other.
Storey height	Predominantly single storey. The 1990s dwellings are double storey. Several original buildings have second storey additions.
Orientation to street	Dwellings parallel to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees.
Front fences	Generally low-average height (1-1.2m) and occasional departures from this style.
Street trees	Exotic and native species – regular spacing and sizes. Some areas of inconsistent street trees.
Road & footpath treatments	Upstanding kerbs, mostly concrete.
Subdivision pattern	Grid.
Lot size / frontage	10-20m.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of remaining Interwar dwellings.
- Other threats that apply to all minimal change areas.

Recommendation

The range of development, with its mixed base and extensive overbuilding leave a neighbourhood character that is not consistent or distinct from surrounding residential areas. The highly distinctive subdivision pattern does not make a significant contribution to the overall neighbourhood character because it has not been featured through appropriate landscape and pavement design.

The level of potential threats to this existing area of significant neighbourhood character is considered equal to that of other minimal change areas in the municipality. As such, it is not considered to be of adequate neighbourhood character significance to warrant policy or particular overlay controls.

In relation to the public domain, the importance of the bluestone kerbing (where present) and the scale, form and spacing of street trees in terms of their contribution to the neighbourhood Character of the Hawthorn Road Tramway Estate has been identified.

Ulupna Road, Ormond



Description

The northern end of Ulupna Road, immediately south of Oakleigh Road has a number of Interwar and early Modern era dwellings and distinct landscape environment due to the substantial street trees and aspect to the Oakleigh Road Reserve.



Existing Character Elements

Architectural style	Mixed, with remaining Californian Bungalow and other Interwar styles as well as modern flats and extensions to period dwellings.
Building materials	Brick, timber and render.
Building form and layout	Mixed due to range of building styles.
Roofing	Pitched tiled and pitched iron roofing.
Front setbacks	Average (6-7m).
Side setbacks	Average (1m on one boundary and garage to the other).
Storey height	A mix of single and double storey dwellings.
Orientation to street	Parallel to the street.
Carparking / garaging	Carspace, carport or garage at side or rear of dwelling.
Garden styles	Established exotic garden and canopy trees. Large scale.
Front fences	Mixed front fences..
Street trees	Native species different spacing and sizes. Several large flowering gums.
Road & footpath treatments	Upstanding kerbs. Footpath and nature strip present on both sides of the road.
Subdivision pattern	Grid.
Lot size / frontage	10-20m
Public reserve	Oakleigh Road Reserve is at the northern end of the street.
Topography	Land is generally flat.

Potential Threats to Character

- Loss of street trees or canopy trees in private gardens that are an important contributor to neighbourhood character.
- Loss of original buildings, although the Interwar character is not strong and these building types are well represented elsewhere in the municipality.
- Reduced frontage setbacks and loss of garden space.
- New development that inhibits views along the street to the gardens beyond in Oakleigh Road.
- New development that removes established trees or does not allow adequate space for substantial landscaping.
- Extensive areas of hard paving – greater than existing driveway widths or single carspace.
- Carports or garages constructed in front of buildings.
- High front fences, or fences constructed of an impermeable material.

Recommendation

In terms of the buildings within this area of significant neighbourhood character, the range of development, with its mixed base and extensive overbuilding leave a neighbourhood character

that is not consistent or distinct from surrounding areas. The level of potential threats to this existing area of significant neighbourhood character is considered equal to that of other minimal change areas in the municipality. As such, it is not considered to be of adequate neighbourhood character significance to warrant augmented policy or particular overlay controls.

However, the key contributory elements to this area's character are the substantial street trees and views to the Oakleigh Road Reserve at the end of the street.



C: Design Guidelines

Design Guidelines

These design guidelines have been prepared to assist in the design of new dwellings, or additions and alterations to existing dwellings, so that they respect and complement the Neighbourhood Character Areas. The guidelines can also be used in reference to development proposals in any minimal change area.

Content

Aspects of design that the guidelines cover are:

- Style indicators for the major period architectural styles in Glen Eira's NCOs
- Retention of existing buildings where they contribute to neighbourhood character
- Siting of dwellings
- Height and form of buildings
- Detailed design elements
- Height and style of fences
- Maintaining and strengthening the vegetation quality of an area
- Design and siting of garages, carports and driveways
- Design of multi-dwellings.

Format

Each neighbourhood character element comprises *Objective*, *Design Responses* and *Avoid* statements.

Objective. The objectives state what we are aiming to achieve in relation to each character element.

Design response. These are some of the design responses that could be required to achieve each design objective. Occasionally, an architect or designer may be able to suggest alternative design responses that will still meet the particular design objective.

Avoid. Examples are provided of typical design responses that should be avoided as they would defeat the design objective.

Illustrations of typical design responses (either to aim for or avoid) are provided.

How to use the guidelines

The first step in using the guidelines is to understand the neighbourhood character attributes of a particular area.

For each NCO these have been outlined in the main body of this report. The guideline reference specifies which guidelines are relevant for each area. It should be noted that the guidelines can also be used as a general reference on designing for neighbourhood character within all other minimal change areas in Glen Eira.

The style indicators page outlines the most important design elements of the most common period style buildings in NCO's. This information is essential in relation to the basic elements of neighbourhood character, namely height and form. It will also be useful when deciding on the detailed aspects of a new building or extension.

Style Indicators

The following is an introduction to architectural styles common in the NCO's:

Alterations

A great number of dwellings in the municipality are highly altered, with single and double storey extensions, replaced windows and doors, new vehicle storage and different colours and finishes.

Victorian – Italianate 1840-1870

Elements: Projecting front room(s) with a semi octagonal shape, deep eaves, projecting plinth large double hung windows with a curved head.

Roof: Shallow hipped roof

Materials and Colours: Slate roofs with corrugated iron verandahs, grey stucco brick walls, dark stained doors, white window frames and cast iron lacework.

Fence: Low cast iron fencing.



Mid Victorian 1860-1880

Elements: Formal rectangular composition, projecting party walls, deep verandahs, simple vertical rectangular double hung windows, tall parapets, deep cornice moulding.

Roof: Tall parapet

Materials and Colours: Face brick (red, cream or brown) stucco (grey) above verandah, dark stained doors, white window frames and cast iron lacework.

Fence: Low cast iron fencing.



Edwardian 1895-1910

Elements: Informal, vigorous composition and verticality. Takes inspiration from gothic forms. One or two wings. Leadlight casement windows, low verandah, one or two wings project.

Roof: High pitched roof form. In more elaborate forms may be constructed of orange terracotta Marseille roof tiles and include embellishments of turrets and false dormers. Other examples of simple roof forms may be constructed of slate or corrugated iron.

Materials and Colours: More elaborate examples include smooth red brick walls with dark brown and green timber windows. More simple examples include timber weatherboard, often painted a light colour. Rough cast render to gable ends with timber strapwork.

Fence: Light coloured low picket fences or woven wire.



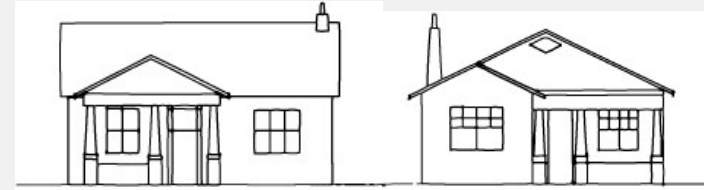
Interwar and Californian Bungalow 1910-1930

Elements: Simple forms, broad unbroken surfaces, deep front verandah, large chimney on external wall, small windows often a bay window to the front room, very large pylons to front verandah.

Roof: Broad roof planes, shallow roof pitches. Main ridgeline either parallel or perpendicular to street. Large gable ends front street.

Materials and Colours: Terracotta roof tiles, brick and weatherboard cladding, rough cast render or pebble on pillars, timber shingles and rough cast render gable ends.

Fence: Woven wire and timber post or hedge behind low brick wall constructed in same bricks as the house.



Early Modern 1930-1940

Elements: L-shape plan with gabled or hip roof. Projecting front room, boxed eaves, small or large porch, large windows, often corner type, single external chimney. Often of masonry construction.

Several variations are evident during this period:

Streamlined Moderne - lack of ornamentation, emphasis of horizontal forms and decorative elements, part of roof sometimes concealed behind parapet, use of curved wall surfaces for decorative detail, steel framed and corner windows.

Spanish Mission style - prominent archways and decorative tapestry brickwork.

English style - steeply pitched roof forms with tall stack chimneys, Tudor revival arches, double hung sash windows, ventilator slit at the top of the main gable.

Roof: Low pitched triangular roof.

Materials and Colours: Cement or terracotta roof tiles, face brick, salmon, brown, dark manganese cream or green woodwork.

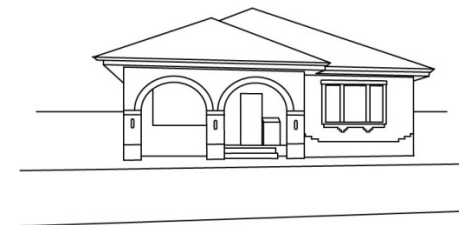
Fences: Low brick fences with house detailing.

Alterations

A great number of dwellings in the municipality are highly altered, with single and double storey extensions, replaced windows and doors, new vehicle storage and different colours and finishes.



English



Spanish Mission



Early Modern Streamlined

Retention of Existing Buildings

The retention of original dwellings from the Victorian, Edwardian, Interwar or early Modern eras is strongly encouraged within the NCO. For all of these areas, the original buildings play an integral part in defining their significance.

Objectives

To retain older dwellings of Victorian, Edwardian early Modern or Interwar eras that contribute to the valued character of the area.

To respect the identified heritage qualities of adjoining buildings, as described in the Heritage Overlay, and to respect the Minimal Change Area.

Design Response

Avoid

Incorporate older dwellings in new development proposals wherever possible.

- The front rooms of older dwellings could be retained while the rear of the building is redeveloped.
- Dual occupancy developments could be designed to retain the original dwelling on the site, or at least the front rooms.

Demolition of intact and visible parts of older dwellings.

Where adjoining the Heritage Overlay, respect the height, siting and form of the heritage building/s.

New or altered buildings that dominate heritage buildings as a result of:

- excessive height – where the new building is one or more storeys higher than the adjoining heritage building and does not employ upper level setbacks and articulation.
- poor siting – where the new building does not adopt the same front or side setbacks as the adjacent heritage building.
- unsympathetic form – where the new building does not reflect the form of the adjacent heritage building.

Siting

The siting of buildings in a streetscape is one of the most important factors of neighbourhood character. If a street has a regular frontage setbacks and space between buildings, a sense of spaciousness is established. Conversely, for the inner urban areas that are characterised by row houses or terraces, the lack of space between dwellings and small frontage setbacks with minimal planting is a defining characteristic.

Most residential areas in Glen Eira have an established pattern of consistent front and side setbacks, and in many cases a rear setback, which should be reflected in new development. The regularity of setbacks is a particularly important consideration for the NCO.

Objectives

To maintain the established pattern of front setbacks in a streetscape.

To provide space for front gardens.

To maintain the rhythm of spacing between buildings in a streetscape.

To allow for planting around buildings where this is a characteristic of the street.

Design Responses

Front setback

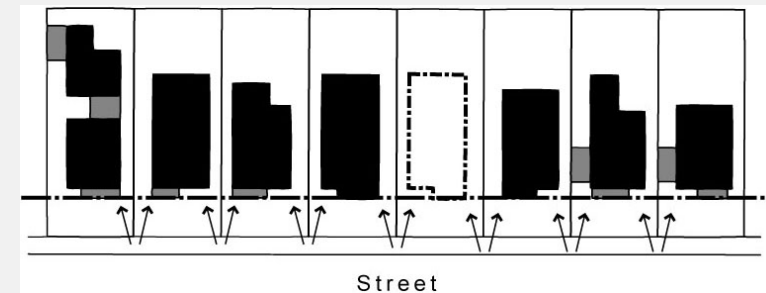
- Buildings should be set back from the front boundary sufficient distance to include shrubs and trees wherever possible.
- The setback of new buildings should be no less than the average of the adjoining properties.

Avoid

Loss of front garden space.

Verandahs encroaching beyond the dominant frontage setback distance of adjoining and nearby buildings.

Illustration



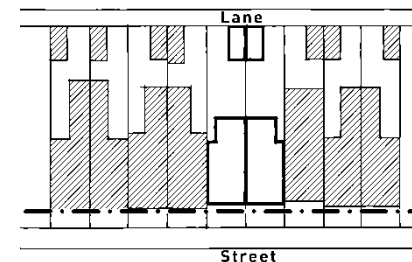
Garden suburban areas are characterised by space between each building. New development must reflect the established frontage setback distance, as well as the rhythm of dwelling spacing in the street.

Side setbacks

- In garden suburban areas, buildings should be set back from side boundaries to create the appearance of space between buildings and to accommodate substantial vegetation.
- In inner urban areas, buildings should reflect the pattern of small setbacks or boundary to boundary development.

Boundary to boundary development where not a part of the pattern of development in the street.

No reflection of the predominant side boundary setback pattern.



In an inner urban environment where buildings are either adjoining or have minimal side setbacks, this pattern of development should be reflected in new dwellings.

Height and Form

Within NCO Areas the predominant building height and form should be reflected in new dwellings or extensions.

Buildings in all of the NCO Areas have predominantly pitched roof forms. In streets characterised by single storey buildings, second storey additions or new double storey buildings must be carefully designed to reflect this height.

Objectives

To ensure that new dwellings or extensions to existing dwellings respect the dominant building height and forms of the streetscape.

To ensure that extensions to period dwellings respect the height and form of the original building and other buildings in the street.

Design Responses

Single storey context

- Where adjoining single storey dwellings or within predominantly single storey streetscapes, set upper levels back from the front and side façades, or incorporate upper levels in attic spaces within the pitched roof form.

New dwellings

- Reflect the roof pitch of existing buildings in the street. Typical roof pitches are:
20-25° for Victorian era buildings.
30-45° for Edwardian era buildings.
25-30° for Interwar and early Modern era buildings.

Extensions to dwellings

- Locate second storey additions behind the main ridge line of the original building, so that the original roof form of the building when viewed from the street is still evident.
- Design new roofs to reflect the form and pitch of the original roof, where they are visible from the street (refer typical pitches noted above).
- Ensure that upper level extensions do not alter the original façade composition by over-emphasising vertical proportions.

Avoid

Double storey buildings within single storey streetscapes that appear visually bulky and dominating due to their height.

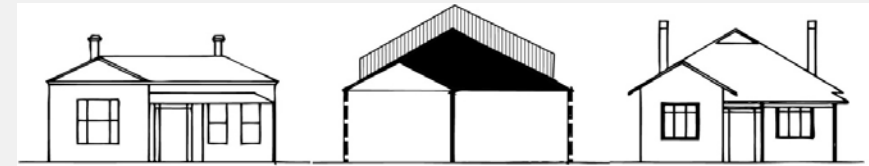
Upper level extensions to period buildings that dominate the form and scale of the original building.

Upper level extensions to period buildings that obscure the original roof line of the building.

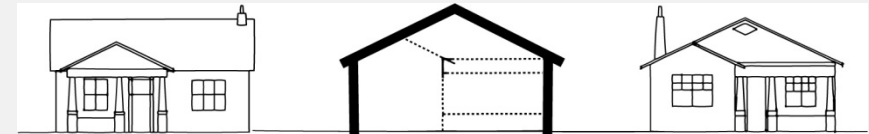
Upper level extensions with roofs that do not complement the original roof in terms of their pitch or design, where visible from the street.

Upper level extensions that detract from the proportions of the original dwelling façade. For example, a double storey extension on a California bungalow can change its proportion from distinctly horizontal to more of a square or vertical shape.

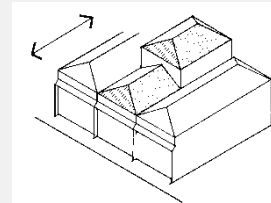
Illustration



The new building in an Edwardian or Victorian era street reflects the height, form, roof pitch and spacing of adjoining buildings. The second storey elements of the new building are set back from the front façade or included as attic spaces.



The new building in a typical Interwar streetscape reflects the single storey height, horizontal form, shallow roof pitch and spacing of the existing buildings.



Upper level extensions are located behind the original roofline and make use of the existing roof space. Lower floor to ceiling heights in the modern construction allow the second storey to be built without dominating the original dwelling.

Detailed Design

Within NCO Areas certain aspects of the detailed design of buildings need to be considered in order to complement period dwellings. These are the colour and materials of buildings, the use of eaves, the composition of the façade and the emphasis of horizontal or vertical elements of the buildings. These design details are illustrated on the style indicator page. It is important to note that while new buildings or extensions should adopt the main design details, they should still appear as contemporary designs and not aim to replicate precisely the detail of period buildings.

Objectives

To ensure that the use of detail design in new buildings complements that of the predominant building styles in the street.

To ensure that the design detail of extensions to period dwellings complements the style of the original dwelling.

Design Responses

Ensure new buildings adopt the basic design details of the predominant style of the street.

In designing extensions for period dwellings, adopt the key design elements of the original building where visible from the street.

Wherever possible, adopt the predominant building material or colour selection of buildings in the street, where this is an important characteristic. For example, in a street of light coloured timber cottages, a new dwelling should also be constructed of timber and painted a similar subtle colour.

Include eaves in the roof form of buildings or extensions that are visible from the street.

Consider how the front facade of a new building or extension could reflect the asymmetrical composition of period buildings in the street, where this is an important characteristic of the area. This could be achieved through a projecting front room on one side of the façade and a verandah on the other, variations in the roof form or in the composition of doors and windows.

Ensure that new buildings or upper level extensions reflect the emphasis of horizontal or vertical elements where this is a predominant characteristic in the street.

Avoid

New buildings or extensions to period buildings that fail to incorporate the main design detail of the predominant or relevant architectural style.

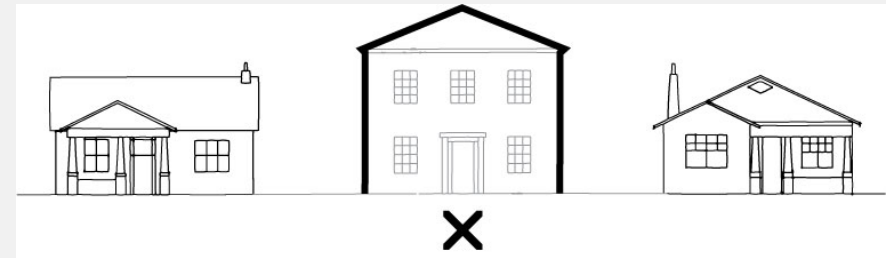
New buildings that attempt to directly replicate period buildings, rather than simply adopting the basic design detail elements.

Buildings with flat facades and symmetrical composition of doors and windows.

Buildings without eaves.

Heavy design detailing such as the extensive use of brickwork or masonry columns or piers in streets of light coloured timber dwellings.

Illustration



The Interwar buildings in this streetscape have asymmetrical facades, are single storey in scale and have wide eaves. The rectangular shape of their façades and the long, low building forms create a horizontal emphasis in the streetscape.

The new building in this example is of the neo-Georgian style. The front façade is a flat plane without variation of colour, texture or surfaces. The composition of doors and windows creates a strong symmetry and the roof has no eaves. The double storey scale of the façade gives the building a vertical emphasis. For these reasons it is out of character in an Interwar streetscape.

Vegetation and Landscape Quality

The vegetation and landscape quality of an area is created through a combination of planting in both private gardens and the public realm and the topography.

All of the NCO Areas have a distinct landscape quality which is a result of established trees in private gardens and the street.

Areas such as Boyd Park also form their landscape quality from adjacent public reserves.

Objectives

To maintain and strengthen the garden settings of the dwellings.

To maintain the distinctive landscape quality of an area when derived from adjacent public reserves.

To encourage designs that respond to variations in topography, where this is a part of the neighbourhood character.

Design Responses

Incorporate landscape design as a part of the building design process and prepare a landscape plan to accompany all applications.

Site and design new buildings or extensions to retain established canopy trees or incorporate adequate space for new canopy trees.

Retain the existing garden structure where contributory (i.e. the layout of the garden and the composition of its various elements such as small or large scale planting, pathways, lawn etc.).

In typical inner urban streets where there is limited space for landscaping, consider the use of more innovative landscaping options such as planter boxes, climbers or smaller scale trees.

Avoid

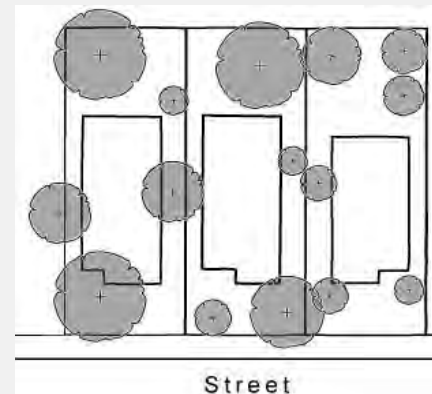
Removal of large, established trees or lack of space for new canopy trees.

Removal of all vegetation on site, without adequate consideration of its value – botanical, ecological or aesthetic.

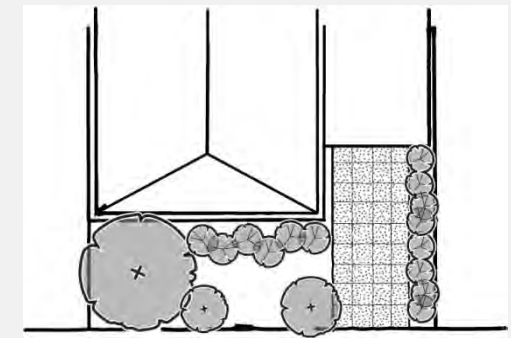
Removal of other contributory elements that are an essential part of the garden layout, such as pathways, retaining walls or edging.

Landscaping plans that are an 'afterthought' to the building design.

Illustration



Retention of vegetation or planting of new canopy trees within a spacious garden suburban environment.



Innovative landscape solutions are required for small garden spaces.

Near public reserves, design planting schemes in private gardens to reflect the exotic/formal or indigenous/informal landscape quality of the public reserve.

Establish a sense of 'flow' between the planting in private gardens and public reserves, and respect existing significant vegetation and the design theme in public reserves.

Private gardens that do not contribute to the landscape theme of adjacent reserves, where this is an important characteristic of the neighbourhood.

High fences or solid boundary walls that sever the landscape connection between the planting in public reserves and the private gardens of adjacent properties.

In areas with distinct variations in topography incorporate split levels or variations in massing in new buildings or extensions so that building form follows the contours of the land.

Bulky dwellings that are overly prominent due to their elevated position.

Fencing

Front boundary treatment relates to the type and style of fences provided, if any at all. A street that has low fences or fences that allow views to gardens and houses will have a greater sense of openness than a street with high fences. This is an important consideration within all of the NCO Areas.

In streets with many original buildings, it is important that the fences reflect the era and style of development.

Objectives

To maintain the openness of the streetscape and views into front gardens, where this is an important part of streetscape character.

Design Response

Ensure front fences are appropriate to the building era or reflect the typical fencing height and style of the street.

- Victorian and Edwardian dwellings typically will have low height fences (up to 1.2m) constructed of timber picket or wire.
- Interwar and early Modern buildings typically have low masonry fences (up to 800mm) or wire fences (up to 1.2m).

Provide a front fence that allows views through or over the fence into the front garden.

Avoid

Fences that are not appropriate for the dwelling era and style.

High, solid fences that block views to front gardens and period dwellings.

Illustration



Car Access and Storage

The siting and design of car access and storage must be considered in all proposals. It is of particular importance within the NCO Areas.

Garages and carports if poorly sited can impact upon neighbourhood character by obscuring the view of the building and interrupting the rhythm of building spacing of the street.

Excessive hard paving reduces the amount of garden space available for porous surfaces and planting and can diminish the landscape quality of the street.

Objectives

To minimise the loss of front garden space, the dominance of car parking structures and the number of vehicular crossovers.

Design Response

Locate garages and carports behind the front façade of the dwelling.

Minimise hard paving in front yards.

Reflect the typical provision of crossovers in the street.

- Provide only one vehicular crossover per typical site frontage where this is the established pattern in the street.
- In streets without crossovers, new crossovers should not be provided.

Access car storage from rear laneways where possible.

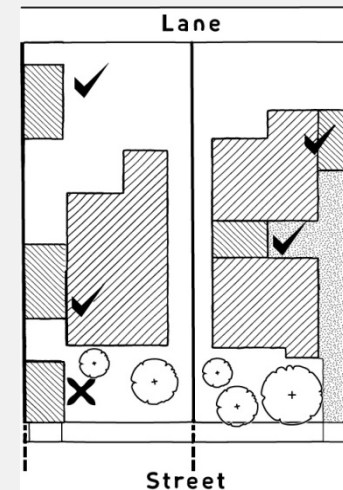
Avoid

Car parking structures that dominate the façade or views to the dwelling from the street.

Front setbacks dominated by impervious surfaces.

New crossovers in a street where crossovers are not present.

Sites with more than one crossover, where a single crossover is the pattern in the street.



Garages or carports set back behind the front façade or accessed from laneways are the preferred design response.

Design of Multi-dwellings

Multi-dwelling developments can be accommodated within NCO Areas provided that they are carefully designed to complement the important characteristics of the neighbourhood.

In the design of multi-dwelling developments, the key considerations are retaining the pattern of dwelling spacing, form and height within a streetscape. Additional driveways would be discouraged in most cases.

Objectives

To allow for multi-dwelling developments within NCO Areas that complement the key characteristics of the area.

Design Response

In streets that are characterised by single detached dwellings, ensure that multi-dwelling proposals reflect this pattern of development in their form, scale and siting.

- In this instance, multi-dwelling proposals should adopt the appearance of a single dwelling from the street.

Reflect the pattern in the street of the number of crossovers per typical frontage width.

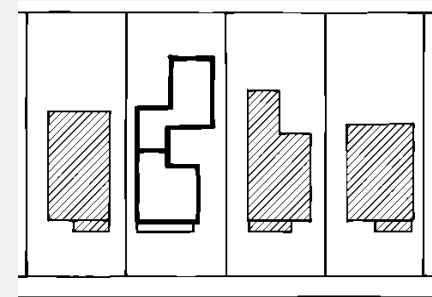
Wherever possible, retain the front of original dwellings and accommodate new dwellings at the rear.

Avoid

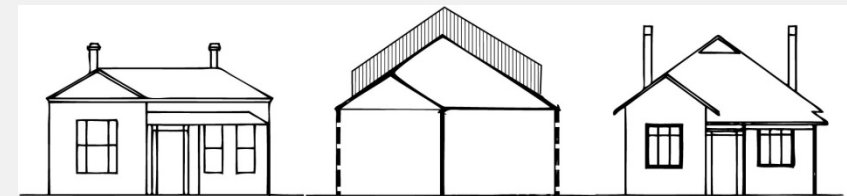
Multi-unit development that breaks the rhythm of building form, scale and spacing in a street.

Provision of additional car access and storage that does not reflect the typical pattern of the street.

Illustration



This option shows the retention of the original building frontage with an additional dwelling at the rear, or a new development that adopts the form and siting of other buildings in the street.



A duplex can be accommodated within the typical dwelling height and form of the street.

References

Designing for Neighbourhood Character in Glen Eira

The following references contain detailed information about Victorian housing styles and approaches to restoration or alteration of older buildings.

City of Glen Eira, 2002, *Ormond and Bentleigh Draft Heritage Guidelines*

City of Glen Eira, 1996, *Heritage Management Plan 1996*

Heritage Victoria and the Building Commission, 2004, *What House is That? A guide to Victoria's housing styles*

Bryce Raworth (for the National Trust of Australia (Victoria), 1991, *Our Inter-war Houses. How to recognise, restore and extend houses of the 1920s and 1930s.*

Graeme Butler, 1992, *The Californian bungalow in Australia : origins, revival, source ideas for restoration*

Peter Cuffley, 1989, *Australian Houses of the 20s and 30s*

Peter Cuffley, 1993, *Australian Houses of the 40s and 50s*

General Architectural References

These references provide useful general information about architectural styles in Melbourne and Australia.

Richard Apperly, 1994, *Identifying Australian Architecture*

Phillip Goad, 2001, *Melbourne Architecture*