



GLEN EIRA CITY COUNCIL

ORDINARY COUNCIL MEETING

WEDNESDAY 26 SEPTEMBER 2018

AGENDA

**Meeting to be held in the Council Chambers,
Corner Hawthorn & Glen Eira Roads, Caulfield
At 7.30 pm**

*"The primary object of a Council
is to endeavour to achieve
the best outcomes for the local community
having regard to the
long term and cumulative effects of decisions."*

- s3c(1) Local Government Act

Councillors: The Mayor, Councillor Tony Athanasopoulos
Councillor Clare Davey
Councillor Mary Delahunty
Councillor Margaret Esakoff
Councillor Jamie Hyams
Councillor Jim Magee
Councillor Joel Silver
Councillor Dan Sztrajt
Councillor Nina Taylor

Chief Executive Officer: Rebecca McKenzie

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That pursuant to Section 89(2) of the Local Government Act 1989, the Council resolves that so much of this meeting be closed to members of the public, as it involves Council consideration of matters coming within some or all of the following categories listed in Section 89(2) of such Act.

- (a) Personnel matters;
- (b) The personal hardship of any resident or ratepayers;
- (c) Industrial matters;
- (d) Contractual matters;
- (e) Proposed developments
- (f) Legal advice
- (g) Matters affecting the security of Council property'
- (h) Any other matter which the Council or Special Committee considers would prejudice the Council or any person;
- (i) A resolution to close the meeting to members of the public.

12.1 Employment Matter

Local Government Act 1989 Section 89(2)(a) given it relates to personnel matters.

12.2 Tender 2019.11 King George Pavilion Refurbishment Works

Local Government Act 1989 Section 89(2)(d) given it relates to contractual matters.**13. CLOSURE OF MEETING**



**AGENDA for the ORDINARY MEETING OF THE
GLEN EIRA CITY COUNCIL to be held on WEDNESDAY 26th September 2018**

1. ACKNOWLEDGEMENT

In the spirit of respect, Council acknowledges the people and elders of the Boon Wurrung people of the Kulin Nation past and present who have traditional connections and responsibilities for the land on which Council meets.

2. APOLOGIES

3. OATH OF OFFICE AND DISCLOSURES OF INTERESTS

Councillors are reminded that we remain bound by our Oath of Office to undertake the duties of the office of Councillor in the best interests of the people of the municipal district of Glen Eira and to faithfully and impartially carry out the functions, powers, authorities and discretions vested in us under the Local Government Act or any other Act, to the best of our skill and judgement.

Councillors are also reminded of the requirement for disclosure of conflicts of interest in relation to items listed for consideration on the Agenda, or which are considered at this meeting, in accordance with Sections 77 to 79 of the Local Government Act.

4. CONFIRMATION OF MINUTES OF PREVIOUS COUNCIL MEETINGS

Copies of Minutes previously circulated.

Recommendation

That the minutes of the Ordinary Council Meeting held on 4 September 2018 be confirmed.

5. **RECEPTION AND READING OF PETITIONS AND JOINT LETTERS**
6. **DOCUMENTS FOR SEALING**
7. **REPORTS BY DELEGATES APPOINTED BY COUNCIL TO VARIOUS
ORGANISATIONS**

8. REPORTS FROM COMMITTEES**8.1 Advisory Committees**

- a) Recreation & Leisure Advisory Committee – 6 August 2018

Recommendation

That the minutes of the Recreation & Leisure Advisory Committee meeting held on 6 August 2018 be received and noted and that the recommendations of the Committee be adopted.

8.2 Records of Assembly

- a) 21 August 2018
- b) 28 August 2018
- c) 4 September 2018 (pre-meeting)

Recommendation

That the Records of the Assemblies as shown below be received and noted.

- a) 21 August 2018
- b) 28 August 2018
- c) 4 September 2018 (pre-meeting)

RECREATION & LEISURE ADVISORY COMMITTEE



Minutes

Monday 6 August 2018 – 6:30pm

Yarra Yarra Room, Glen Eira Town Hall

Invitees	Councillors Cr Nina Taylor – Chair (NT) Cr Joel Silver (JS) Cr Tony Athanasopoulos (TA) Council Officers Samantha Krull, Director Infrastructure, Environment & Leisure (DIEL) Andrew Barden, Manager, Recreation & Open Space (MRO) Matthew Barbetta, Open Space Coordinator (OSC)
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1. Welcome

Declaration of Conflict of Interests

- None declared.

2. Club/sportsground/Court requests

MRO provided an overview of the summer sportsground allocation requests and outlined the challenges in accommodating turf wicket requests. MRO stated it appears all requests will be accommodated.

3. Advocacy on strategic objectives

DIEL provided an update on Council's *Every Bit Matters* advocacy campaign for Woorayl Street Reserve. Over 300 letters of support have been received, with coverage through various media channels.

4. Community partnerships

MRO advised that regular meetings are held with 'Friends of Caulfield Park' resident group and that they have had input into the Caulfield Park Masterplan refresh.

5. Progress Updates

MRO provided an update on Recreation and Open Space Capital Works:

- Hodgson Reserve multi play area – design work underway with construction planned in 2019/20;
- Benthleigh Reserve drainage and turf wicket upgrade – advertised for Tender in the coming weeks;
- Dega Avenue Park playground upgrade in design development phase;
- Works in progress for the cricket net extensions at East Caulfield Reserve, Centenary Park and Victory Park. These works will be completed prior to the upcoming cricket season;
- EE Gunn cricket/baseball training facility currently out for quotes. Pending on the response to the quotations, officers expect works to commence in September. MRO outlined mobile nets being trialled at EE Gunn which will enable turf wickets to be used;
- Retractable netting at the new Moorleigh Reserve facility will enable space to be used for other activities outside of cricket training. These works will be completed in October 2018;
- Playground upgrades at Harleston Park and McKinnon Reserve are currently being finalised in preparation for Tender;
- Harleston Park public toilets are currently out for Tender;
- Joyce Park new open space – design is being finalised in preparation for Tender;
- McKinnon Reserve Sportsground LED Lighting upgrade works are in progress; and
- Rosanna Street Reserve (Stage 1) construction works are currently in progress.

5.1. Carnegie Swim Centre Redevelopment

MRO advised officers are currently working with consultants to undertake further feasibility analysis and investigate options for provision for future aquatic and leisure needs across Glen Eira, including Carnegie Swim Centre. This report will be presented at a future Council meeting.

5.2. Open Space Strategy Refresh

OSC advised consultants are analysing structure plans and revised population/dwelling data. Officers are working towards aligning the Open Space Strategy refresh with current structure plan amendments.

5.3. Pavilion Redevelopment Strategy

MRO discussed progress of the Murrumbeena Community Hub development. Both landscape and building architects have been engaged. Officers met with tenants and user groups to discuss needs, issues and aspirations. Other potential services and users are also being investigated.

King George Pavilion redevelopment is currently out for Tender and closes end of August.

5.4. Tennis Strategy

OSC identified that a final draft Strategy has been distributed to clubs for comment and officers met with Tennis Victoria. A final report will be presented to Council for adoption in September.

5.5. Masterplans

MRO outlined:

- Caulfield Park – anticipate draft back this week and will present to Council for approval to commence consultation.
- Outer Circle Railway (Boyd Park, Springthorpe Reserve and Riley Reserve) - a draft will be presented to Council in October for consideration and seek endorsement to commence consultation.

5.6. External Grant Funding

- MRO advised that officers have applied for all available Sport and Recreation Victoria (SRV) funding opportunities and are currently investigating Federal programs.
- DIEL noted Council has received a grant from SRV for Bailey Reserve sports ground lighting – \$250k.

6. Items for Discussion

6.1. Aileen Avenue New Open Space

OSC outlined the park concept plan and design intention. This will be presented to a future Council Assembly meeting seeking to commence consultation.

6.2. Fireworks in Council Parks

MRO outlined the intention to create guidelines with appropriate community safeguards to enable events which provide fireworks in Council parks to continue.

6.3. Flower Stalls/Coffee Vans/Ice-Cream Vans/Markets in Parks

MRO explained that there are a high number of requests for commercial operators in parks, and that historically, these requests are normally refused. Officers would like to investigate the possibility of how this could work in a positive way while protecting park amenity and local traders.

The Committee Councillors all confirmed being open to officers investigating opportunities. This would need to include guidelines and conditions including times; types of services that are appropriate (no betting or alcohol) and ensure allocation is fair and equitable and does not impact on surrounding traders.

6.4. Sun safety and sun screen activation at Booran Reserve

MRO indicated that a commercial company has asked to run an event at Booran Reserve which has a focus on sun safety. This promotion will include play activations and giveaways. Council will charge the appropriate open space fee for the event. Councillors were in agreement with this booking which will occur in late January 2019.

- 6.5. Bins and lighting for dog walkers in parks
MRO outlined a proposal to potentially trial sports club lighting for dog walkers at selected locations in winter.
- 6.6. Spring Road Reserve Stage 2 concept plan
OSC presented concept plans for future upgrade works. These are aimed at increasing opportunities for recreation, usage and general appearance of the Reserve. The Committee Councillors requested officers to explore opportunity to close other roads.

7. Agenda Items for Future Meetings

- 7.1. Donations for Provision of Park Benches policy review
MRO will be seeking to review plaques/memorial policy to provide consistency and positive outcomes.
- 7.2. Community Sport Management of Grounds policy review
MRO identified that Corporate Counsel are systematically reviewing Council policies. This policy will be tabled for consideration and discussion at a future Recreation & Leisure Advisory Committee meeting.

8. Other Business

JS suggested National Trust property Glenfern could be explored for open space or access opportunities.
TA asked about sponsorship signage on grounds and whether this can be reviewed.
NT requested information on how Glen Eira compares to other Council's in terms of female sporting growth. MRO will provide advice at a future meeting.

9. Next Meeting

Thursday 8 November

Meeting closed at 8:06pm

Assembly of Councillors

21 August 2018

Record under S 80 A (2)

Meeting commenced at 6.48PM.

A. Present

Cr Tony Athanasopoulos
Cr Mary Delahunty
Cr Jamie Hyams
Cr Jim Magee
Cr Dan Sztrajt
Cr Nina Taylor (via teleconference)

Council Officers

Peter Swabey
Peter Jones
Samantha Krull
Alexandra Fry
Aidan Mullen
Shweta Babbar

B. Matters considered.

- (i) Apologies – Cr Esakoff, Cr Davey, Cr Silver.
- (ii) General Business
 - Cr Delahunty
 - o Prince St trees
 - o Pick My Project applications by Schools
 - Cr Magee
 - o VicSmart permits.
 - Cr Hyams
 - o Poath Road
 - o Elsternwick Park Coalition
 - o Lighting in EE Gunn Reserve
- (iii) Quarterly Services Performance Report – June 2018
- (iv) Innovation and Continuous Improvement Quarterly Update – June 2018
- (v) Elsternwick Urban Renewal South Masterplan Community Reference Group
- (vi) Open Space Opportunity

7.59pm Cr Magee left the assembly

- (vii) Community Feedback on the implementation of a Classified Tree Register

8.00pm Cr Magee returned to the assembly

(viii) Variation to Recyclables Processing Service Contract 2014022

8.25pm Cr Mary Delahunty left the Assembly

(ix) Foundation for Youth Excellence Applications Council Recommendations
Quarter 3, 2018

(x) Glen Eira Refugee Welcome Zone

8.27pm Cr Mary Delahunty returned to the Assembly

(xi) Appointment of Acting Chief Executive Officer

(xii) 17 July 2018 Arts and Culture Advisory Committee Minutes

(xiii) General Business

- Cr Magee
 - o Sports Ground Lighting
- Cr Hyams
 - o Elsternwick Park Coalition
- Director Infrastructure, Environment and Leisure
 - o EE Gunn Reserve

Assembly finished at 9.03 pm

Assembly of Councillors

28 August 2018

Record under S 80 A (2)

Meeting commenced at 6.45PM.

A. Present

Cr Tony Athanasopoulos (Mayor)
Cr Clare Davey
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver
Cr Dan Sztrajt

Council Officers

Rebecca McKenzie
Peter Jones
Peter Swabey
Ron Torres
Sam Krull
Amarita Kinnoo
Janice Pouw

B. Matters considered.

- (i) Apologies – Cr Margaret Esakoff
- (ii) Rosanna Street Reserve – Concept Designs for Consultation

6.52pm Cr Delahunty entered the Assembly

- (iii) Community Consultation on Council's Future Role in Disability Support – Additional Information on Projects
- (iv) Community Wellbeing update

7.29pm Cr Taylor entered the Assembly

7.50pm Cr Silver left the Assembly and entered at 7.53pm.

7.55pm Cr Magee left the Assembly and re-entered at 7.57pm

- (v) Draft Council Meeting Agenda – 4 September 2018
 - 8.1 Advisory Committee minutes
 - 8.2 Assembly of Councillors – 31 July 2018
 - 9.1 Statement of Commitment on Affordable Housing
 - 9.2 774-776 Glen Huntly road, Caulfield South
 - 9.3 VCAT Watch
 - 9.4 Sports Ground Lighting
 - 9.5 Glen Eira Refugee Welcome Zone
 - 9.7 Quarterly Services Performance Report June 2018
 - 11.1 Call for reports - Cr Davey – No report called
 - 12.3 Tender 2018.231 Direct Mail Solutions

(vi) General Business

Cr Davey – Queens portrait in Council Chamber

Cr Hyams

– Schools singing at Citizenship Ceremonies

– Parking officers hours

Cr Sztrajt – Flags at Citizenship Ceremonies

Cr Magee – EE Gunn cricket nets

CEO – 8 Gordon Street, Elsternwick update

9.25pm Assembly adjourned

9.36 Pm Assembly resumed

Present

Cr Tony Athanasopoulos (Mayor)

Cr Clare Davey

Cr Mary Delahunty

Cr Jamie Hyams

Cr Jim Magee

Cr Joel Silver

Cr Dan Sztrajt

Cr Nina Taylor

(vi) General Business (continued)

Coordinator Councillor Business – Councillors required for Planning Conferences

- 2 Wattle Grove – 3 September – 6.30pm – Cr Davey

- 1207 Glen Huntly Road – 13 September – 6.30pm – Cr Davey

CEO – Restructure

(vii) CEO Draft Objectives 2018/19

Assembly finished at 9.48pm

Council Pre-Meeting

4 September 2018

Record under S 80 A (2)

Meeting Commenced at 6.46pm

A. Present

Cr Tony Athanasopoulos, Mayor
Cr Clare Davey
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver

Apologies

Cr Mary Delahunty
Cr Margaret Esakoff
Cr Dan Sztrajt

Officers

Rebecca McKenzie, CEO
Ron Torres
Peter Jones
Samantha Krull
Amarita Kinnoo
Janice Pouw

B. Matters considered

1. Item 10 – Urgent Business – Cr Magee – Withdrawal of MAV video from MAV website and social media
2. Item 11.4 – Public Question to Council
3. General Business
 - Director Infrastructure, Environment and Leisure
 - GESAC - Childcare
 - Update – EE Gunn
 - Cr Davey – Wattle Grove Planning Conference
 - CEO – Order of Australia event
 - Cr Silver – Local Law Review

Pre-meeting finished at 7.02pm

9. PRESENTATION OF OFFICERS REPORTS

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9.10	Environmental Sustainability Action Plan 2017-18 and 2018-19
9.11	State and Federal Elections (Councillor Candidature) Policy

9.1 300 GLEN EIRA ROAD ELSTERNWICK

Author: Michael Dowel, Town Planner

Trim No: 18/1217914

Attachments: 1. 300 Glen Eira Road Elsternwick - advertised plans
2. 300 Glen Eira Road - Rescode assessment

PURPOSE AND SUMMARY

The purpose of this report is to provide an assessment and recommendation for a planning permit application for the construction of a double storey building, comprising of 6 dwellings and a basement carpark at 300 Glen Eira Road, Elsternwick.

The application was advertised and four objections were received with concerns ranging from it being an inappropriate response to the neighbourhood character, impacts to the availability of on-street car parking, increased traffic congestion, massing and bulk of the proposal, overlooking and overshadowing.

Subject to conditions that improve the visual bulk aspect to the adjoining properties to the south west, improve the overshadowing, the proposal is considered on balance to be generally in accordance with requirements of the Glen Eira Planning Scheme and it is recommended that a Notice of Decision to Grant a Planning Permit be issued.

The following plan shows the location of the subject site and the context of the surrounding area:



RECOMMENDATION

That Council issues a Notice of Decision to Grant a Planning Permit for Application No. GE/PP-31964/2018 at 300 Glen Eira Road, Elsternwick for construction of a double storey building, comprising of six (6) dwellings, a basement carpark and a reduction in the parking requirement, in accordance with the following conditions:

Amended Plans

1. Before the commencement of the development, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. The plans must be drawn to scale with dimensions and must generally accord with the advertised plans submitted with the application (identified as TP3.00, TP3.01, TP3.02, TP3.03, TP4.01 and TP4.02, prepared by Pink Architecture and dated 2 July 2018) but modified to show:
 - (a) A landscape plan in accordance with Condition 2.
 - (b) The balcony associated with Apartment 6 to have a 9m (length wise) portion on the western elevation deleted to achieve less visual bulk on the adjoining private open space of 5 Garden Street, to the satisfaction of the Responsible Authority.
 - (c) The pedestrian site triangles to be modified to delete any reference outside of the title boundaries.
 - (d) An Environmentally Sustainable Design (ESD) Report to be provided by a suitably qualified professional, demonstrating compliance with Standard B39 of Clause 55.07 of the Glen Eira Planning Scheme.
 - (e) A survey plan prepared by a suitable qualified land surveyor demonstrating that the site has a minim of 35% garden area in accordance with the definition of garden area within the Glen Eira Planning Scheme.
 - (f) Paving within the secluded private open space areas in the front and rear setbacks to be made permeable in order to achieve 20% site permeability, to the satisfaction of the Responsible Authority.

When approved, the plans will be endorsed and will then form part of this Permit.

Landscaping and tree protection

2. A detailed Landscape Plan must be submitted to Council, to the satisfaction of the Responsible Authority. When the Landscape Plan is approved, it will become an endorsed plan forming part of this Permit. The Landscape Plan must incorporate the following:
 - (a) A survey, including botanical names, of all existing vegetation to be retained.
 - (b) Buildings and trees (including botanical names) on neighbouring properties within 3 metres of the boundary.
 - (c) A planting schedule of all proposed vegetation including botanical names; common names; pot sizes; sizes at maturity; quantities of each plant; and details of surface finishes of pathways and driveways.
 - (d) Landscaping and planting within all open space areas of the site.

- (e) Replace the hard paving in the front gardens of Townhouse 1 & 2 with open and permeable decking;
 - (f) Advanced canopy trees (minimum 3.0 metres tall when planted unless otherwise agreed to in writing by the Responsible Authority) in the following areas:
 - (i) 2 trees within the Mulgrave Street frontage;
 - (ii) 2 trees, of a species capable of reaching a minimum of 8.0 x 7.0 m (Height x Width) within the Glen Eira Road frontage;Or 4 trees as above in locations to the satisfaction of the Responsible Authority.
3. The landscaping as shown on the endorsed Landscape Plan must be carried out, completed and maintained to the satisfaction of the Responsible Authority.
4. The landscaping as shown the endorsed Landscape Plan must be maintained, and any dead, diseased or damaged plant replaced in accordance with the landscaping plan to the satisfaction of the Responsible Authority.
5. Prior to the commencement of the buildings and works (including demolition), a tree protection fence must be erected around the street tree on Glen Eira Road at a radius of 5.5m from the base of the trunk (to the satisfaction of the Responsible Authority) to define a 'tree protection zone'. Temporary fencing is to be used as per AS 4870-2009 section 4.3. This fence must be constructed of star pickets and chain mesh (or similar) to the satisfaction of the Responsible Authority. The tree protection fence must remain in place until the construction within the tree protection zone is completed. The tree protection zone for that component of the development not required for construction must remain fenced until construction is complete. No vehicular or pedestrian access, trenching or soil excavation is to occur within the tree protection zone. No storage or dumping of tools, equipment or waste is to occur within the tree protection zone.
6. The ground surface of the tree protection zone must be covered by a protective 100mm deep layer of mulch prior to the development commencing and be watered regularly to the satisfaction of the Responsible Authority.
- Above ground canopy TPZ (Tree Protection Zone) to be adopted. No works, structures or machinery will come within 1m of the trees crown/canopy as per AS 4870-2009 section 3.3.6.
- Tree Protection Zone (TPZ) fencing must be adopted to protect the street tree's trunk. Set at edge of TPZ on all sides (Finishing at paved surfaces). Temporary fencing to be used as per AS 4870-2009 section 4.3.
- Hand excavate any area within 1.5m of the Tree Protection Zone (TPZ). If roots over 40mm are found, Park Services are to be notified and further inspections will be carried out.
- Ground protection is to be used if temporary access for machinery is required within the Tree Protection Zone (TPZ). Strapped rumble boards are to be used within TPZ to limit ground compaction as per AS 4870-2009 section 4.5.3.
7. No excavation is to come within 3.8m of the existing street tree on Glen Eira Road (measured from the centre of the trunk) without the prior consent of the Responsible Authority. Any excavation within 1.5m of the tree protection zones must be hand excavated. If roots over 40mm are found, Park Services are to be notified and further inspections will be carried out.

Ground protection is to be used if temporary access for machinery is required within the TPZ (Tree Protection Zone). Strapped rumble boards are to be used within the tree protection zone to limit ground compaction as per AS 4870-2009 section 4.5.3.

Construction management

8. Prior to the commencement of any site works including demolition and excavation, the owner must submit a Construction Management Plan to the Responsible Authority for approval. No works including demolition and excavation are permitted to occur until the Plan has been approved in writing by the Responsible Authority. Once approved, the Construction Management Plan will be endorsed to form part of this permit and must be implemented to the satisfaction of the Responsible Authority. The Plan must be to the satisfaction of the Responsible Authority and must provide details of the following:
- (a) Delivery and unloading points and expected frequency;
 - (b) Truck haulage routes, circulation spaces and queuing lanes;
 - (c) Details how traffic and safe pedestrian access will be managed. These must be in the form of a Traffic Management Plan designed by a suitably qualified traffic practitioner;
 - (d) A liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - (e) An outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
 - (f) Any requirements outlined within this permit as required by the relevant referral authorities;
 - (g) Hours for construction activity in accordance with any other condition of this permit;
 - (h) Measures to control noise, dust, water and sediment laden runoff;
 - (i) Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
 - (j) Any construction lighting to be baffled to minimise intrusion on adjoining lots.

Car parking, access and Council assets

9. Areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
- (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all weather sealcoat;
 - (d) drained;
- to the satisfaction of the Responsible Authority.

Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.

10. Vehicular crossing(s) must be constructed to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority and any existing crossing or crossing opening must be removed and replaced with footpath, nature strip and kerb and channel to the satisfaction of the Responsible Authority.
11. No buildings or works are to be constructed over any easement or other restriction on the land or any sewers, drains, pipes, wires or cables under the control of a public authority without the prior written consent of the relevant authority and the Responsible Authority.

General requirements

12. The layout of the site and size, design and location of buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.

Permit expiry

13. This Permit will expire if:
 - The development does not start within two (2) years from the date of this Permit; or
 - The development is not completed within four (4) years of the date of this Permit.

The Responsible Authority may extend the time referred to if a request is made in writing before this Permit expires or within six (6) months after the expiry date if the use/development has not commenced.

If the development has commenced, the Responsible Authority may extend the time referred to if a request is made in writing within twelve (12) months of the expiry date.

Conditions End

Permit notes:

- A. The amendments specified in Condition 1 of this Permit and any additional modifications which are “necessary or consequential” are those that will be assessed by Council when plans are lodged to satisfy that condition. Any “necessary or consequential” amendments, in addition to those required by this condition, should be specifically brought to the attention of Council for assessment.

If other modifications are proposed, they must be identified and be of a nature that an application for amendment of permit may be lodged under Section 72 of the Planning and Environment Act 1987. An amendment application is subject to the procedures set out in Section 73 of the Planning and Environment Act 1987.

- B. This Planning Permit represents the planning approval for the use and/or development of the land. This Planning Permit does not represent the approval of other departments of Glen Eira City Council or other statutory authorities. Such approvals

may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.

- C. This Planning Permit represents the planning approval for the development of the land. Side and rear boundary fences do not form part of this Planning approval. All matters relating to the boundary fences shall be in accordance with the provisions of the Fences Act 1968.
- D. This Planning Permit represents the planning approval for the development of the land. Side and rear boundary fences do not form part of this Planning approval. The approval for building on a "title boundary" enables the building to be sited precisely on the boundary (as determined by a licensed land surveyor) or within 200mm of the title boundary as per the definition in Clause 55.04-2 of the Glen Eira Planning Scheme. All matters relating to the boundary fences shall be in accordance with the provisions of the Fences Act 1968, i.e. Council will not deliberate on which option prevails but rather the permit holder and adjoining owners will need to cooperatively resolve which of the above outcomes is mutually acceptable.
- E. Residents of the dwellings allowed under this permit will not be issued Residential Parking Permits (including visitor parking permits).
- F. Any failure to comply with the conditions of this permit may result in action being taken to have an Enforcement Order made against some or all persons having an interest in the land and may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal.
- G. The permit holder/applicant/owner must provide a copy of the Planning Permit to any appointed Building Surveyor. It is the responsibility of the permit holder/applicant/owner and the Building Surveyor to ensure that the development approved by this Permit is consistent with any Building Permit approved and that all works are consistent with the endorsed plans approved under this Planning Permit.
- H. Nothing in the grant of this permit should be construed as granting any permission other than planning permission for the purpose described. It is the duty of the permit holder to acquaint themselves, and comply, with all other relevant legal obligations (including any obligation in relation to restrictive covenants and easements affecting the site) and to obtain other required permits, consents or approvals.
- I. Consideration is required when installing domestic services (i.e – air conditioning units, heaters, pool pumps, water tanks and the like). The owner/occupier/permit holder/developer must take all reasonable and practicable measures in locating domestic services in position that reduce any amenity impact on adjoining properties. This includes selecting an appropriate installation position and enclosing the domestic service. Further information regarding noise from domestic services can be found in the Environmental Protection Act 1970.

Asset Engineering Notes

- J. Prior to the commencement of any demolition and/or building works, an Asset Protection Permit must be obtained from Council's Engineering Services Department.
- K. The proposed vehicle crossing to basement carpark from Mulgrave Street shall be constructed as a splayed crossing to Council standard.

- L. The ramp to the basement car park shall be designed to avoid any flooding of the proposed basement.
- M. All stormwater runoff must be connected to Council pit/drain located at south west corner of 3 Garden Street through Outfall drain. Outfall drain must be constructed to Council's standards at developers cost. Detail design must be submitted for approval.
- N. No net increase in peak stormwater runoff in Council drainage network. Post development peak storm water discharge to Council drainage network must be maintained to the predevelopment level for 10 year ARI. Detailed plans and computations prepared by a registered consulting Civil Engineer should be submitted to Council for approval prior any construction works. When approved these plans will be endorsed and form part of plans submitted with town planning permit application.
- O. Drainage associated with basement (seepage, groundwater and agricultural waters are to be filtered to rain water clarity) must be discharged to the nearest underground Council Drain /Pit and not be discharged to the kerb and channel.
- P. Engineering Services encourage using of rainwater tanks for storage and reuse for toilet and irrigation purpose.
- Q. Asset Protection Permit must be obtained from Council Engineering Services Department prior commencement of any building works.
- R. All relevant Engineering Permits must be obtained prior any works within the Road Reserve and or stormwater connection to Council drainage network.
- S. Any firefighting equipment for the building shall be accommodated within title boundary. Submitted plans are not showing location of any hydrant / booster. Council will not allow private fire equipment in the Road Reserve.
- T. Vic Roads are the relevant coordinating/responsible authority of Glen Eira Road. Any work within Glen Eira Road/Road reserve must be referred to Vic Roads for their conditions /consent. All conditions referred by Vic Roads must also be met.
- U. Any modifications, amendments or changes that could impact Council's infrastructure assets are to be discussed with the Engineering Services prior to issuing a planning permit.

Address	300 Glen Eira Road, Elsternwick
Title details	Lot 1 TP 127458E
Restrictions on title	None
Proposal	Construction of a double storey building, comprising of six (6) dwellings, a basement carpark and a reduction in the parking requirement
Zoning and Overlay Controls	Neighbourhood Residential Zone 1(NRZ1)
Permit requirements	Pursuant to Clause 32.09-6, a permit is required to construct two or more dwellings on a lot. Pursuant to Clause 52.06-3, a permit is required to reduce the number of car parking spaces required.
Relevant Planning Scheme provisions	Planning Policy Framework including Minimal Change Area Policy
Seriously entertained amendments	None
Notification	Notice undertaken in accordance with Section 52 of the <i>Planning and Environment Act 1987</i> , including 2 notices on site and a notice mailed to 35 surrounding properties
Submissions	4 objections received and are detailed in the report
Cultural Heritage Management Plan required	The site is not in an area of cultural heritage sensitivity.

DESCRIPTION OF PROPOSAL

The proposal is to develop the land for a double storey building containing 6 dwellings and a basement carpark. The basement car parking comprises of 12 car spaces (two for each dwelling), storage for each dwelling, services and waste storage area. The basement will be accessed via a crossover from Mulgrave Street (rear of the subject site).

The proposal does not include any visitor car parking.

Each of the proposed dwellings will have two bedrooms and a study (note: study's are not considered to be able to be used as a bedroom due to their small size or not having access to natural light and ventilation). Three of the dwellings will be at ground level and three will be at first. The building will be constructed with a combination of render and metal cladding as the primary materials and will have a flat roof form.

The existing dwelling will be demolished however this does not require planning permission.

Key aspects of the proposal include:

- Maximum overall building height of 7.8 metres
- Site coverage of 63%
- Permeability of 16%
- Garden area of 35%

LAND DESCRIPTION AND SURROUNDING AREA

The site is regular in shape and is 16.76m wide by 53.09m deep. The land is currently occupied by a single storey weatherboard dwelling with a solid high timber fence along the entire frontage.

The immediate neighbourhood character consists of various housing types and styles, including single and double storey detached dwellings, single and double storey unit developments and a two storey child care centre currently under construction immediately next door.

The site is located within Character Area 4 of the Minimal Change Area Policy. The neighbourhood is recognised by its Victorian and Edwardian base with infill development ranging from the interwar era to contemporary development. The immediate context is not a strong example of this character.

RELEVANT HISTORY

There are no previous planning permit applications for this site.

CONSULTATION AND ENGAGEMENT

There were 4 objections received as part of the notification process and included the following concerns:

- Neighbourhood character
- Traffic and car parking
- Massing and bulk
- Overlooking
- Overshadowing and loss of natural daylight
- Does not meet Neighbourhood Residential Zone requirements such as site coverage

A planning conference was chaired by Cr Sztrajt and attended by one objector who reiterated their concerns about car parking. No changes were proposed by the applicant as part of the planning conference.

REFERRALS

The following is a summary of comments and requirements from relevant referral areas:

Non-statutory referrals	
Transport Planning	Transport Planning raised no concern about the car park layout, however did not support a reduction of a visitor car space. Other changes recommended will be addressed by way of permit conditions, including revised pedestrian site triangles which are within the recommendation.
Asset Engineering	Standard conditions and notes are addressed in the permit conditions as part of the recommendation.
Landscape Officer	No high value site trees were identified and there are no neighbouring trees within proximity to the site. Standard canopy tree planting conditions will be addressed by way of permit conditions as part of the recommendation.
Parks Services	No impact to a Glen Eira Road street tree. Mulgrave street has no street trees within proximity to the proposed crossover.

ISSUES AND DISCUSSION

The assessment of the proposal has regard to the following:

- Zoning and policy context
- Neighbourhood character
- Height, scale and massing
- Site permeability
- Amenity impacts including internal amenity
- Landscaping
- Internal amenity
- Car parking and traffic
- Management plan requirements
- Objectors concerns

Zoning and policy context

The site is located within the Neighbourhood Residential Zone and is subject to consideration under the Minimal Change Area Policy. Whilst the purpose of the Minimal Change Area Policy is to promote predominantly single dwellings and 2 dwelling developments, the policy allows Council to consider applications for more than 2 dwellings.

The policy requires the proposal to satisfy the higher standards for site coverage, rear setback and private open space prescribed in the schedule to the zone. The site should be a large site or in an area characterised by multi-unit developments.

Whilst the proposal does not meet some of the ResCode standards, the variations to the standards can be justified based on the immediate character of the neighbourhood.

In this respect:

- Site coverage of 63% (50% is the standard) – site coverage of the neighbouring properties, including the under construction child care centre, the single dwellings at 3 and 5 Garden Street and 304 Glen Eira Road are all sites which comfortably exceed 50% site coverage. The context is therefore one of higher site coverage.
- Permeability of 16% (25% is the standard) – the permeability of the child care centre and 304 Glen Eira Road are also below 25%. However, there is room for the application to easily meet 20% permeability required by Standard B8 by introducing permeable paving within the SPOS areas in the front and rear setbacks. The garden area standard of 35% has been met and there is sufficient landscaping opportunities provided within the front and rear setbacks to justify a 20% permeability for the site.
- Private open space is provided in the form of balconies to the first floor apartments (40sqm of secluded private open space at ground level is the standard) – As there is neighbourhood character evidence to support an apartment style building proposal, balcony style private open space must be taken into consideration. The balconies proposed comply with Standard B43 (55.07-9) of ResCode.

Neighbourhood character

The proposed development will present a built form to Glen Eira Road which tapers in height from west to east and presents a variety of shades and materials to the street frontage. Two storey apartment style buildings make up a large portion of the immediate neighbourhood character along Glen Eira Road. These apartment buildings include character elements

which are not usually prevalent within typical minimal change areas, including flat roofs and large site coverages.

When comparing the proposal to neighbouring buildings within a streetscape elevation, the proposal will in fact be one of the smaller buildings within its context. This is also reflected within the Mulgrave Street elevation (street to the rear of the subject site) as the immediate neighbouring apartment buildings also back on to this street. The proposal is in fact more sympathetic to Mulgrave Street than the neighbouring apartment buildings as greater attention has been made on articulation and design detail to the Mulgrave street elevation for the proposal.

The front fence proposed is a 1.8m solid render fence, which is similar to other fence styles and heights along Glen Eira Road.

It is therefore considered, on balance, that the proposed form is acceptable within the context of the site, and will adequately address the Neighbourhood Character objectives of Clause 55.

Height, scale and massing

The maximum overall height of 7.8m is within the 9.0m height limit for the zone. The side and rear setbacks are within the ResCode requirements. The scale and massing of the proposal is smaller than the adjoining properties to the east and west.

Amenity impacts

The proposal complies with the relevant amenity based ResCode standards for side and rear setbacks and daylight to habitable room windows. Overshadowing was a preliminary issue as the morning shadows partially overshadowed 5 Garden Street. In response, the western elevation has been amended by the applicant, and the first floor of apartment 6 has been further setback from the western boundary to address the concern. Whilst at 9am the secluded private open space of 5 Garden Street will continue to be completely overshadowed, from 10am onwards, at least 70% of the private open space will enjoy sunlight, which meets the objective.

Whilst the numerical ResCode side setback standard has been met on the western elevation, it is considered from a visual bulk perspective that the proposed balcony to Unit 6 will have a negative impact on the private open space of 5 Garden Street. It is therefore recommended that the portion of the balcony which directly faces 5 Garden Street be deleted to the satisfaction of the Responsible Authority. This balcony will continue to meet the 8sqm minimum standard as per the requirement of ResCode.

There is a wall on the western boundary which is technically above the 3.2m average height, as per the ResCode Standard. This is however considered an acceptable outcome as the wall is facing a non-sensitive interface of the childcare centre next door.

Overlooking for windows on the ground floor will be restricted by the boundary fences. All upper floor windows and balconies within 9m from the existing secluded private open spaces or habitable room windows are provided with privacy screen/obscure glazing up to 1.7m high above the finished floor level to restrict the visual impact.

Landscaping

No tree protection measures are required for trees on adjoining properties, while tree protection measures will be required for a street tree. Whilst the proposal will require the removal of trees from the subject site, these are considered to be of low value. A landscape plan will however be required for submission with provision of four canopy trees.

Car parking and traffic

The proposal seeks the reduction of 1 visitor parking space. This is supported as each apartment is provided with 2 car spaces, which goes beyond the statutory requirement of only 1 car space to be provided for a 2 bedroom apartment. As such there is an oversupply of car parking that will absorb this visitor demand. It is noted that each apartment is provided with a study space; however these spaces are relatively small and will not be a substitute for an actual bedroom.

The overall increase in traffic volume can be accommodated on the local road network.

Internal amenity

Ground floor secluded private open space is proposed within the front setback (facing Glen Eira Road) for units 1 and 2, which is typically discouraged within Minimal Change areas. It is however considered to be an acceptable outcome in this instance as the spaces have fairly generous minimum dimensions (7m), are north facing and have a high solid front fence for protection from Glen Eira Road. It is also suitable in the context of the immediate neighbourhood character.

The private open space for unit 3 is not ideal as the only space which has a minimum dimension of at least 4m is the space facing Mulgrave Street. The standard however requires where practicable that it face north and on balance it is considered that the open space is otherwise suitable for the recreation needs of future occupiers.

Objector concerns

Objections regarding neighbourhood character, massing and bulk as they present to neighbouring properties, overshadowing, overlooking and traffic/car parking concerns raised by the objectors have been covered in this report.

POLICY AND LEGISLATIVE IMPLICATIONS

All matter required at Section 60 of the *Planning and Environment Act 1987* have been taken into consideration as part of the assessment of this application.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme One: Liveable and Well Designed
A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

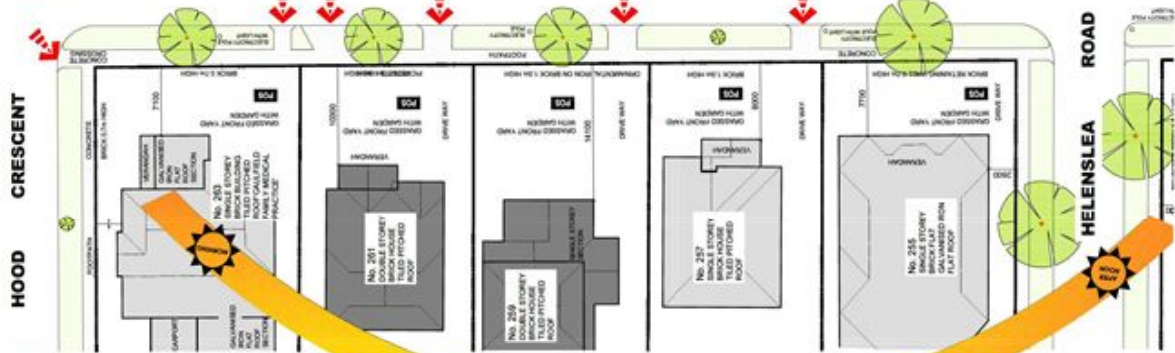
No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Decision to Grant a Planning Permit be issued.

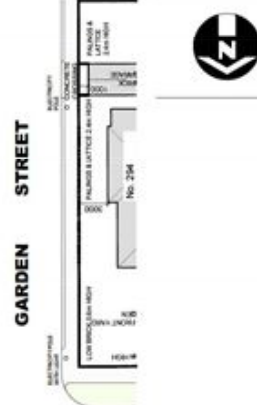
Approved/Consented
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HOOD CRESCENT



REV. DESCRIPTION

GARDEN STREET



DESIGN
THAT EXCITES

PINK
ARCHITECTURE

MELBOURNE - BANGKOK
+61 3 9579 5103
PINKARCHITECTURE@GMAIL.COM

TP 2.01
02-07-18

300
GLEN EIRA ROAD,
ELSTERNWICK,
NEIGHBORHOOD DESIGN
RESPONSE
SCALE 1:100 @ A3

RFI SET
REV DATE: 02/07/18

DESIGN RESPONSE

1. THE PROPOSED DESIGN HAS TAKEN INTO ACCOUNT THE BRICK UP AND ANTI-COLLISION OF BUILDING FORMS TO MINIMISE VISUAL BLUR.
2. ALL MATERIALS AND COLORS TO BE USED FOR THE PROPOSED DEVELOPMENT WILL REFLECT THE AMBIANCE AND CHARACTER SIMILAR TO THE EXISTING STREET SCENE AND SURROUNDING BUILDINGS.
3. THE OVER ALL HEIGHT OF WALLS ARE DESIGNED NOT TO IMPED OVER THE EXISTING BUILDINGS. WALLS ARE SET BACK ALONG THE FOOTPRINT OF THE DEVELOPMENT.
4. DESIRABLE STRETCH TO BOTH STREET PROFILES.
5. ENTRIES TO EACH APARTMENT ARE CLEARLY VISIBLE AND EASILY IDENTIFIABLE.
6. EXISTING VEGETATION ON THE SITE TO BE RETAINED WHERE POSSIBLE.
7. PROPOSED CANOPY TREES PROVIDE SHADDER SHADE AND PRIVACY.
8. BREAK UP OF BUILDING FORMS.
9. LARGE LIGHT WINDOWS AND BLINDING DOORS TO MAIN LIVING AREAS ALLOW EASY ACCESS TO OPEN SPACE.
10. CIRCULAR GLASS TO BATH ROOMS AND ENSUITE AS REQUIRED.
11. HIGHLIGHT WINDOWS TO HABITABLE ROOMS TO PROVIDE NATURAL LIGHT AND BREAKUP OF EXTERNAL UPPER FLOOR WALLS.
12. LARGE WINDOWS TO LIVING AREAS TO INTRODUCE SOLAR ACCESS.
13. USE OF LIGHTWEIGHT FRAME TO ARTICULATE AND MODERNISE THE BUILDING.
14. STEPPING OF BUILDING FACADE TO GRADUATE WALLS UPPER LEVEL REDUCED AND RECESSIVE.
15. EXISTING TIMBER FENCE TO THE EAST AND WEST OF THE SUBJECT SITE TO BE RETAINED.
16. THE PROVISION OF A CORNER PLAY OR AREA AT LEAST 5M CLEAR OF VISUAL OBSTRUCTIONS WITH A HEIGHT OF 1.8M (THAN 5.5 METERS).
17. THE DESIGN HAS TAKEN INTO CONSIDERATION OF THE VARIATION OF OPEN SPACE, THIS MINIMUM OFF SITE OVERLOOKING ADJACENT WINDOWS AND OPEN SPACE, THIS MINIMUM OFF SITE AMENITY IMPACTS.
18. PERIMETER PLANNING OPPORTUNITIES PROVIDE TO SOFTEN BUILDING FORM.
19. PLANNING OF NEW DEVELOPMENT WILL ENHANCE INTERFACES AND PROVIDE PROTECT BETWEEN NEIGHBORHOODS AND STREETS.
20. INFRASTRUCTURE FOR THE DEVELOPMENT ARE ABLE TO BE INSTALLED BY CONNECTION TO EXISTING SERVICE WITHIN THE SITE.



PINK

DESIGN
THAT EXCITES

Symptoms

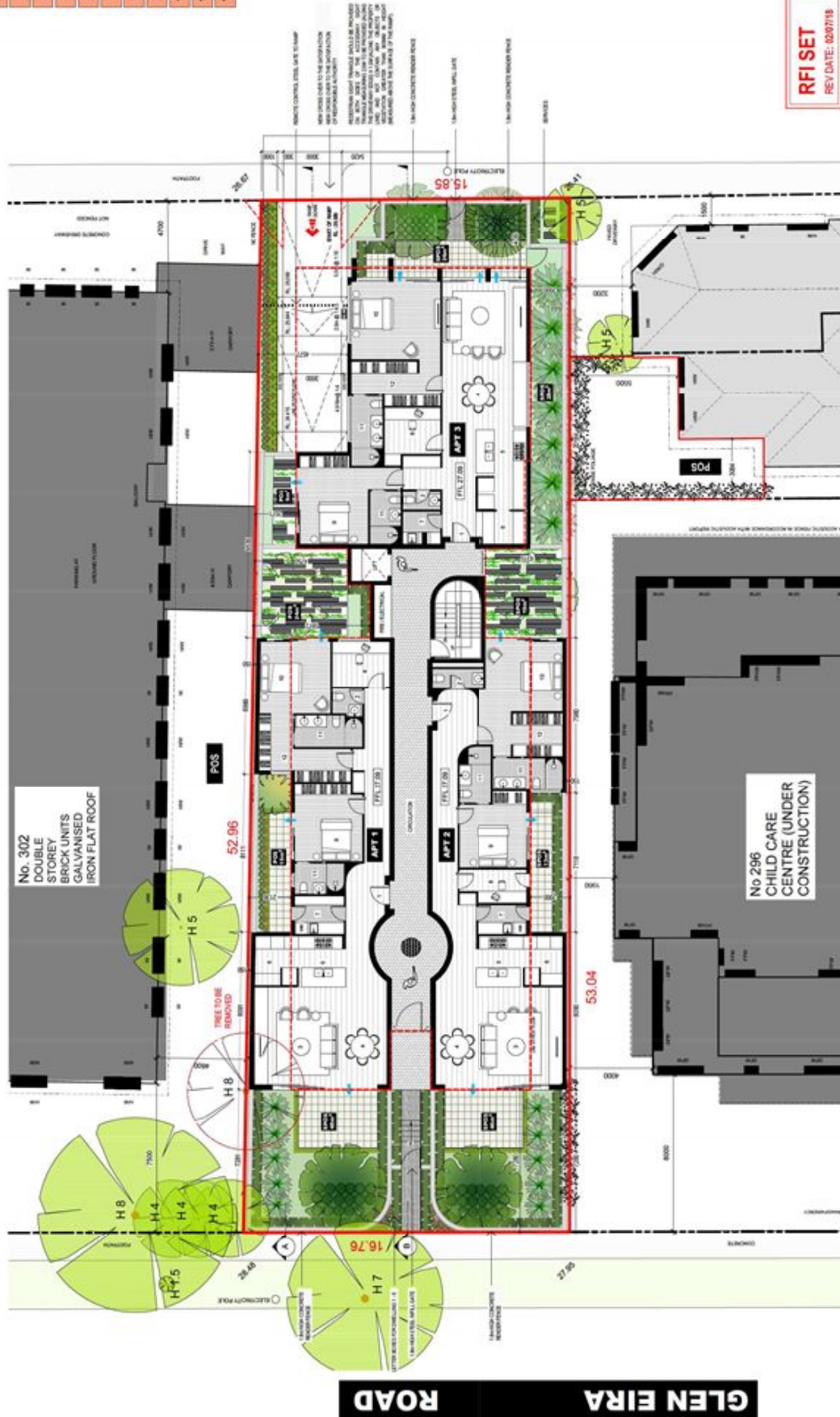
WELBURNNE-BANGKOK
+66279705705
PINKARCHITECTURE@MAIL

TP 3.00
02-07-18

300
GLEN EIRA ROAD,
ELSTERNWICK.
PROPOSED BASEMENT
FLOOR PLAN
SCALE 1:100 @ A1
SCALE 1:200 @ A3

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- | | |
|----|----------------|
| 1 | ENTRY |
| 2 | POWDER ROOM |
| 3 | LIVING |
| 4 | DINING |
| 5 | KITCHEN |
| 6 | BUTLER PANTRY |
| 7 | LAUNDRY |
| 8 | STUDY |
| 9 | BEDROOM 1 |
| 10 | MASTER BEDROOM |
| 11 | ENSUITE |
| 12 | WIR |



REV. DESCRIPTION



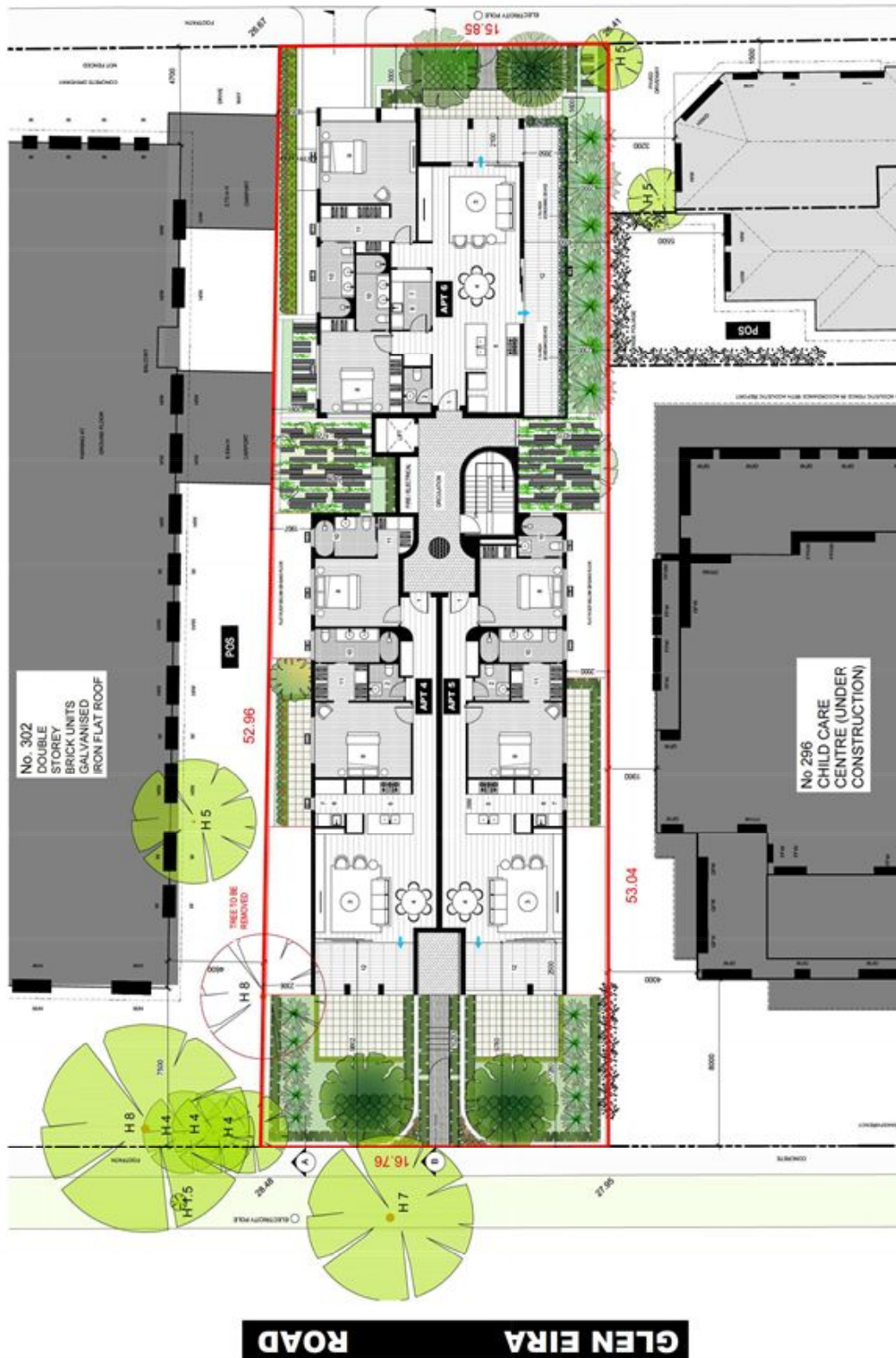
PINK
ARCHITECTURE
DESIGN
THAT EXCITES

PINK
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MELBOURNE - BANGKOK
+61 3 9573 0515
PINKARCHITECTURE@MAIL.COM

TP 3.01
19-04-18

300
GLEN EIRA ROAD,
ELSTERNWICK,
PROPOSED GROUND
FLOOR PLAN
SCALE 1:100 @ A1
SCALE 1:200 @ A3

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1	ENTRY
2	POWDER ROOM
3	LIVING
4	DINING
5	KITCHEN
6	BUTLER PANTRY
7	LAUNDRY
8	BEDROOM 1
9	MASTER BEDROOM
10	ENSUITE
11	WIR
12	BALCONY
13	STUDY

WINDOW LEGEND	
W1-W5	WALL WINDOW WITH 1.8m ELEVATION
W6-W8	CEILING WINDOW BLINDS AT 1.8m HEIGHT
W9	SCREEN DEVICE AT 1.8m HEIGHT

RFI SET
REV DATE: 02/07/18

REV. DESCRIPTION



PINK
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DESIGN
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PINK
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TP 3.02
02-07-18

300
GLEN EIRA ROAD,
ELSTERNWICK.
PROPOSED FIRST FLOOR PLAN
SCALE 1:100 @ A1
SCALE 1:200 @ A3



REV.	DESCRIPTION
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TP 3.03
02-07-18

PROPOSED ROOF PLAN
SCALE 1:100 @ A1
SCALE 1:200 @ A3

**No. 3 GARDEN STREET (SINGLE STOREY
RENDERED BRICK HOUSE TILED PITCHED ROOF)**

**No. 300 GLEN ELSTERWICK
ELSTERWICK**

**No. 302 GLEN ERA ROAD
(DOUBLE STOREY GALVANISED
IRON (FLAT ROOF)**

**No. 304
(DOUBLE STOREY RENDER & ALUMINUM CLAD
APARTMENTS GALVANISED IRON PITCHED ROOF)**

RFI SET
REV DATE: 02/07/18

300
GLEN EIRA ROAD,
ELSTERNWICK.
STREET SCAPE
SCALE 1:100 @ A1
SCALE 1:200 @ A3

**DESIGN
THAT EXCITES**

PINK
ARCHITECTURE

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TP 4.00
02-07-18

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NORTH ELEVATION - GLEN EIRA ROAD



WEST ELEVATION



SOUTH ELEVATION - MULGRAVE STREET



EAST ELEVATION

WINDOW LEGEND	
W1-WY	W1-WY WINDOW WITH 1.5m x 1.5m RILL HEIGHT AS INDICATED ON ELEVATIONS
WBS	WBS WINDOW WITH 1.5m x 1.5m RILL HEIGHT AS INDICATED ON ELEVATIONS
WCS	WCS WINDOW WITH 1.5m x 1.5m RILL HEIGHT AS INDICATED ON ELEVATIONS
WCS	SCREEN DEVICE AT 1.5m HEIGHT

GLASS BALUSTRADE - (GB) DARK TINT	
ALUMINIUM WINDOW - (AW) BLACK	
PAINT FINISH LIGHT GRAY	
PAINT FINISH DARK GRAY	
PAINT FINISH LIGHT GRAY	
PAINT FINISH DARK GRAY	

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REV. DESCRIPTION

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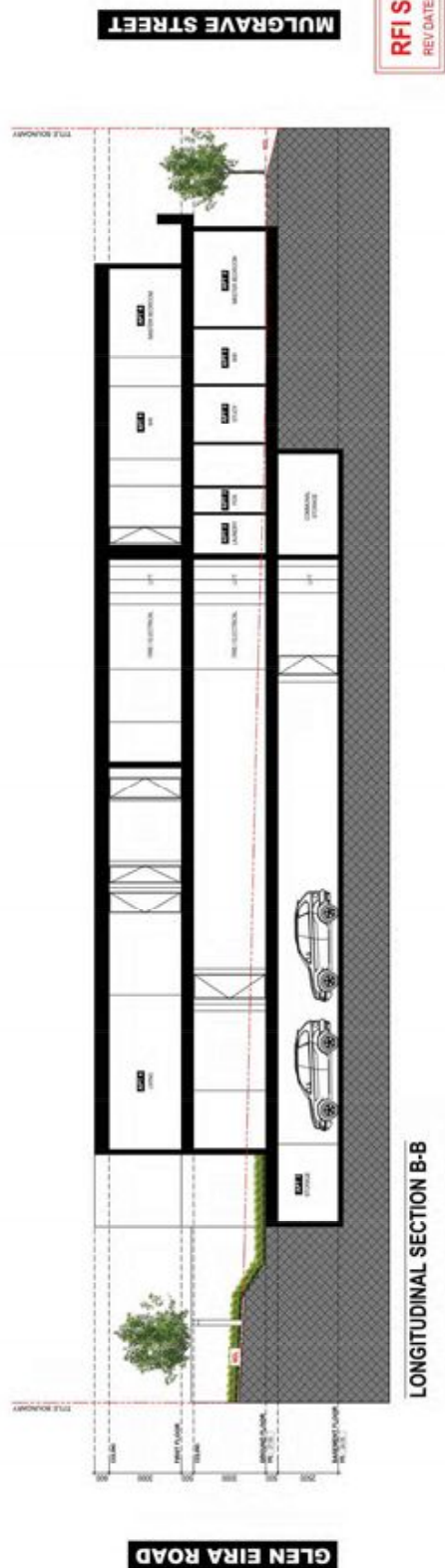
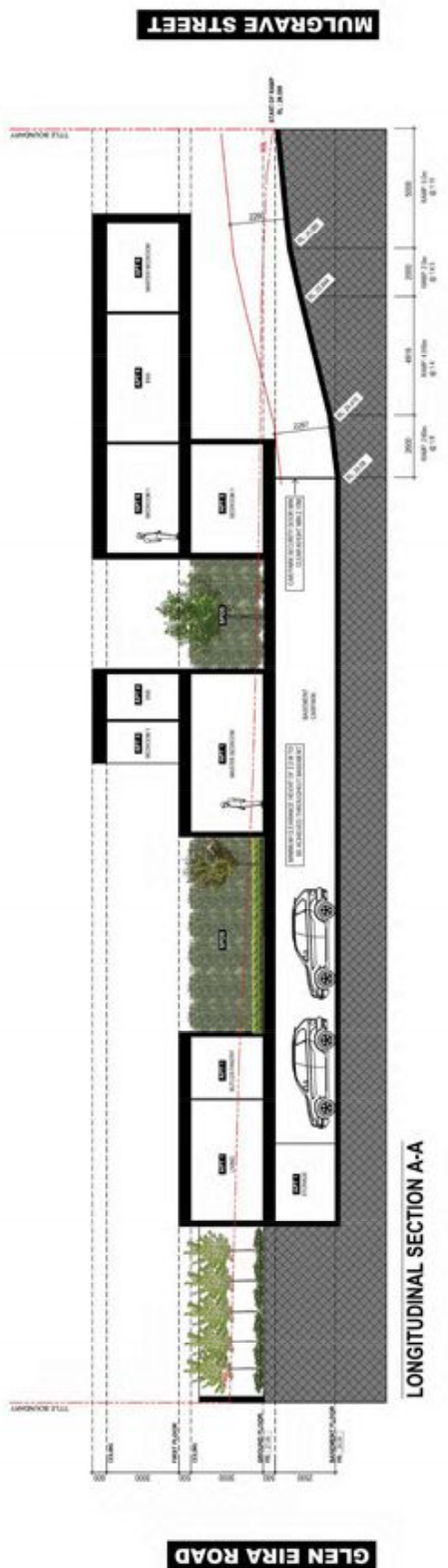
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+66817976105
PINKARCHITECTURE@MAIL.COM
TP 4.01
02-07-18

300
GLEN EIRA ROAD,
ELSTERNWICK
PROPOSED ELEVATIONS
SCALE 1:100 @ A1
SCALE 1:200 @ A3

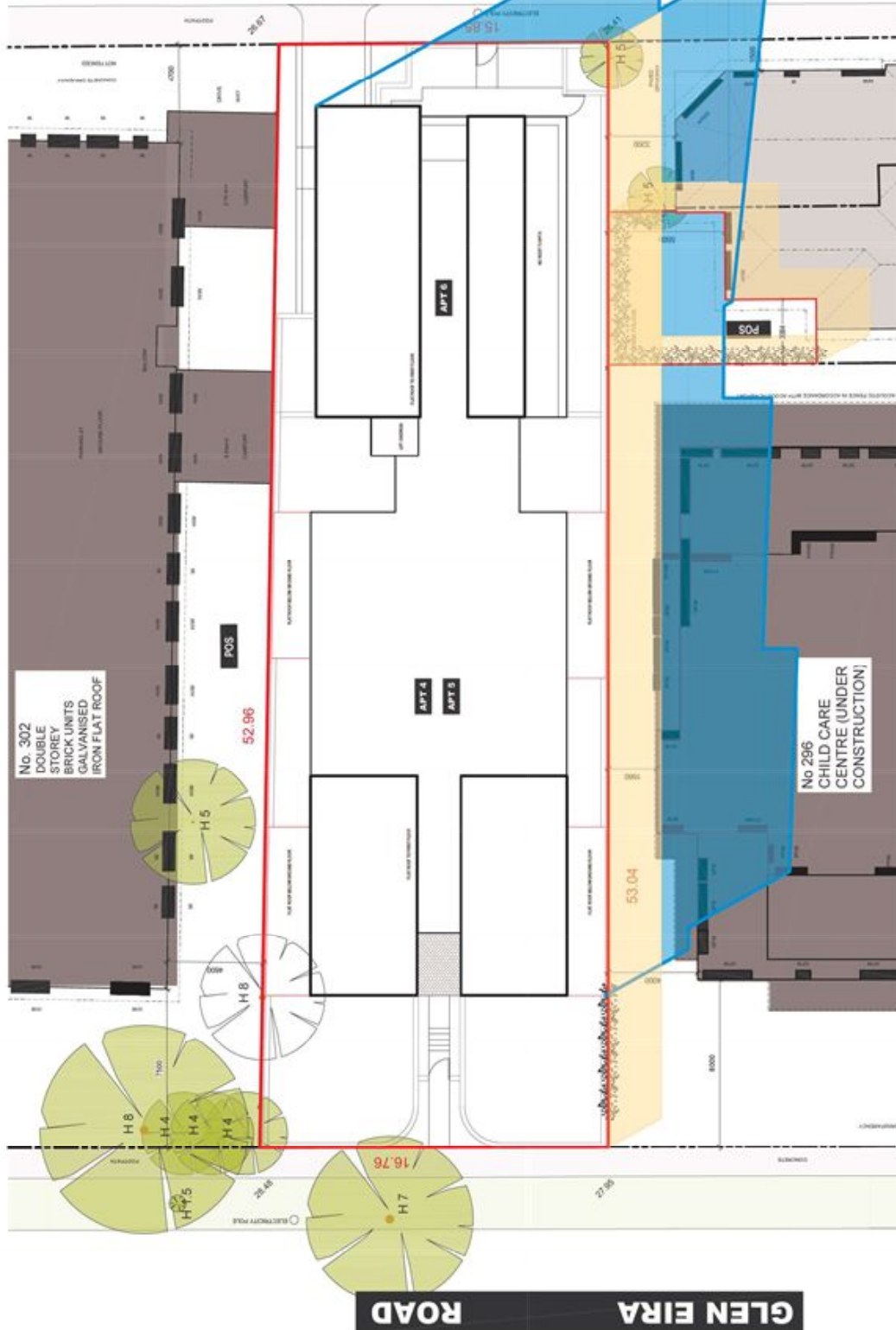
RFI SET
REV DATE: 02/07/18

ALL WALL HEIGHTS ARE TAKEN FROM NATURAL GROUND
LEVEL AT THE POINT WHERE WALL INTERSECTS

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RFI SET
REV DATE: 02/07/18

REV.	DESCRIPTION
	<p>PINK ARCHITECTURE</p> <p>DESIGN THAT EXCITES</p> <p>300 GLEN EIRA ROAD, ELSTERNWICK.</p> <p>TP 4.02 19-04-16</p> <p>PROPOSED SECTIONS SCALE 1:100 @ A1 SCALE 1:200 @ A3</p>



SHADOW DIAGRAMS HAVE BEEN PROVIDED BETWEEN THE PROPOSED BUILDING AND EXISTING BUILDINGS TO ILLUSTRATE THE BUILDING ORIENTATION, SPACING AND SEPARATION. THE SHADOW ANALYSIS SHOWS THAT THE BUILDING ORIENTATION, SPACING AND SEPARATION ALLOWS FOR ADEQUATE AMOUNT OF SUNLIGHT THROUGHOUT THE DAY. THE SHADOW ANALYSIS SHOWS THAT THE BUILDING ORIENTATION, SPACING AND SEPARATION ALLOWS FOR ADEQUATE AMOUNT OF SUNLIGHT THROUGHOUT THE DAY. THE SHADOW ANALYSIS SHOWS THAT THE BUILDING ORIENTATION, SPACING AND SEPARATION ALLOWS FOR ADEQUATE AMOUNT OF SUNLIGHT THROUGHOUT THE DAY.

SHADOW OF EXISTING FENCE
SHADOW OF PROPOSAL

MULGRAVE STREET

RFI SET
REV DATE: 02/07/18

REV. DESCRIPTION

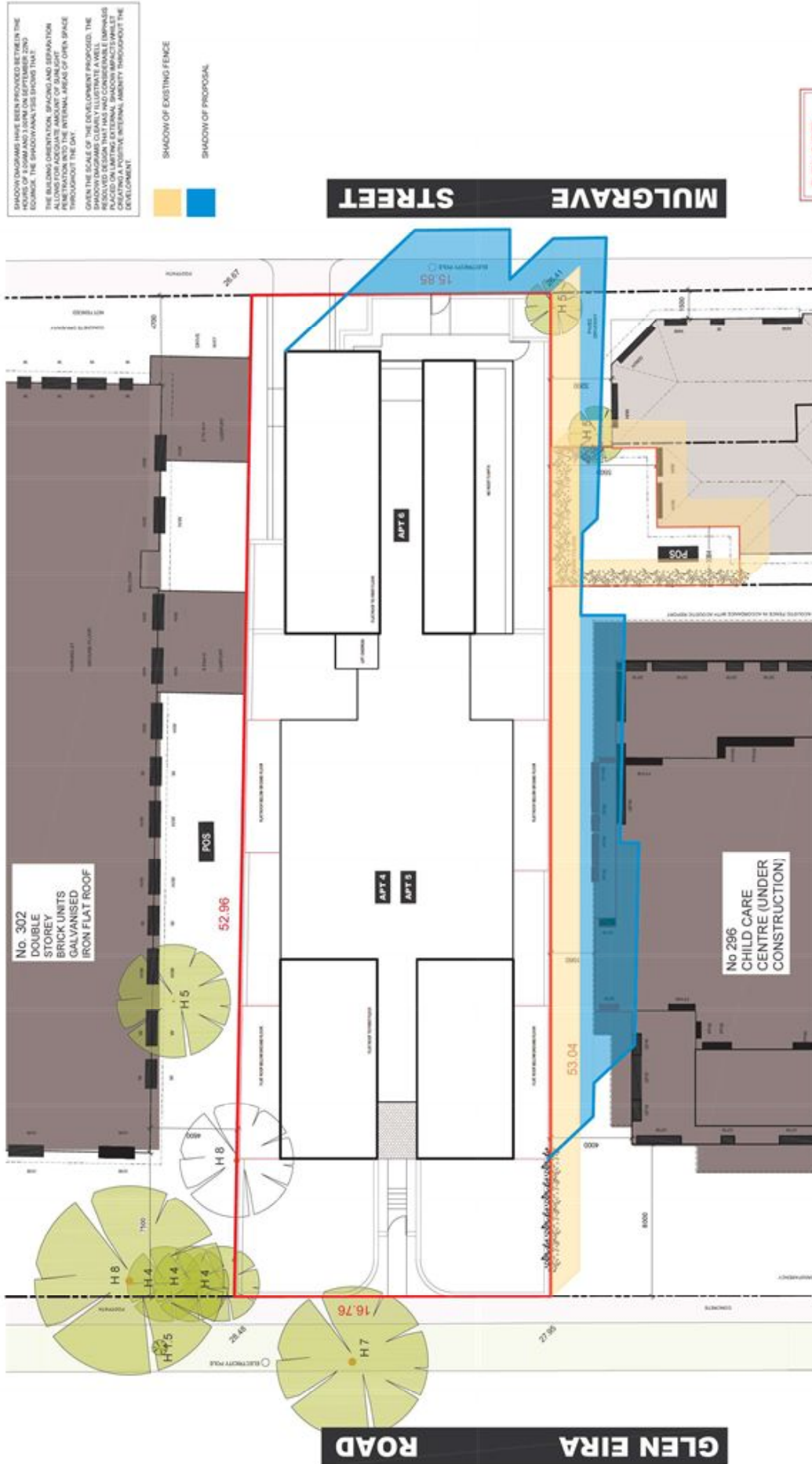


PINK ARCHITECTURE
DESIGN THAT EXCITES

PINK ARCHITECTURE
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+66237373103
PINKARCHITECTURE@MAIL.COM

TP 7.00
02-07-18

300 GLEN EIRA ROAD,
ELSTERNWICK.
SHADOW DIAGRAM SEPT
22 @ 9 AM
SCALE 1:100 @ A1
SCALE 1:200 @ A3



RFI SET
REV DATE: 02/07/18

REV.	DESCRIPTION
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PINK
ARCHITECTURE
DESIGN
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PINK
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+66297970303
PINKARCHITECTURE@MAIL.COM

TP 7.01
02-07-18

300
GLEN EIRA ROAD,
ELSTERNWICK.
SHADOW DIAGRAM SEPT
22 @ 10 AM
SCALE 1:100 @ A1
SCALE 1:200 @ A3

SHADOW DIAGRAMS HAVE BEEN PROVIDED BETWEEN THE HOURS OF 8:00AM AND 3:00PM ON SEPTEMBER 22ND. EQUINOX. THE SHADOW ANALYSIS SHOWS THAT:

THE BUILDING ORIENTATION, SPACING AND SEPARATION ALLOWS FOR ADEQUATE AMOUNT OF SUNLIGHT PENETRATION INTO THE INTERNAL AREAS OF OPEN SPACE THROUGHOUT THE DAY.

GIVEN THE SCALE OF THE DEVELOPMENT PROPOSED, THE SHADOW DIAGRAMS CLEARLY ILLUSTRATE A WELL RESOLVED DESIGN THAT HAD NO CONSIDERABLE IMPACTS PLACED ON LIMITED EXISTING SHADOW IMPACTS WHILE CREATING A POSITIVE INTERNAL AMBIENT THROUGHOUT THE DEVELOPMENT.



RFI SET
REV DATE: 020718

300
GLEN EIRA ROAD,
ELSTERNWICK.
SHADOW DIAGRAM SEPT
22 @ 11 AM
SCALE 1:100 @ A1
SCALE 1:200 @ A3

TP 7.02
02-07-18

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ARCHITECTURE
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+66278785705
PINKARCHITECTURE@MAIL.COM

PINK
DESIGN
THAT EXCITES



REV.	DESCRIPTION
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DESCRIPTION

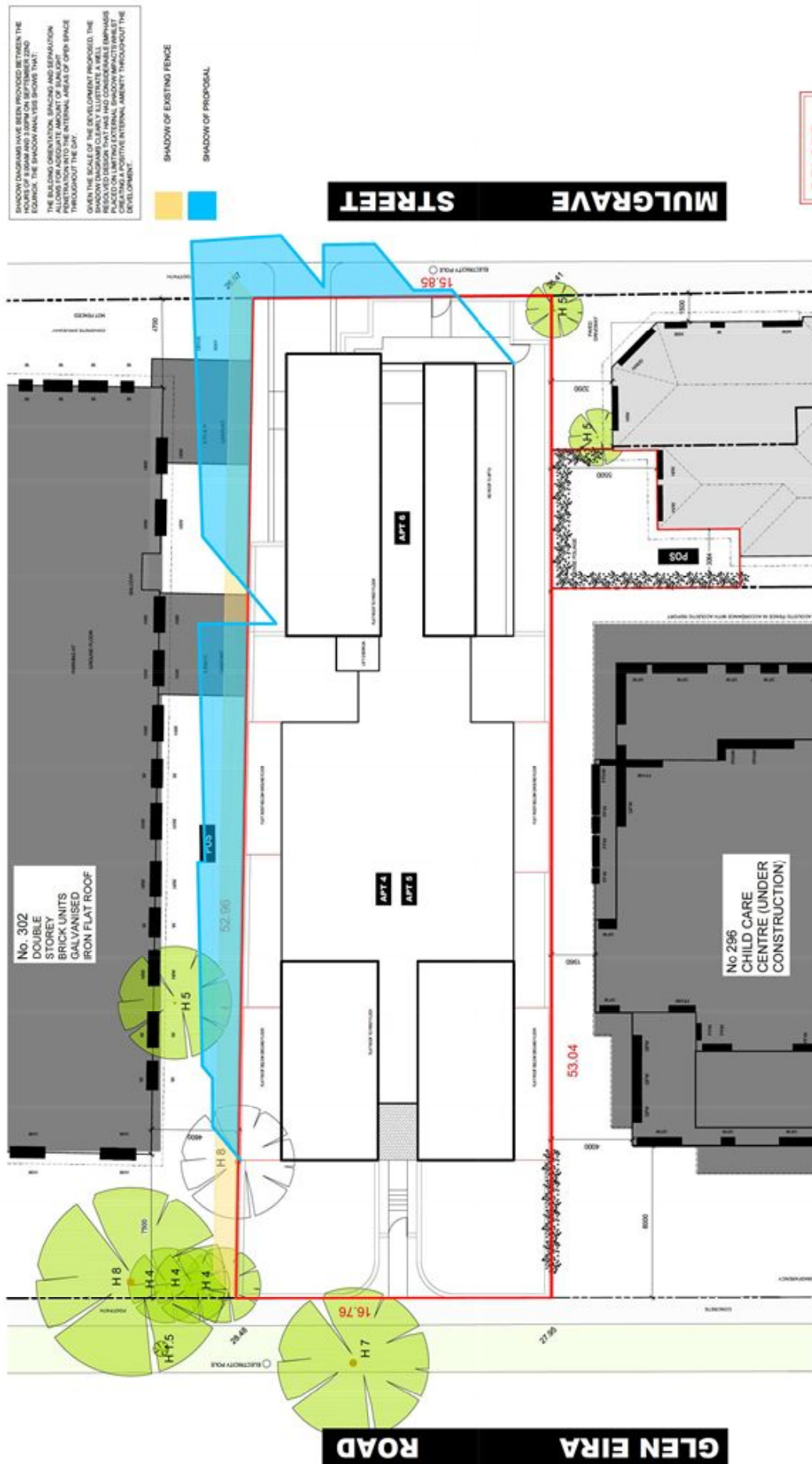
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PINK
DESIGN
THAT EXCITES

PINK
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PINKARCHITECTURE@GMAIL.COM

300
GLEN EIRA ROAD,
ELSTERNWICK.
SHADOW DIAGRAM SEPT
22 @ 12 PM
SCALE 1:100 @ A1
SCALE 1:200 @ A3



RFI SET
REV DATE: 02/07/18

REV. DESCRIPTION



PINK
DESIGN
THAT EXCITES

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ARCHITECTURE
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PINKARCHITECTURE@MAIL.COM

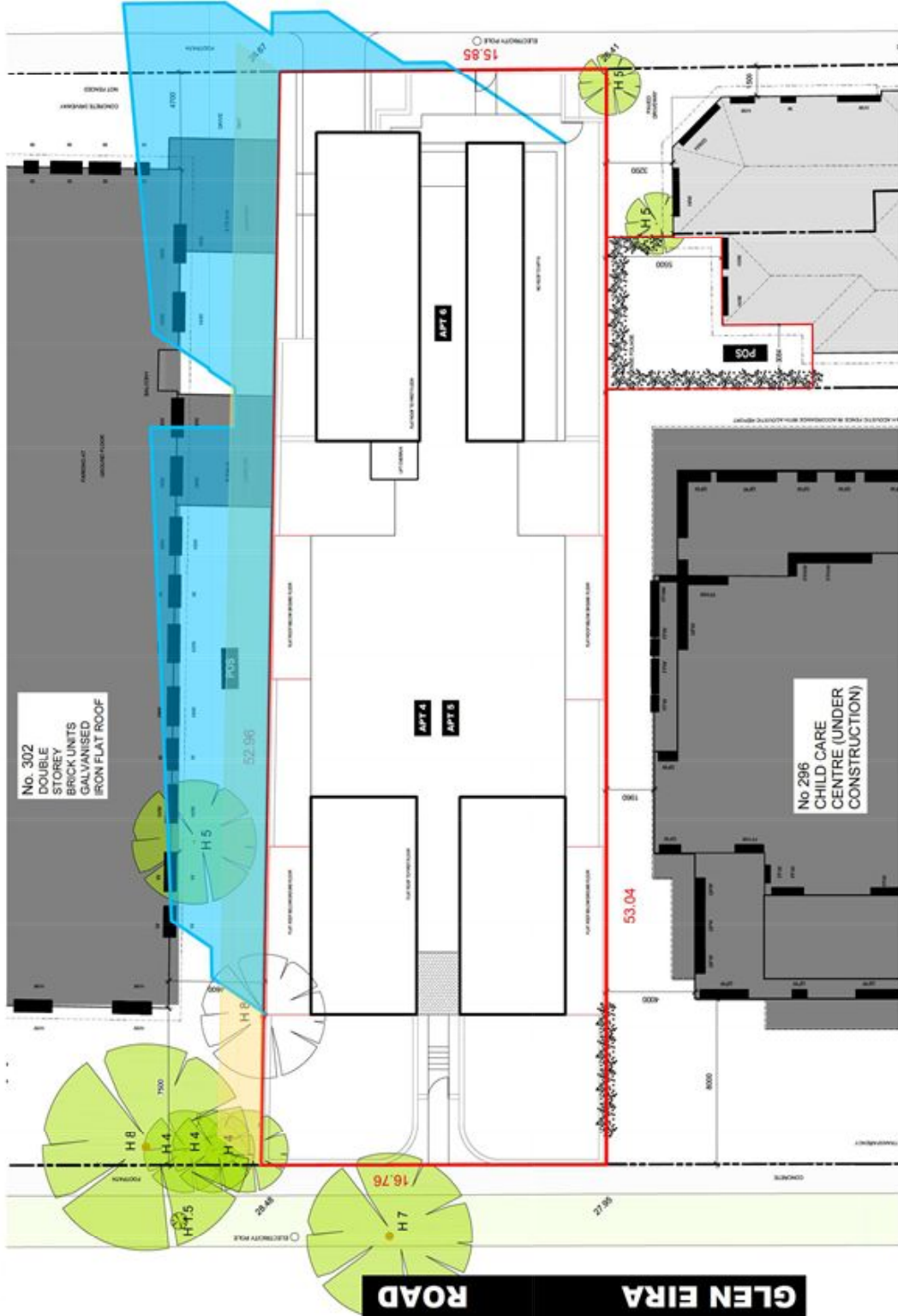
TP 7.05
02-07-18

300
GLEN EIRA ROAD,
ELSTERNWICK.
SHADOW DIAGRAM SEPT
22 @ 2 PM
SCALE 1:100 @ A1
SCALE 1:200 @ A3

Approved Document
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SHADOW DIAGRAMS HAVE BEEN PROVIDED BETWEEN THE
HOURS OF 9.00AM AND 3.00PM ON SEPTEMBER 22ND
2020. THE SHADOW ANALYSIS SHOWS THAT:
THE BUILDING ORIENTATION, SPACING AND SEPARATION
ALLOW FOR ADEQUATE AMOUNT OF BUILDING
INTERNAL SPACE AND OPEN SPACE
THROUGHOUT THE DAY.
GIVEN THE SCALE OF THE DEVELOPMENT PROPOSED, THE
SHADOW DIAGRAMS CLEARLY ILLUSTRATE A WELL
PLANNED DEVELOPMENT WITH BUILDINGS
PLACED ON LIMITED EXTERNAL SHADOW IMPACTS WHILE
CREATING A POSITIVE INTERNAL AMBIENT THROUGHOUT THE
DEVELOPMENT.

SHADOW OF EXISTING FENCE
SHADOW OF PROPOSAL



MULGRAVE STREET

GLEN EIRA ROAD

RFI SET
REV DATE: 02/07/18

REV. DESCRIPTION



DESIGN
THAT EXCITES

PINK ARCHITECTURE
MELBOURNE - BANGKOK
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TP 7.05
02-07-18

300 GLEN EIRA ROAD,
ELSTERNWICK.
SHADOW DIAGRAM SEPT
22 @ 3 PM
SCALE 1:100@A1
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RESCODE ASSESSMENT TABLE

CLAUSE 55.02: NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B1: Neighbourhood character	YES	YES	The proposed development will present a built form to Glen Eira Road which tapers in height from west to east and presents a variety of shades and materials to the street frontage. Two storey apartment style buildings make up a large portion of the immediate neighbourhood character along Glen Eira Road. These apartment buildings include character elements which are not usually prevalent within typical minimal change areas, including flat roofs and large site coverages. When comparing the proposal to neighbouring buildings within a streetscape elevation, the proposal will in fact be one of the smaller buildings within its context. This is also reflected within the Mulgrave Street elevation (street to the rear of the subject site) as the immediate neighbouring apartment buildings also back on to this street. The proposal is in fact more sympathetic to Mulgrave Street than the neighbouring apartment buildings as greater attention has been made on articulation and design detail to the Mulgrave street elevation for the proposal.
B2: Residential policy	YES	YES	
B3: Dwelling diversity	N/A	N/A	
B4: Infrastructure	YES	YES	
B5: Integration with the street	YES	YES	Pedestrian access from Glen Eira Road proposed with vehicular access from Mulgrave st (to the rear)

CLAUSE 55.03: SITE LAYOUT AND BUILDING MASSING			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B6: Street setback	YES	YES	7m required, 7.28 proposed.
B7: Building height	YES	YES	7.8m proposed, 9m required
B8: Site coverage	NO	YES	Site coverage of 63% (50% is the standard) – site coverage of the neighbouring properties, including the under construction child care centre, the single dwellings at 3 and 5 Garden Street and 304 Glen Eira Road are all sites which comfortably exceed 50%

RESCODE ASSESSMENT TABLE

			site coverage.
B9: Permeability	NO	YES	Permeability of 16% (25% is the standard) – the permeability of the child care centre and 304 Glen Eira Road are also below 25%. There is however room for the application to easily meet 20% permeability by introducing permeable paving within the SPOS areas in the front and rear setbacks. The garden area standard of 35% has been met and there is sufficient landscaping opportunities provided within the front and rear setbacks to justify a 20% permeability for the site.
B10: Energy efficiency	YES	YES	
B11: Open space	N/A	N/A	
B12: Safety	YES	YES	
B13: Landscaping	YES	YES	No TPZs required, crossover is proposed at Mulgrave st where there are no street trees. Standard canopy tree conditions apply.
B14: Access	YES	YES	
B15: Parking location	YES	YES	

CLAUSE 55.04: AMENITY IMPACTS			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B17: Side and rear setbacks	NO	YES	1.9m setback (minimum) proposed for first floor for sides which complies with the standard. The first floor encroaches on the rear 4m setback standard (3.4m proposed) via a cantilevering element. This is considered an appropriate outcome as it matches the setback pattern of Mulgrave street, which contains the 4.7m setback of the apartment building at 302 Glen Eira and tapering down to the 1.5m side setback of 3 Garden Street.
B18: Walls on boundaries	NO	YES	All walls on boundaries are under the 3.2m average wall height, except for a wall facing the child care centre site, which is 3.4m – this is considered appropriate as it is a non-sensitive interface.
B19: Daylight to existing windows	YES	YES	6m setback proposed to nearest habitable room windows (located at 302 Glen Eira)
B20: North-facing windows	N/A	N/A	
B21: Overshadowing open	YES	YES	At 9am, the secluded private open

RESCODE ASSESSMENT TABLE

space			space of 5 Garden Street will be completely overshadowed, from 10am onwards however, at least 70% of the private open space will enjoy sunlight, which meets the required standard.
B22: Overlooking	YES	YES	All windows at the first floor and balconies are screened/frosted to 1.7m in accordance with the standard.
B23: Internal views	YES	YES	
B24: Noise impacts	YES	YES	

CLAUSE 55.05: ON-SITE AMENITY AND FACILITIES			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B25: Accessibility	N/A	N/A	See Clause 55.07
B26: Dwelling entry	N/A	N/A	See Clause 55.07
B27: Daylight to new windows	YES	YES	
B28: Private open space	NO	YES	<p>Ground floor secluded private open space is proposed within the front setback (facing Glen Eira Road) for units 1 and 2, which is typically discouraged within Minimal Change areas. It is however considered to be an acceptable outcome in this instance as the spaces have fairly generous minimum dimensions (7m), are north facing and have a high solid front fence for protection from Glen Eira Road.</p> <p>The private open space for unit 3 requires some modification as the only space which has a minimum dimension of at least 4m is the space facing Mulgrave Street. This space as the sole location of private open space for this dwelling is considered to be unsatisfactory due to its southern orientation and setbacks provided which is below the ResCode B29 standard in order to achieve sufficient sunlight to the space. Unit 2 by contrast has a generous amount of private open space allocated to it in the form of the space facing Glen Eira road and the two western spaces accessed via the bedrooms. It is therefore recommended that the 19sqm western space be reallocated to unit 3, which will allow this unit to access a space with a minimum dimension of 4m and sufficient solar access. The unit 2 bedroom facing</p>

RESCODE ASSESSMENT TABLE

			this space will need to have the window adjusted to a 1.7m sill height with acoustic treatment in order to address internal overlooking and noise concerns
B29: Solar access to open space	NO	YES	Solar access will be addressed via reallocating private open space (as mentioned above)
B30: Storage	N/A	N/A	See Clause 55.07.

CLAUSE 55.06: DETAILED DESIGN			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B31: Design detail	YES	YES	Design elements, including flat roof form, slightly cantilevered element toward Mulgrave street and the materials chosen all respect the medium density character of the immediate neighbourhood context.
B32: Front fences	YES	YES	The front fence proposed is a 1.8m solid render fence, which is similar to other fence styles and heights along Glen Eira Road.
B33: Common property	YES	YES	Common areas are practical and reasonable
B34: Site services	YES	YES	
CLAUSE 55.07: APARTMENT DEVELOPMENTS			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B35: Energy Efficiency	YES	YES	The dwellings have been appropriately oriented to enable suitable solar access into main living spaces.
B36: Communal Open Space	N/A	N/A	As there are less than 40 dwellings, this Standard is not applicable
B37: Solar access to communal outdoor space	N/A	N/A	Not applicable
B38: Deep soil areas and canopy trees	YES	YES	Landscaping opportunities have been provided for planting of canopy trees.
B39: Integrated water and stormwater management	NO	YES	A stormwater management system is proposed however further detail regarding compliance is recommended to be provided in an ESD report.
B40: Noise impacts	YES	YES	An acoustic report has been provided to demonstrate compliance.
B41: Accessibility	YES	YES	At least 50% of dwellings have the required dimensions as specified in the standard.
B42: Building Entry and Circulation	YES	YES	The building has an appropriate sense of identity and allows for efficient and safe movement of residents
B43: Private Open Space	YES	YES	Complies with the standard. Balconies

RESCODE ASSESSMENT TABLE

above ground floor			of reasonable size and accessibility
B44: Storage	YES	YES	Each dwelling has ample storage within the basement as well as at least 9 cubic metres provided within the dwellings.
B45: Waste and recycling	YES	YES	Bin storage is provided within the basement
B46: Functional layout	YES	YES	Room dimensions are all satisfactory.
B47: Room Depth	YES	YES	Room depths are all satisfactory
B48: Windows	YES	YES	Every habitable room window allows adequate daylight
B49: Natural ventilation	YES	YES	Natural and cross-ventilation will be achieved for all dwellings

9.2 2 WATTLE GROVE, MCKINNON

Author: *Miranda Jenkins, Senior Planner*

Trim No: *18/1216427*

Attachments: 1. *2 Wattle Grove - ResCode table*
2. *2 Wattle Grove MCKINNON - advertised plans*

PURPOSE AND SUMMARY

The purpose of this report is to provide an assessment and recommendation for a planning permit application for the construction of a three storey building comprising five townhouses at 2 Wattle Grove, McKinnon.

The application was advertised and 10 objections were received with concerns ranging from it being an inappropriate response to the neighbourhood character, impacts to the availability of on-street car parking, increased traffic congestion and the height, massing and bulk of the proposal.

The proposal is considered on balance to be generally in accordance with requirements of the Glen Eira Planning Scheme and it is recommended that a Notice of Decision to Grant a Planning Permit be issued.



RECOMMENDATION

That Council issues a Notice of Decision to Grant a Planning Permit for Application No. GE/PP-31889/2018 at 2 Wattle Grove, McKinnon in accordance with the following conditions:

Amended Plans

1. Before the commencement of the development, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. The plans must be drawn to scale with dimensions and must generally accord with the plans submitted with the application (identified as Drawing No. DR-01, TP-01, TP-02, TP-03 and SD-01, Revision C, prepared by Selwyn Blackstone Architect and dated June 2018 and Drawing No. L-TP01, prepared by John Patrick Landscape Architects Pty Ltd and dated April 2018) but modified to show:
 - (a) Melbourne Water requirements demonstrated on the plans as per condition 8.
 - (b) A landscape plan in accordance with Condition 2.
 - (c) Second floor balcony to Townhouse 1 to comply with Standard B22 of the Glen Eira Planning Scheme.
 - (d) Screening to first and second floor balconies to Townhouses 4 and 5 to be no more than 25% transparent.
 - (e) The location of any substation, fire booster infrastructure and utilities cupboards. These facilities must be integrated into the development. If this infrastructure has an interface with the public realm, an enlarged elevation should be provided, with annotations detailing high quality finishes.
 - (f) The visitor car space deleted and replaced with landscaping and a pedestrian sight triangle. No objects or vegetation greater than 900mm in height are to be located within sight triangles.
 - (g) Garages to Townhouses 2 and 3 to be setback an additional 500mm.
 - (h) Internal garage dimensions for Townhouses 2 and 3 to be increased to accommodate garbage bin storage in addition to vehicle parking. Minimum 5.5 x 6 metres to be provided for vehicle parking.
 - (i) No building/structure/footings within 1 metre laterally from the edge of the existing Council stormwater drain. Location of the existing Council stormwater drain to be shown on the plans.
 - (j) A more defined front entry to Townhouse 5, such as a projecting canopy.
 - (k) The front fence to be a maximum height of 1.8m.
 - (l) The existing crossover to be removed and replaced with footpath, naturestrip and kerb and channel.
 - (m) A note on the ground floor plans that there will be a freestanding trellis (maximum 25% openings) erected above the existing fence along the eastern property boundary to an overall height of 1.7m above the FFL of the Townhouse 5, to the satisfaction of the Responsible Authority.

When approved, the plans will be endorsed and will then form part of this Permit.

Landscaping and tree protection

2. A detailed Landscape Plan must be submitted to Council, to the satisfaction of the Responsible Authority. When the Landscape Plan is approved, it will become an endorsed plan forming part of this Permit. The Landscape Plan must incorporate the following:
 - (a) A survey, including botanical names, of all existing vegetation to be retained.
 - (b) Buildings and trees (including botanical names) on neighbouring properties within 3 metres of the boundary.
 - (c) A planting schedule of all proposed vegetation including botanical names; common names; pot sizes; sizes at maturity; quantities of each plant; and details of surface finishes of pathways and driveways.
 - (d) Landscaping and planting within all open space areas of the site.
 - (e) Advanced canopy trees (minimum 3.0 metres tall when planted unless otherwise agreed to in writing by the Responsible Authority) in the following areas:
 - (i) 2 trees within the front setback of Townhouses 1 and 2 (one for each dwelling). The trees must be a species that is capable of growing to a minimum of 10 x 8 (Height x Width);
 - (ii) 3 trees within the private open space areas of Townhouses 3, 4 and 5.
or 5 trees in locations to the satisfaction of the Responsible Authority.

Trees are not to be sited over easements. All species selected must be to the satisfaction of the Responsible Authority.

3. The landscaping as shown on the endorsed Landscape Plan must be carried out, completed and maintained to the satisfaction of the Responsible Authority.
4. The landscaping as shown the endorsed Landscape Plan must be maintained, and any dead, diseased or damaged plant replaced in accordance with the landscaping plan to the satisfaction of the Responsible Authority.
5. Prior to the commencement of the buildings and works (including demolition), a tree protection fence must be erected around the street tree at a radius of 2 metres from the base of the trunk to define a 'tree protection zone'. Temporary fencing is to be used as per AS 4870-2009 section 4.3. This fence must be constructed of star pickets and chain mesh (or similar) to the satisfaction of the Responsible Authority. The tree protection fence must remain in place until the construction within the tree protection zone is completed. The tree protection zone for that component of the development not required for construction must remain fenced until construction is complete. No vehicular or pedestrian access, trenching or soil excavation is to occur within the tree protection zone. No storage or dumping of tools, equipment or waste is to occur within the tree protection zone.
6. The ground surface of the tree protection zone must be covered by a protective 100mm deep layer of mulch prior to the development commencing and be watered regularly to the satisfaction of the Responsible Authority.

Above ground canopy TPZ (Tree Protection Zone) to be adopted. No works, structures or machinery will come within 1m of the trees crown/canopy as per AS 4870-2009 section 3.3.6.

Tree Protection Zone (TPZ) fencing must be adopted to protect the street tree's trunk. Set at edge of TPZ on all sides (Finishing at paved surfaces). Temporary fencing to be used as per AS 4870-2009 section 4.3.

Hand excavate any area within 1.5m of the Tree Protection Zone (TPZ). If roots over 40mm are found, Park Services are to be notified and further inspections will be carried out.

Ground protection is to be used if temporary access for machinery is required within the Tree Protection Zone (TPZ). Strapped rumble boards are to be used within TPZ to limit ground compaction as per AS 4870-2009 section 4.5.3.

7. No excavation is to come within 3.2m of the existing street tree (measured from the centre of the trunk) without the prior consent of the Responsible Authority. Any excavation within 1.5m of the tree protection zones must be hand excavated. If roots over 40mm are found, Park Services are to be notified and further inspections will be carried out.

Ground protection is to be used if temporary access for machinery is required within the TPZ (Tree Protection Zone). Strapped rumble boards are to be used within the tree protection zone to limit ground compaction as per AS 4870-2009 section 4.5.3.

Melbourne Water Conditions (conditions numbered 8 to 15)

8. Prior to the development plans being endorsed, amended plans must be submitted to Council and Melbourne Water addressing Melbourne Water's conditions. Plans must include ground and floor levels to Australian Height Datum (AHD) and amended as follows:
 - (a) Fences and gates within the northern setback substituted with a 50% open style fence or gate.
 - (b) The water tanks raised above natural surface.
 - (c) An annotation indicating that the decking is open and unenclosed and steps contain no vertical risers.
9. The dwellings must be constructed with finished floor levels set no lower than 26.57 metres to Australian Height Datum, which is 300mm above the applicable flood level of 26.27 metres to Australian Height Datum.
10. The garages must be constructed with finished floor levels set no lower than 26.42 metres to Australian Height Datum, which is 150mm above the applicable flood level of 26.27m to Australian Height Datum.
11. The development must be set back a minimum of 3.5 metres from the eastern property boundary to allow for passage of flood waters.
12. Imported fill must be kept to a minimum on the property and only be used for the sub floor areas of the dwellings, garages and driveway ramps.

13. Decking located within the private open space areas of each dwelling must be constructed with unenclosed foundations, with steps containing no vertical risers to allow for the passage of overland flows.
14. Fencing separating the front and rear of each dwelling must be of an open style of construction (50% open style) unless with the written consent of Melbourne Water.
15. Fencing within the western property setback must be maintained as proposed unless with the written consent of Melbourne Water.

Construction management

16. Prior to the commencement of any site works including demolition and excavation, the owner must submit a Construction Management Plan to the Responsible Authority for approval. No works including demolition and excavation are permitted to occur until the Plan has been approved in writing by the Responsible Authority. Once approved, the Construction Management Plan will be endorsed to form part of this permit and must be implemented to the satisfaction of the Responsible Authority. The Plan must be to the satisfaction of the Responsible Authority and must provide details of the following:
 - (a) Delivery and unloading points and expected frequency;
 - (b) Truck haulage routes, circulation spaces and queuing lanes;
 - (c) Details how traffic and safe pedestrian access will be managed. These must be in the form of a Traffic Management Plan designed by a suitably qualified traffic practitioner;
 - (d) A liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - (e) An outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
 - (f) Any requirements outlined within this permit as required by the relevant referral authorities;
 - (g) Hours for construction activity in accordance with any other condition of this permit;
 - (h) Measures to control noise, dust, water and sediment laden runoff;
 - (i) Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
 - (j) Any construction lighting to be baffled to minimise intrusion on adjoining lots.

Car parking, access and Council assets

17. Areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
 - (a) constructed;

- (b) properly formed to such levels that they can be used in accordance with the plans;
- (c) surfaced with an all weather sealcoat;
- (d) drained;

to the satisfaction of the Responsible Authority.

Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.

18. Vehicular crossing(s) must be constructed to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority and any existing crossing or crossing opening must be removed and replaced with footpath, nature strip and kerb and channel to the satisfaction of the Responsible Authority.
19. No buildings or works are to be constructed over any easement or other restriction on the land or any sewers, drains, pipes, wires or cables under the control of a public authority without the prior written consent of the relevant authority and the Responsible Authority.

General requirements

20. The layout of the site and size, design and location of buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.

Permit expiry

21. This Permit will expire if:

- The development does not start within two (2) years from the date of this Permit; or
- The development is not completed within four (4) years of the date of this Permit.

The Responsible Authority may extend the time referred to if a request is made in writing before this Permit expires or within six (6) months after the expiry date if the use/development has not commenced.

If the development has commenced, the Responsible Authority may extend the time referred to if a request is made in writing within twelve (12) months of the expiry date.

Conditions End

Permit notes:

- A. The amendments specified in Condition 1 of this Permit and any additional modifications which are “necessary or consequential” are those that will be assessed by Council when plans are lodged to satisfy that condition. Any “necessary or consequential” amendments, in addition to those required by this condition, should be specifically brought to the attention of Council for assessment.

If other modifications are proposed, they must be identified and be of a nature that an application for amendment of permit may be lodged under Section 72 of the Planning and Environment Act 1987. An amendment application is subject to the procedures set out in Section 73 of the Planning and Environment Act 1987.

- B. This Planning Permit represents the planning approval for the development of the land. This Planning Permit does not represent the approval of other departments of Glen Eira City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.
- C. This Planning Permit represents the planning approval for the development of the land. Side and rear boundary fences do not form part of this Planning approval. The approval for building on a "title boundary" enables the building to be sited precisely on the boundary (as determined by a licensed land surveyor) or within 200mm of the title boundary as per the definition in Clause 55.04-2 of the Glen Eira Planning Scheme. All matters relating to the boundary fences shall be in accordance with the provisions of the Fences Act 1968, (i.e. Council will not deliberate on which option prevails but rather the permit holder and adjoining owners will need to cooperatively resolve which of the above outcomes is mutually acceptable).
- D. Any failure to comply with the conditions of this permit may result in action being taken to have an Enforcement Order made against some or all persons having an interest in the land and may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal.
- E. Nothing in the grant of this permit should be construed as granting any permission other than planning permission for the purpose described. It is the duty of the permit holder to acquaint themselves, and comply, with all other relevant legal obligations (including any obligation in relation to restrictive covenants and easements affecting the site) and to obtain other required permits, consents or approvals.
- F. Consideration is required when installing domestic services (i.e – air conditioning units, heaters, pool pumps, water tanks and the like). The owner/occupier/permit holder/developer must take all reasonable and practicable measures in locating domestic services in position that reduce any amenity impact on adjoining properties. This includes selecting an appropriate installation position and enclosing the domestic service. Further information regarding noise from domestic services can be found in the Environmental Protection Act 1970.
- G. Residents of the dwellings allowed under this permit will not be issued Residential Parking Permits (including visitor parking permits).

Asset Engineering Notes

- H. Prior to the commencement of any demolition and/or building works, an Asset Protection Permit must be obtained from Council's Engineering Services Department.
- I. All storm water runoff must be connected to Council's drainage network. No uncontrolled storm water discharge to adjoining properties and footpaths.
- J. No net increase in peak stormwater runoff in Council drainage network. Post development peak storm water discharge to Council drainage network must be maintained to the predevelopment level for 10 year ARI. Detailed plans and

computations prepared by a registered consulting Civil Engineer should be submitted to Council for approval prior any construction works. When approved these plans will be endorsed and form part of plans submitted with town planning permit application.

- K. All on-site storm water is to be collected from the hard surface areas and must not be allowed to flow uncontrolled into adjoining properties. The on-site drainage system must prevent discharge from each driveway onto the footpath. Such a system may include either:
- trench grate (150mm minimum internal width) located within the property and/or;
 - Shaping the driveway so that water is collected in a grated pit on the property.
- L. Council record indicates that there is a 225mm diameter Council stormwater drain located at the rear of the property. The submitted plan shows that Unit 5 building wall/its footings (eastern side) and decking is being proposed to be constructed adjacent to this Council drain. Applicant is required to identify exact location of the existing Council stormwater drain at the rear of the property prior to any work. No building /structure/any footings should be built within 1.0m laterally from the edge of the existing Council drain.
- M. Protection works must be in place during excavation and construction of the building to protect the Council's drain located at the rear of the property. No machineries/mechanical excavations within 1.0m of Council drains. Developer/Owner is required to submit the proposed protection works plan to Council for approval prior commencement of any works.
- N. On any future subdivision a 2.0m wide easement must be created over the existing Council drain.
- O. The proposed vehicle crossing for Unit 1 at Wattle Grove shall be constructed as a splayed crossing to Council standard and to a width of 3.0m
- P. The electric pole within the location of proposed vehicle crossing must be relocated to the satisfaction of responsible authority.
- Q. Minimum 1.0m horizontal clearance shall be maintained from the existing Telstra pit to the proposed vehicle crossing, otherwise consent/conditions from Telstra are to be sought.
- R. Any/all lighting (private/public) along the right of way is to be provided by the developer/development.

Address	2 Wattle Grove, McKinnon
Title details	Lot 59 LP 1136
Restrictions on title	None
Proposal	Construction of a three (3) storey building containing 5 townhouses, and a front fence exceeding 1.5 metres height on land affected by the Special Building Overlay
Zoning and Overlay Controls	General Residential Zone 1 (GRZ1) Special Building Overlay (SBO)
Permit requirements	Pursuant to Clause 32.08-6, a permit is required to construct two or more dwellings on a lot and a front fence exceeding 1.5 metres in height. Pursuant to Clause 44.05-2, a permit is required to a building or to construct or carry out works.
Relevant Planning Scheme provisions	Planning Policy Framework including Housing Diversity Area Policy.
Seriously entertained amendments	None
Notification	Notice undertaken in accordance with Section 52 of the <i>Planning and Environment Act 1987</i> , including 2 notices on site and a notice mailed to 24 surrounding properties
Submissions	10 objections received and are detailed in the report
Cultural Heritage Management Plan required	The site is located in an area of cultural heritage sensitivity however a Cultural Heritage Management Plan is not required. Pursuant to Section 10 of the Aboriginal Heritage Regulation 2018, the proposal is an exempt activity as the subject site is not within 200 metres of the coastal waters of Victoria, any sea within the limits of Victoria or the Murray River and the overall land size is less than 0.11 hectares.

DESCRIPTION OF PROPOSAL

The application proposes the construction of a three storey building comprising 5 townhouses. All townhouses will have three bedrooms with Townhouses 1 and 2 fronting Wattle Grove and Townhouses 3 to 5 fronting the right of way with a pedestrian path along the southern boundary.

Car parking will comprise a single garage and tandem car space for Townhouse 1 accessed via a new crossover onto Wattle Grove, and a double garage for Townhouses 2 to 5 accessed via the right of way.

The existing dwelling will be demolished however this does not require planning permission.

Key aspects of the proposal include:

- Maximum overall building height of 10.4 metres
- Site coverage of 47.5%
- Permeability of 27.8%
- Garden area of 35%

LAND DESCRIPTION AND SURROUNDING AREA

The immediate neighbourhood character consists of traditional housing types and styles, including single detached dwellings, semi-detached dwellings and multi-unit developments all with pitched roofs. Dwellings are predominantly single storey with some first floor additions. To the south east, is the commercial area of McKinnon Neighbourhood Centre.

- To the north is a single storey unit development fronting Wattle Grove.
- To the south is a right of way adjacent to the McKinnon Memorial Garden.
- To the east is a double storey unit development fronting Elm Grove.
- To the west is a double storey detached dwelling fronting Wattle Grove.

RELEVANT HISTORY

There are no previous planning permit applications for this site.

CONSULTATION AND ENGAGEMENT

There were 10 objections received as part of the notification process and included the following concerns:

- Neighbourhood character of Wattle Grove
- Height, massing and bulk
- Traffic and car parking
- Overlooking and loss of privacy
- Overshadowing and loss of natural daylight
- Flooding
- Impact on McKinnon Memorial Park
- Construction management concerns
- Waste collection concerns
- Noise

A planning conference was chaired by Cr. Davey and attended by the applicant and five objectors. No changes were offered as part of the planning conference.

REFERRALS

The following is a summary of comments and requirements from relevant referral areas:

Statutory Referrals	
Melbourne Water	No objection, subject to conditions to address the management of flood risk. These are included as conditions 8-15 in the recommendation.
Non-statutory referrals	
Transport Planning	<p>The number of car spaces provided for residents meets the statutory requirements. Visitor car space to be deleted as the subject site is located within 400 metres of the Principal Public Transport Network and there is now no statutory requirement for a visitor space.</p> <p>Pedestrian access parallel to the right of way to Townhouses 3, 4 and 5 is acceptable. Access is acceptable subject to minor changes to the setback of garages to Townhouse 4 and 5.</p>

Asset Engineering	No objection to the use of the right of way. Standard conditions and notes regarding vehicle crossings and drainage to are included as part of the recommendation.
Landscape Officer	A landscape plan should be submitted and include at least 5 canopy trees.
Parks Services	The street tree will not be impacted by the development. Standard tree protection conditions to be included on the permit.
Recreation and Open Space	The development will be detrimental to the McKinnon Memorial Park due to overshadowing, the built form enclosing the park and increased traffic movement.

ISSUES AND DISCUSSION

The assessment of the proposal has regard to the following:

- Zoning and policy context
- Neighbourhood character
- Height, scale and massing
- Amenity impacts including internal amenity
- Landscaping
- Internal amenity
- Car parking and traffic
- Management plan requirements
- Objectors concerns

Zoning and policy context

The Planning Policy Framework broadly supports development in this location, which encourages an increase of housing supply in existing urban areas with good access to public transport and services. The proposal is considered to be consistent with the relevant policies as it will contribute to the mix of density and housing types.

The subject site is located within the General Residential Zone, Schedule 1 (GRZ1) of the Glen Eira Planning Scheme (Scheme) and is within a Neighbourhood Centre (McKinnon) as set out at Clause 21.04 of the Scheme.

Sites within Neighbourhood Centres are subject to the Housing Diversity Area Policy at Clause 22.07 of the Scheme. Key objectives of this policy are to:

- *Ensure that the density, mass and scale of residential development are appropriate to that of the neighbourhood centre.*
- *Ensure that residential development is sited and designed so that it does not dominate the streetscape.*
- *Encourage a decrease in the density of residential development as the proximity to the commercial area of the neighbourhood centre decreases.*

The relevant purposes of the General Residential Zone are:

- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*

It is considered that the proposal is in accordance with the Housing Diversity Policy and the purpose of the General Residential Zone. The density, scale and massing of the proposal is considered appropriate for this location having regard to its proximity to the commercial area of the neighbourhood centre.

The sensitive interface to the north has been managed through side setbacks which will provide a suitable transition in scale to the dwellings in Wattle Grove. The proposal is considered to be well-designed with a good level of visual interest and architectural merit.

The dwelling layouts allow for flexibility of use and cater to diverse living. The outdoor spaces provide usable space for future resident's reasonable recreational needs.

Neighbourhood character

The proposal responds and contributes to the preferred neighbourhood character for Wattle Grove as the front setback will allow for meaningful landscaping to maintain and enhance the landscaped character of the street, recognising the site's location within a Housing Diversity Area. Furthermore, the proposal is respectful of the existing and emerging built form character of the neighbourhood. The density, mass and scale of the proposal is considered to be compatible with the wider neighbourhood, particularly those areas within the McKinnon Neighbourhood Centre.

The proposal is well articulated with adequately varied setbacks, including recessive upper floors, and a variety of materials and finishes that add visual interest. The building incorporates appropriate boundary setbacks to reflect built form spacing of the area while promoting adequate visual separation between adjoining dwellings to the north. The design response is an acceptable outcome for the existing and preferred character of the area and the emerging character of medium density development featured within the area.

The proposed front fence is 2m high, which is considered to be inappropriate in a side street. Given the front fence faces secluded private open space areas for Townhouses 1 and 2, a height of 1.8 metres is considered appropriate. As the front gates will be visually permeable there will be views to the front gardens of each townhouse.

Overall, the proposal is considered to respond appropriately to the neighbourhood character.

Height, scale and massing

The zone provision has a maximum mandatory height requirement of 10.5 metres. The maximum height of the building is 10.4 metres. Therefore, the proposal is below the maximum allowable height of the zone of the land.

The proposed street setback varies between 7.69 metres for Townhouse 1 to 7.29 metres for Townhouse 2. The street setback for Townhouse 2 does not comply with the numerical standard in the Scheme which requires 7.69 metres, based on the adjoining dwelling facing the same street. The variation is considered acceptable as the area of non-compliance extends for the length of one room only and this is adjacent to the right of way. The minor variation works to delineate the two townhouses facing Wattle Grove and emphasises the residential context to the north. Furthermore, the well-articulated front façade and use of a variety of materials and finishes, in conjunction with landscaping opportunities at the front of the site will minimise any perception of visual bulk within the streetscape.

The proposal is appropriately setback from residential interfaces to the north and east. The proposed side and rear setbacks comply along the north and east boundaries respectively with side setbacks varying from 3 metres at ground floor to 4.3 metres at second floor and a rear setback of 3.5 metres across all floors. The north elevation is appropriately articulated and a variety of materials, including face brick work, render, vertical timber boards, colorbond roofing and extensive fenestration provide visual interest. A raked roof is proposed to the rear which minimises the third storey when viewed from the east. The east elevation also features the same selection of materials and finishes.

The side setback of the proposal from the south does not comply with the numerical standard, however, the area of non-compliance is considered acceptable. The south elevation is adjacent to the right of way and faces the McKinnon Memorial Park. There is no residential interface and a residential/commercial building is located on the east side of the park. The variation will have no off site amenity impacts and is appropriate in a Housing Diversity Area where increased built form, scale and mass are anticipated particularly given the site's close proximity to the commercial area.

It is considered that 5 townhouses can be accommodated on the site given the good level of compliance with the prescriptive standards of ResCode, such as site coverage (47.5%), permeability (27.5%) and minimum garden area requirement (35%).

Amenity impacts (including internal amenity)

Visual bulk impacts are minimised through the appropriate siting of the development from sensitive, residential interfaces to the north and east. Appropriate separation has been provided to the south adjacent to a driveway and dwellings setback 3 metres from the boundary and a raked roof to the east minimises the third floor. Both interfaces provide adequate articulation and a selection of materials, windows and doors add visual interest and minimise any perceptions of visual bulk.

All first floor habitable room windows and balconies have been screened to limit views into existing habitable room windows and secluded private open space. There are no direct views from second floor habitable room windows and balconies into existing habitable room windows and secluded private open space due to a projecting pergola and parapet walls below. It is not clear from the plans whether the second floor balcony to Townhouse 1 has a direct view into a habitable room window of 2/74 Wattle Grove so a condition demonstrating compliance will be required.

Overshadowing of existing secluded private open space complies with the requirements of the Planning Scheme.

Each townhouse is designed to maximise natural light to habitable areas in response to the east-west orientation of the site. The layout and design of the development will result in functional, well-proportioned dwellings with good access to daylight, direct sunlight and adequately proportioned secluded private open space areas.

Landscaping

A landscape plan will be required to be submitted with provision for five canopy trees. The landscaping will assist in softening the built form when viewed from the north and will contribute to the landscaped character of the front garden.

Car parking and traffic

The required number of car parking spaces is provided for residents. The proposal is not required to provide one visitor car parking space due to recent State Government changes to planning provisions (Amendment VC148). Therefore, a condition has been included on the permit to delete this space and replace it with additional landscaping within the front setback.

Council's Transport Planning Department has identified that access is generally satisfactory subject to some modifications to the setback of garages to Townhouse 4 and 5. These have been included as conditions.

Management plan requirements

A Construction Management Plan (CMP) is required. Conditions have been included outlining the requirements of the CMP.

Relationship to Open Space

Council's Open Space Strategy, which is referenced in the Scheme provides guidelines about new development adjoining or nearby open space. The site is nearby the McKinnon Memorial Park being separated by a laneway.

In relation to the assessment criteria in this strategy, the proposal:

- Fosters good access to the open space
- Provides passive surveillance over the open space
- Presents an appropriate residential interface envisaged under the strategy
- Maintains an appropriate level of direct sunlight during the winter solstice and equinox

Overall, it is considered that the proposal is consistent with the guidelines for development nearby open space.

Objector concerns

Concerns raised by objectors are covered in this report and are acknowledged. With regards to concerns about flooding, it is noted that Melbourne Water considered the proposal to be acceptable, subject to conditions.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS POLICY AND LEGISLATIVE IMPLICATIONS

All matter required at Section 60 of the *Planning and Environment Act* 1987 have been taken into consideration as part of the assessment of this application.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme One: Liveable and Well Designed
A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Decision to Grant a Planning Permit be issued.

RESCODE ASSESSMENT TABLE

CLAUSE 55.02: NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B1: Neighbourhood character	YES	YES	Given the sites location with the McKinnon Neighbourhood Centre, the overall design and presentation to the street is considered to be a reasonable response to the emerging and future neighbourhood character of the area.
B2: Residential policy	YES	YES	The proposal is considered to be consistent with the intent and objectives of the Housing Diversity Area Policy and the General Residential Zone. The density, scale and massing of the proposal is considered appropriate for this location having regard to the existing built form in the area. The proposed building height of 10.4 metres complies with the mandatory maximum height allowed in this zone. The sensitive interface to the North has been managed through the side setbacks which will provide a suitable transition in scale to the dwellings in Wattle Grove. The proposal is considered to be well-designed with a good level of visual interest and architectural merit. The dwelling layouts allow for flexibility of use and accommodate diverse family living. The outdoor spaces provide usable space for future resident's reasonable recreational needs.
B3: Dwelling diversity	N/A	N/A	5 dwellings are proposed
B4: Infrastructure	YES	YES	The proposal has access to reticulated services.
B5: Integration with the street	YES	YES	Townhouses 1 and 2 are oriented to Wattle Grove and Townhouses 3, 4 and 5 are oriented towards the right of way and McKinnon Memorial Park, all with clear pedestrian and vehicular access points. Although front fencing along Wattle Grove is proposed to be high, front gates will be visually permeable to allow views to front entrances and front gardens.

CLAUSE 55.03: SITE LAYOUT AND BUILDING MASSING			
ResCode Assessment	Standard Met?	Objective Met?	Discussion

RESCODE ASSESSMENT TABLE

B6: Street setback	NO	YES	<p>7.29 to 7.69 metres at ground floor, 7.29 to 8.09 metres at first floor, 10.29 to 11.09 metres at second floor (with balcony encroachment) proposed. 7.69 metres required</p> <p>In this instance, a variation to the front setback is considered acceptable as it extends for the length of one room only and is adjacent to the right of way. Landscaping opportunities are provided at the front of the site and furthermore, the minor variation delineates the two townhouses facing Wattle Grove. It is considered that the variation is will not disrupt the prevailing street setbacks within Wattle Grove and the proposal makes an efficient use of the site.</p>
B7: Building height	YES	YES	A maximum of 10.4 metres is proposed which complies with the height requirements of the zone (under 10.5m)
B8: Site coverage	YES	YES	47.5% proposed
B9: Permeability	YES	YES	27.5% proposed
B10: Energy efficiency	YES	YES	The townhouses have been appropriately oriented to enable suitable solar access into main living spaces and balconies.
B11: Open space	YES	YES	<p>Townhouses 3 to 5 front McKinnon Memorial Park. Recreation and Open Space has raised concerns in regards to the development overshadowing and enclosing the park.</p> <p>Whilst the northern part of the park will be overshadowed during the equinox, the remaining part of the park will receive direct sunlight.</p> <p>The proposal provides passive surveillance of the park similar to that of 119 McKinnon Road and is appropriately setback to ensure the park is not enclosed by built form.</p>
B12: Safety	YES	YES	The proposal has clear access points from the street and provides passive surveillance of Wattle grove and adjoining McKinnon Memorial Park from balconies.
B13: Landscaping	YES	YES	The proposal has been appropriately sited for landscaping. A landscape plan, comprising five canopy trees, will be required as a condition of permit.

RESCODE ASSESSMENT TABLE

B14: Access	YES	YES	An additional single vehicle crossover has been proposed which is 3m wide.
B15: Parking location	YES	YES	Convenient vehicle access is proposed within garages.

CLAUSE 55.04: AMENITY IMPACTS			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B17: Side and rear setbacks	NO	YES	<p>North side setbacks and east rear setbacks comply.</p> <p>South side setbacks do not comply.</p> <p>The proposal is appropriately setback from residential interfaces to the north and east. The north elevation is appropriately articulated and a variety of materials, including face brick work, render, vertical timber boards, colorbond roofing and extensive fenestration provide visual interest. A raked roof is proposed to the rear which minimises the third storey when viewed from the east.</p> <p>The variation to the south side setback is considered acceptable as it is adjacent to the right of way and faces the McKinnon Memorial Park. There will be no off site amenity impacts and the increased built form, scale and mass are considered acceptable given the site's close proximity to the commercial area. character of the area.</p>
B18: Walls on boundaries	YES	YES	The garage to Townhouse 1 will be constructed on the northern boundary for a length of 6.3 metres and a maximum height of 3 metres.
B19: Daylight to existing windows	YES	YES	The proposal is appropriately setback to allow daylight to existing habitable room windows.
B20: North-facing windows	N/A	N/A	McKinnon Memorial Park is located to the south.
B21: Overshadowing open space	YES	YES	Hours and percentage specified in the standard are met. More specifically, Unit 4, 1 Elm Grove is the most affected property. The overshadowing plans show additional shadow being cast on the SPOS area of this dwelling at 3pm. However, this shadow will actually fall within the shadow cast by the existing 2.5m high boundary fence. Therefore, compliance with

RESCODE ASSESSMENT TABLE

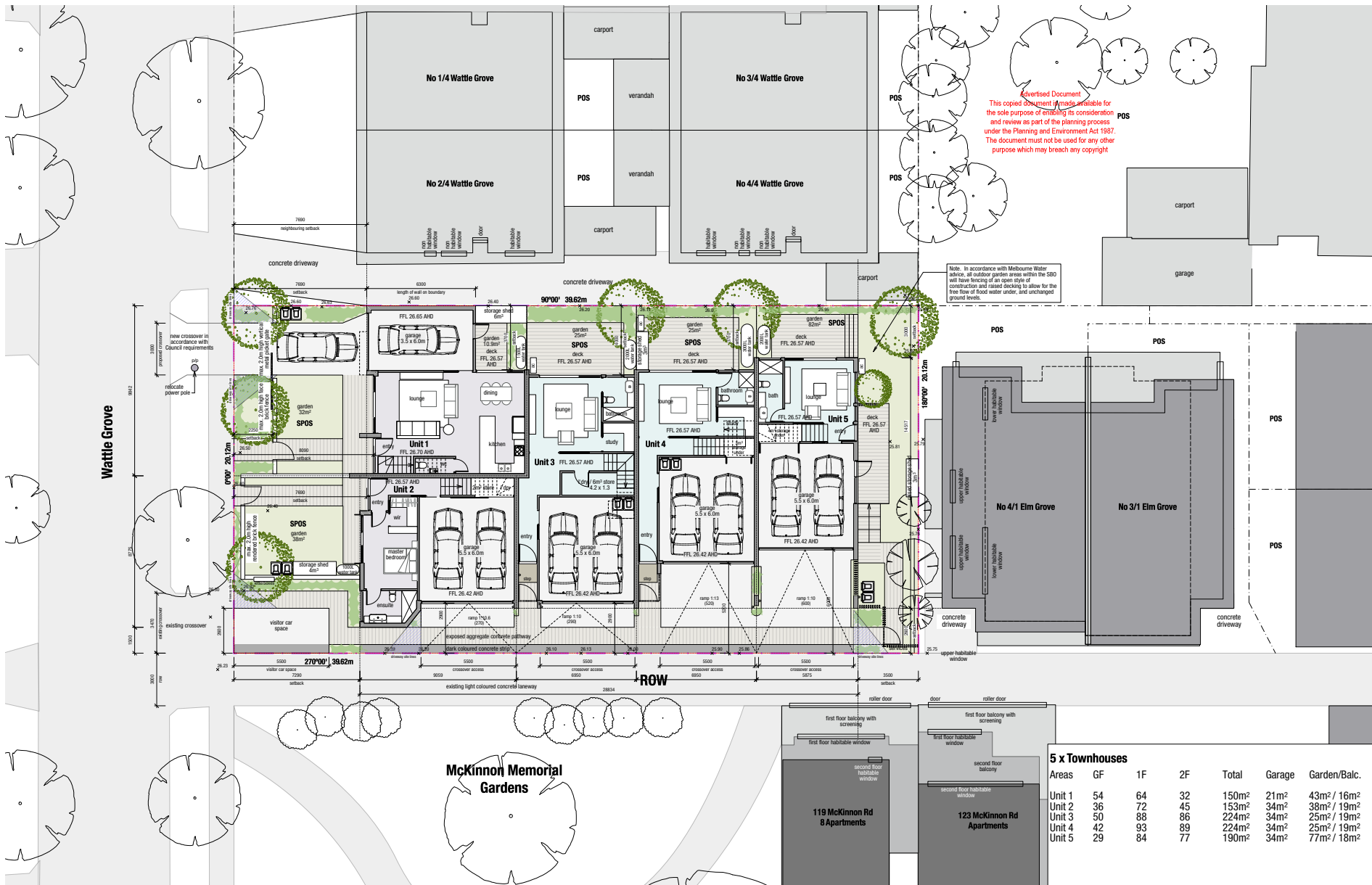
			Standard B21 is achieved.
B22: Overlooking	NO	NO	First floor habitable room windows and balconies have been screened to limit views into existing habitable room windows and SPOS. Second floor habitable room windows and balconies do not have any direct views into existing habitable room windows or SPOS due to a projecting pergola and parapet walls below. It is not clear from the plans whether the second floor balcony to Townhouse 1 has a direct view into a habitable room window of 2/74 Wattle Grove so a condition demonstrating compliance with has been included.
B23: Internal views	YES	YES	Internal views addressed through screening and limiting direct views through design (projecting pergola and parapet walls).
B24: Noise impacts	YES	YES	The design of the proposal will minimise noise transmission within the site.

CLAUSE 55.05: ON-SITE AMENITY AND FACILITIES			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B25: Accessibility	YES	YES	The entries to Townhouses 1 and 2 are accessible to people with limited mobility. Townhouses 3, 4 and 5 could be made accessible.
B26: Dwelling entry	NO	YES	The front entry to Townhouse 5 is not easily visible from Wattle Grove and the right of way. A condition of permit will require a clear and defined front entrance.
B27: Daylight to new windows	YES	YES	The proposal complies with the requirements of the Standard.
B28: Private open space	YES	YES	Each townhouse has appropriate ground floor private open space and upper floor balconies in accordance with the Standard. Townhouse 1: Ground floor SPOS 32m ² and second floor balcony 16m ² . Townhouse 2: Ground floor SPOS 38m ² and first floor balcony 14m ² . Townhouse 3: Ground floor SPOS 25m ² and first floor balcony 14m ² . Townhouse 4: Ground floor SPOS 25m ² and first floor balcony 14m ² . Townhouse 5: Ground floor SPOS 82m ² and first floor balcony 14m ² .
B29: Solar access to open space	YES	YES	Apartments have a mixture of North, East, South and West facing POS.

RESCODE ASSESSMENT TABLE

B30: Storage	N/A	N/A	
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CLAUSE 55.06: DETAILED DESIGN			
ResCode Assessment	Standard Met?	Objective Met?	Discussion
B31: Design detail	YES	YES	The proposal is respectful of the emerging character of the area and is appropriate in terms of the density, height and massing. The proposal is well articulated and incorporates a variety of materials and finishes which is respectful of the residential interface to the north and the commercial area of the McKinnon Neighbourhood Centre to the south. Overall, the proposal will integrate well within the Wattle grove streetscape.
B32: Front fences	NO	YES	Height of 2m proposed which exceeds the 1.5m of the Standard. Taking into account the front fence is fencing dwellings SPOS, a height of 1.8m is considered appropriate in this instance. Front gates are visually permeable which allow views to the front gardens of Townhouses 1 and 2.
B33: Common property	YES	YES	Common areas are practical and reasonable
B34: Site services	YES	YES	Garbage bin storage areas for Townhouses 3, 4 and 5 have been shown within garages. A condition of permit will require internal garage dimensions to be increased to accommodate garbage bin storage in addition to vehicle parking.



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Townhouse Development

KBMV

2 Wattle Grove, McKinnon

Drawing Scale:

1:100 at A1 or 50% at A3

Print Date:

28/6/18

File Name:

VI WG-tp-proposed plans A.vvxx



Proposed Ground Floor Plan

TP05

Amendment: B



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3/5/18
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Proposed First Floor Plan
TP06
Amendment: B



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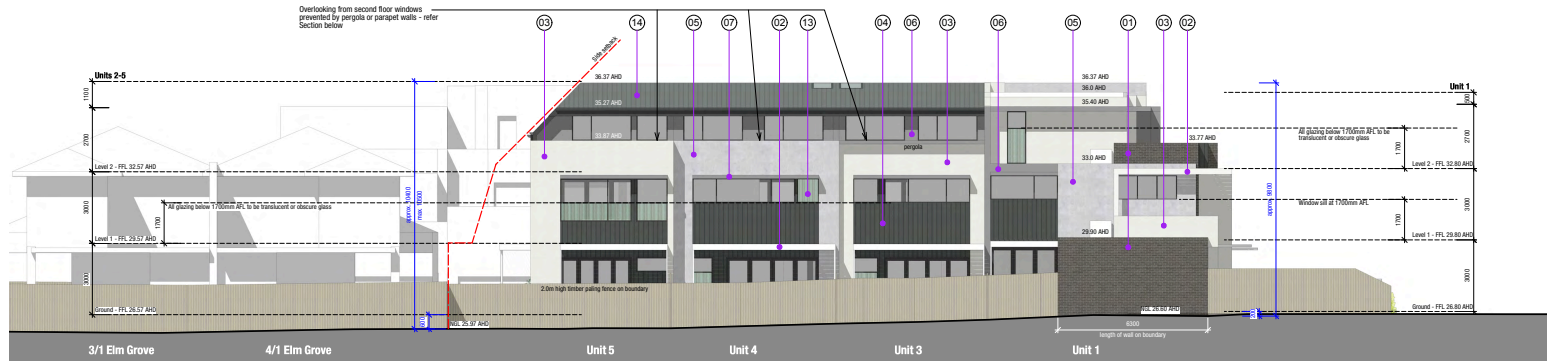
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28/6/18
 9/5/18
 AMEND. DATE: REVISIONS TO RPI
 based for TP Application
 NOTE:

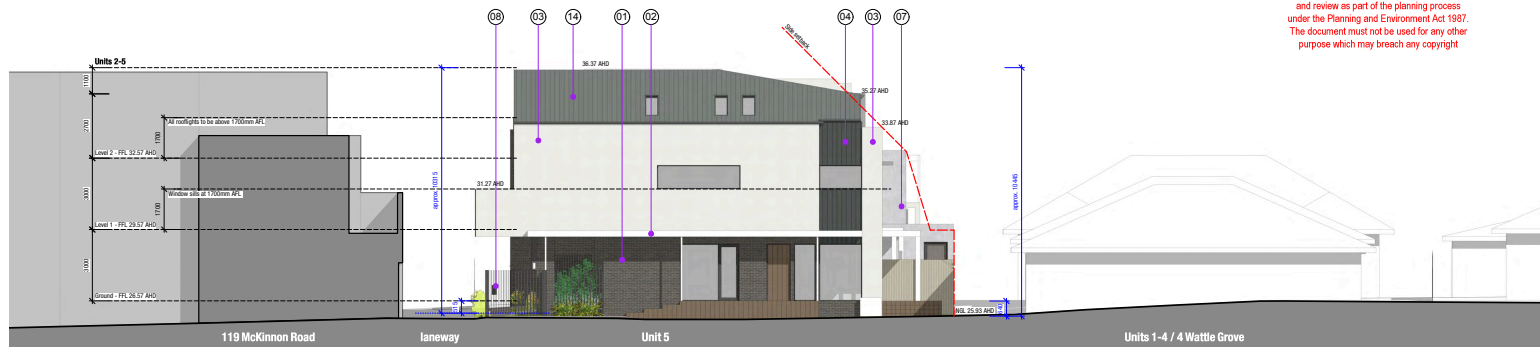


Proposed Second Floor Plan
TP07
 Amendment: B

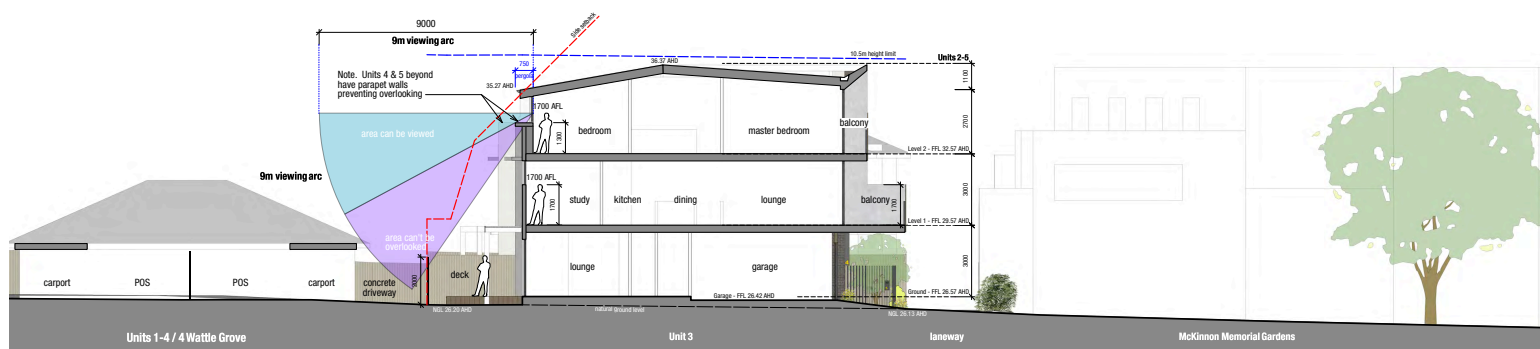




North Elevation



East Elevation



Section through Unit 3

EXTERNAL FINISHES SCHEDULE	
01	Dark grey face brickwork
02	Paint finish. Select white colour.
03	Render & paint finish. Select warm white colour.
04	Scyon Axon cement sheet cladding boards, with vertical grooves. Paint finish - dark grey.
05	Render & paint finish. Select light grey colour
06	Render & paint finish. Select warm grey colour.
07	Painted finish. Select warm grey colour.
08	Front & laneway fence / Batters Painted vertical batters Select dark grey colour
09	Laneway balcony batters Timber look aluminium
10	Painted Vertical or Horizontal louvres - angle of louvres to prevent overlooking where required. Select dark grey colour.
11	Aluminium Window / Door Frames Powdercoat finish Select Dark Grey
12	Timber lining boards, laid horizontally. Stain finish.
13	Translucent / Obscure glass - transparency to be max. 25%
14	Metal roofing Colorbond 'Woodland Grey'

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Proposed Townhouse Development
KBMV
 2 Wattle Grove, McKinnon

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 File Name: VI WG-tp-Elevations.vwx

28/6/18
 9/3/18
 Response to RFI
 Issued for TP Application
 AMEND. DATE: NOTE:



Elevations
TP10
 Amendment: B



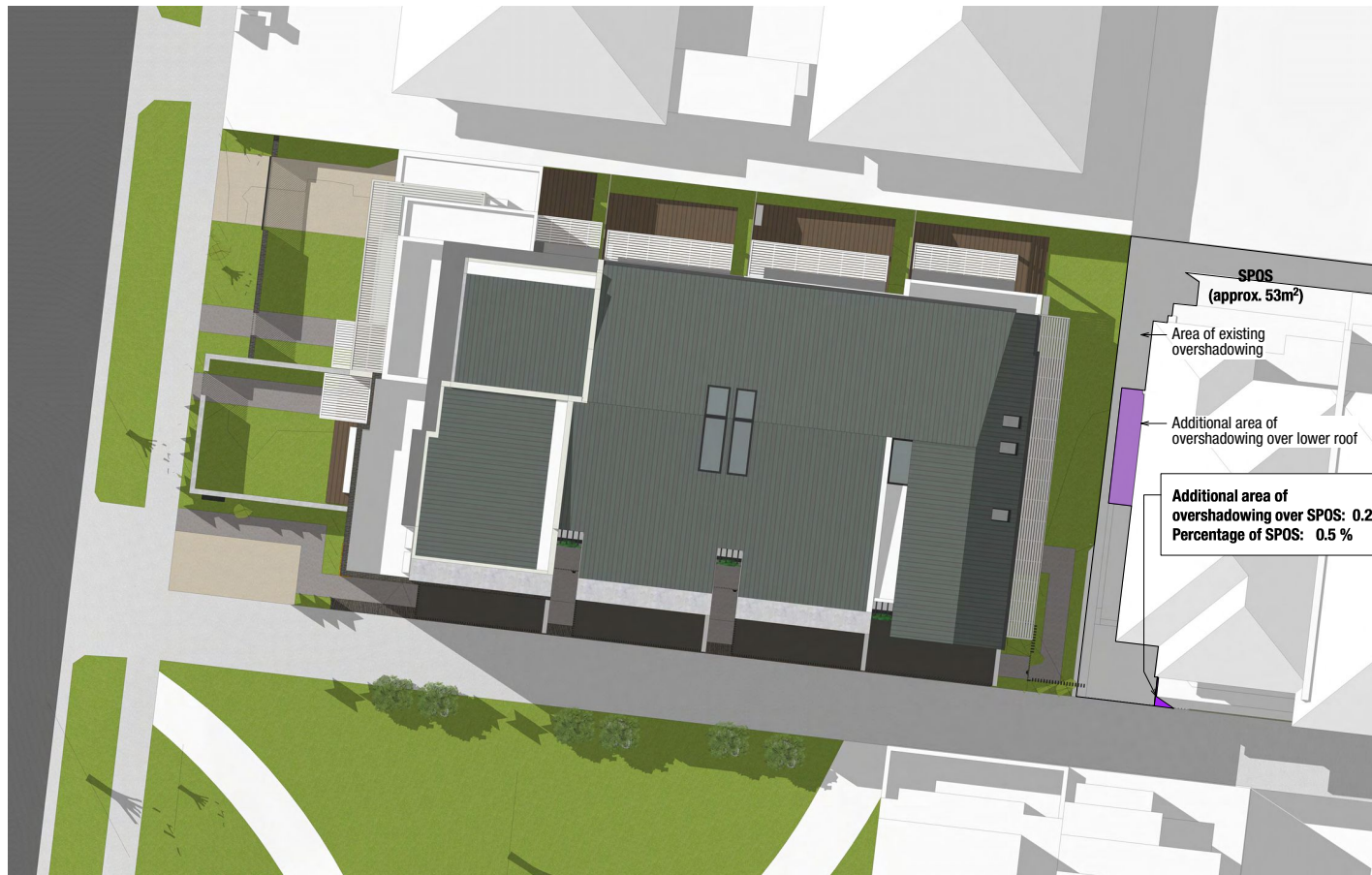
Shadows on September 22 Equinox

- Area of Additional shadow within SPOS
- Area of Additional shadow outside SPOS



Shadows on September 22 Equinox

- Area of Additional shadow within SPOS
- Area of Additional shadow outside SPOS



Shadows on September 22 Equinox

- Area of Additional shadow within SPOS
- Area of Additional shadow outside SPOS



Streetscape View 1 - Wattle Grove



Streetscape View 2 - Wattle Grove



Streetscape View 3 - Wattle Grove

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View from McKinnon Road



View from McKinnon Memorial Gardens 1



View from McKinnon Memorial Gardens 2



View from driveway of 4 Wattle Grove



View from POS of 1 Elm Grove



View from POS of 3 Elm Grove

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Proposed Townhouse Development
KBMV
2 Wattle Grove, McKinnon

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D 28/6/18 Response to RPT
A 9/7/18 Issued for TP Application
AMEND DATE NOTE



Perspective Views
TP11
Amendment: B

9.3 1207 GLEN HUNTLY ROAD, GLEN HUNTLY

Author: Brooke Mathews, Senior Town Planner

Trim No: 18/1228151

Attachments: 1. Advertised Plans

PURPOSE AND SUMMARY

The purpose of this report is to provide an assessment and recommendation for a planning permit application for the construction of an extension to the existing double storey building to create a part three (3) and part four (4) storey building including a shop, office, a dwelling and a reduction in the standard car parking requirement at 1207 Glen Huntly Road, Glen Huntly.

The application was advertised on two occasions and 6 objections were received with concerns ranging from the structural integrity of adjoining party walls, lack of car parking provision, overlooking, over-shadowing and neighbourhood character.

On balance, the proposal is considered to be generally in accordance with requirements of the Glen Eira Planning Scheme and it is recommended that a Notice of Decision to Grant a Planning Permit be issued.

The following aerial map shows the location of the subject site and the context of the surrounding area:



RECOMMENDATION

That Council issues a Notice of Decision to Grant a Planning Permit for Application No. GE/PP-30729/2017 at 1207 Glen Huntly Road Glen Huntly, for construction of a part three (3), part four (4) storey building comprising a shop, office and dwelling, in accordance with the following conditions:

General requirements

1. The layout of the site and size, design and location of buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.
2. Prior to the occupation of the development, the walls on the boundary of adjoining properties must be cleaned and finished in a manner to the satisfaction of the Responsible Authority. Painted or bagged walls must be finished to a uniform standard and unpainted or unrendered walls must have all excess mortar removed.

Management plans

3. Prior to the occupation of the approved development, the permit holder must prepare and have approved in writing by the Responsible Authority a Waste Management Plan (WMP) for the site with respect to the collection and disposal of waste and recyclables associated with the proposed uses on the site to the satisfaction of the Responsible Authority. The WMP must provide for the following:
 - (a) The collection of waste associated with the uses on the land, including the provision of bulk waste collection bins or approved alternative, recycling bins, the storage of other refuse and solid wastes in bins or receptacles within suitable screened and accessible areas to the satisfaction of the Responsible Authority. Commercial waste bins being placed or allowed to remain not in view of the public, and receptacles not emitting any adverse odours.
 - (b) Designation of methods of collection including the need to provide for private services or utilisation of council services. If private collection is used, this method must incorporate recycling services and must comply with the relevant EPA noise guideline relating to the time of collection.
 - (c) Appropriate areas of bin storage on site and areas of waste bin storage on collection days.
 - (d) Details for best practice waste management once operating.

Once approved the WMP will be endorsed to form part of this permit and must be complied with to the satisfaction of the Responsible Authority and must not be varied except with the written approval of the Responsible Authority.

4. Prior to the commencement of any site works including demolition and excavation, the owner must submit a Construction Management Plan to the Responsible Authority for approval. No works including demolition and excavation are permitted to occur until the Plan has been approved in writing by the Responsible Authority. The Plan must be to the satisfaction of the Responsible Authority and must provide details of the following:

- (a) delivery and unloading points and expected frequency;
- (b) Truck haulage routes, circulation spaces and queuing lanes;
- (c) Details how traffic and safe pedestrian access will be managed. These must be in the form of a Traffic Management Plan designed by a suitably qualified traffic practitioner;
- (d) a liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
- (e) an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
- (f) any requirements outlined within this permit as required by the relevant referral authorities;
- (g) hours for construction activity in accordance with any other condition of this permit;
- (h) measures to control noise, dust, water and sediment laden runoff;
- (i) measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
- (j) any construction lighting to be baffled to minimise intrusion on adjoining lots.

Once approved the CMP will be endorsed to form part of this permit and must be complied with to the satisfaction of the Responsible Authority and must not be varied except with the written approval of the Responsible Authority.

Car parking, access and Council assets

5. Areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
 - (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all weather sealcoat;
 - (d) drained;to the satisfaction of the Responsible Authority. Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.
6. During the construction of the buildings and works allowed by this permit, the laneway(s) adjacent to the subject land must be kept free of parked or standing vehicles or any other obstruction, including building materials, equipment etc. so as to maintain

free vehicular passage to abutting benefiting properties at all times, unless with the written consent of the Responsible Authority.

7. A minimum of two (2) car parking spaces must be provided on the land for the development/use, for the exclusive use of the dwelling.

Permit expiry

8. This Permit will expire if:

- The development does not start within two (2) years from the date of this Permit; or
- The development is not completed within four (4) years of the date of this Permit.

The Responsible Authority may extend the time referred to if a request is made in writing before this Permit expires or within six (6) months after the expiry date if the use/development has not commenced.

If the development has commenced, the Responsible Authority may extend the time referred to if a request is made in writing within twelve (12) months of the expiry date.

Conditions End

Permit notes:

- A. The amendments specified in Condition 1 of this Permit and any additional modifications which are “necessary or consequential” are those that will be assessed by Council when plans are lodged to satisfy that condition. Any “necessary or consequential” amendments, in addition to those required by this condition, should be specifically brought to the attention of Council for assessment.

If other modifications are proposed, they must be identified and be of a nature that an application for amendment of permit may be lodged under Section 72 of the Planning and Environment Act 1987. An amendment application is subject to the procedures set out in Section 73 of the Planning and Environment Act 1987.

- B. This Planning Permit represents the Planning approval for the use and/or development of the land. This Planning Permit does not represent the approval of other departments of Glen Eira City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.
- C. This Planning Permit represents the Planning approval for the development of the land. Side and rear boundary fences do not form part of this Planning approval. The approval for building on a “title boundary” enables the building to be sited precisely on the boundary (as determined by a licensed land surveyor) or within 200mm of the title boundary as per the definition in Clause 55.04-2 of the Glen Eira Planning Scheme. All matters relating to the boundary fences shall be in accordance with the provisions of the Fences Act 1968, i.e. Council will not deliberate on which option prevails but rather the permit holder and adjoining owners will need to cooperatively resolve which of the above outcomes is mutually acceptable.

- D. Any failure to comply with the conditions of this permit may result in action being taken to have an Enforcement Order made against some or all persons having an interest in the land and may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal.
- E. Nothing in the grant of this permit should be construed as granting any permission other than planning permission for the purpose described. It is the duty of the permit holder to acquaint themselves, and comply, with all other relevant legal obligations (including any obligation in relation to restrictive covenants and easements affecting the site) and to obtain other required permits, consents or approvals.
- F. Prior to the commencement of any demolition and/or building works, an Asset Protection Permit must be obtained from Council's Engineering Services Department.
- G. The permit holder/applicant/owner must provide a copy of the Planning Permit to any appointed Building Surveyor. It is the responsibility of the permit holder/applicant/owner and the Building Surveyor to ensure that the development approved by this Permit is consistent with any Building Permit approved and that all works are consistent with the endorsed plans approved under this Planning Permit.
- H. Council's Asset Engineering Department Advise:

Drainage

- Engineering Services encourage the use of rainwater tanks for storage and reuse for toilet and irrigation purposes and/or stormwater detention systems.
- All stormwater runoff must be connected to the Council underground drainage network. No uncontrolled stormwater discharge to adjoining properties and footpaths is permissible.

General

- Any firefighting equipment for the building must be accommodated within title boundary. Submitted plans do not show the location of any hydrant / booster. Council will not allow private fire equipment in the Road Reserve.
- The proposed pedestrian access must be DDA compliant.
- Asset Protection Permit must be obtained from Council's Engineering Services Department prior to the commencement of any building works.
- All relevant Engineering Permits must be obtained prior to any works within the Road Reserve and or stormwater connection to the Council drainage network.

Address	1207 Glen Huntly Road, Glen Huntly
Title details	Lot 1 on Title Plan 381489V
Restrictions on title	None
Proposal	Construction of a part three (3), part four (4) storey building comprising a shop, office and dwelling
Zoning and Overlay Controls	Commercial 1 Zone (C1Z) Parking Overlay (PO2-2)
Permit requirements	A permit is required to construct buildings and works in a Commercial 1 Zone. A permit is required to reduce car parking requirements (the application proposes to reduce car parking for the commercial component of the development by 2 spaces)
Relevant Planning Scheme provisions	Housing Diversity Area Policy
Seriously entertained amendments	None
Notification	Notice undertaken in accordance with Section 52 of the <i>Planning and Environment Act</i> 1987, including 1 notice on site and a notice mailed to 57 surrounding properties
Submissions	6 objections received and are detailed in the report
Cultural Heritage Management Plan required	Not in an area of cultural heritage sensitivity

DESCRIPTION OF PROPOSAL

It is proposed to modify the existing two storey building (which contains a shop at ground floor and an office at first floor) to a part three (3) and part four (4) storey building. Specifically, the application proposes to:

- Increase the ground floor shop area to the rear;
- Provide two car parking spaces to the rear in a tandem arrangement (one covered by a carport). The car parking spaces would be accessed by the rear laneway;
- Extend the first floor office area;
- Provide a dwelling at the third and fourth level (a two bedroom dwelling);
- Both car parking spaces are allocated to the dwelling.

LAND DESCRIPTION AND SURROUNDING AREA

The subject site is a narrow piece of commercial land (approximately 5.18 metres in width by 39.62 metres in length), located on the northern side of Glen Huntly Road, approximately 138 metres to the east of Glen Huntly railway station. It contains a double storey building. To the south, east and west are other commercial sites.

To the north is a laneway with dwellings beyond this, located in the General Residential Zone Schedule 1.

RELEVANT HISTORY

There was a previous application for the site, refused in 2017. This application proposed buildings and works to the existing structure to create a part three (3) and part four (4) storey

building including a shop, office, two (2) dwellings and a reduction in the standard car parking requirement.

The refusal grounds were that there was not a pedestrian entrance from the street frontage to the dwelling and inadequate justification/information had been provided for the reduction of car parking spaces and the ability of vehicles to access the rear car parking spaces.

The application before Council has provided pedestrian access from the street to the dwelling (via a stairwell). A professionally prepared Transport Planning Report has also been provided which provides a car parking demand assessment and evidence that the car parking layout to the rear of the site is functional.

The application currently before Council was advertised two (2) times. The first time it was advertised the dwelling was proposed to be used in association with the office.

The second time it was advertised, the application was amended to include a carport to the rear and to have the dwelling as a separate entity to the office. This is the application currently under assessment.

CONSULTATION AND ENGAGEMENT

There were 6 objections received as part of the notification process and included the following concerns:

- Impacts to the party wall which could affect the structural integrity of the adjoining building
- Limit future development opportunities on adjoining property
- Shortfall of car parking/car parking and traffic impacts
- Noise and light impacts
- Pedestrian safety along the laneway at the rear
- Waste removal issues
- Concerns with vehicle access
- Overlooking
- Overshadowing and loss of light
- Neighbourhood character
- Amenity impacts to adjoining neighbours
- Height, massing and bulk

A planning conference was chaired by Cr. Hyams and attended by objectors from immediately adjoining sites. The following main issues relating to the development were reiterated:

- Loss of light to the windows on the property to the east
- 4 storeys is inappropriate and an overdevelopment
- The reduction of car parking is inappropriate
- Structural load on the party wall on the western side of the site and design of the building will limit further load on the adjoining site to the west

Undertakings by the Applicant

- Subsequent to the Planning Conference and after hearing the concerns of neighbours, the applicant put forward that they would be willing to reduce the proposal by two levels (i.e. delete the top two levels containing the dwelling).

REFERRALS

The following is a summary of comments and requirements from relevant referral areas:

Non-statutory referrals	
Transport Planning	<p>Council's Transport Planning Department have indicated that they would prefer that a total of three (3) rather than two (2) car parking spaces be provided to the rear.</p> <p>They have indicated that the proposed development will not have any significant impacts on the function of the rear laneway and the surrounding road network.</p> <p>They have not raised any issue with the accessibility/functionality of the car spaces from the rear laneway.</p>
Asset Engineering	No objection to the proposal subject to notes appearing on any decision to issue regarding applying for asset protection permits, etc. These notes form part of the recommended Notice of Decision.
Building Department	No objection to the proposal subject to a Construction Management Plan being submitted to Council.

ISSUES AND DISCUSSION

The assessment of the proposal has regard to the following:

- Zoning and policy context
- Neighbourhood character
- Height, scale and massing
- Amenity impacts including internal amenity
- Landscaping
- Car parking and traffic
- Management plan requirements
- Objectors concerns

Zoning and policy context

The Planning Policy Framework broadly supports development in this location, which encourages an increase of housing supply in existing urban areas with good access to public transport and services. The proposal is considered to be consistent with the relevant policies as it will contribute to the vibrancy of the area.

The subject site is located in the Commercial 1 Zone (C1Z) of the Glen Eira Planning Scheme (Scheme) and is within a Neighbourhood Centre (Glen Huntly) as set out in Clause 21.04 of the Scheme.

Sites within the Neighbourhood Centre are subject to the Housing Diversity Area Policy at Clause 22.07 of the Scheme. Key objectives of this policy include:

- *Encourage residential uses (such as shop top housing and apartment style developments) at first floor level and above.*

- *Ensure that the retail function and active frontages of centres is retained on the ground floor.*
- *Ensure that residential buildings are encouraged to step down at the rear to achieve a transition to residential areas.*

The 2 relevant purposes of the Commercial 1 Zone are:

- *To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
- *To provide for residential uses at densities complementary to the role and scale of the commercial centre.*

It is considered the proposal accords with the Housing Diversity Area Policy and the purpose of the Commercial 1 Zone. The density, scale and massing of the proposal is considered appropriate for this location having regard to the surrounding context.

The sensitive residential interface to the north has been managed by ensuring the third level is set back over 15 metres from the rear property boundary and the fourth level over 24 metres from the rear boundary.

Neighbourhood character

Generally, the commercial strip where the site is located consists of single and double storey buildings, built up to the front boundaries.

However, there is evidence of 3 to 4 storey buildings with recessed upper levels (such as at 1177 Glen Huntly Road further to the west of the subject site and 1204 Glen Huntly Road across the road to the south of the subject site).

The existing neighbourhood character of the street will change over time given the site's location within the Glen Huntly Neighbourhood Centre. The proposal is representative of the anticipated change in terms of density, height and massing.

Height, scale and massing

There is no maximum mandatory height requirement affecting the subject site. However, consideration has been given to context and the design of the building in assessing an appropriate overall height.

The majority of the built form is a height of 10.05 metres (to the third level), which is reflected in the approximate height of the buildings across Glen Huntly Road to the south.

The overall maximum height of 13.5 metres is appropriate, given this component of the proposal is setback 24 metres from the rear and 3.49 metres from the frontage, limiting its impact to the streetscape and adjoining residential sites.

The scale of the development is an appropriate response to the emerging and preferred character of the area.

Amenity impacts (including internal amenity)

Concerns have been raised by objector parties in regards to the impact of the development on the neighbouring commercial sites, in particular: loss of light, overshadowing and impact on future development potential.

In terms of loss of light, it is noted that there has been regard to one of the windows on the ground floor on the adjoining property to the east. The design of the building incorporates a light court at the two upper levels adjacent to this window, measuring 1 metre in width by approximately 5.2 metres in length, reflecting the existing light court area on the levels below. The other windows on the property to the east are already setback one metre from the shared property boundary, which affords for a light court area.

It is considered there would still be development potential for the adjoining lots directly abutting the site to the east and west, should this be proposed in the future.

Whilst additional overshadowing impacts will occur to the properties to the east and west, it is acknowledged these sites are within a commercial zone, and are not afforded the same level of protection as residentially zoned land.

The amenity impacts to the residential properties to the rear (north) have been well managed as the upper levels have been well recessed. Whilst the development is not obliged to meet the setback standards required for residentially zoned properties, the proposed rear setbacks are well in excess of these requirements.

Both the first and second floors have balconies to the rear which have been screened with obscure glazing to a height of 1.7 metres above finished floor level, limiting overlooking impacts to the north. The uppermost roof deck has a 1 metre balustrade facing north. However, given the sightlines from this deck area, it poses no overlooking issues under the relevant standards of the Scheme.

Given the orientation of the block, the residential properties to the north will not be affected by any overshadowing from the proposal.

It is considered that the proposed unit within the development has an acceptable level of internal amenity, with generously sized bedrooms and a north facing private open space and living area.

Landscaping

The site is in a commercial strip context and there are no significant trees in close proximity to the land.

Car parking and traffic

The proposal seeks a reduction in two (2) car parking spaces for the office and shop components.

A Traffic Report was submitted by the applicant that included a survey of available long and short term car parking spaces within approximately 200 metres walking distance of the site. The survey indicated that there was adequate availability in the area to cater for the car parking demands generated by the commercial use.

Council's Transport Planning Department have indicated their preference is for three (3) on site car parking spaces to be provided (i.e. 1 additional car space). This would result in significant changes to the proposed design. More importantly, there is a tram that runs along Glen Huntly Road directly out the front of the site and Glen Huntly Station is less than 150 metres to the west of the site. From an urban planning perspective, the site is considered an appropriate location to allow for reduction of car parking due to its proximity to fixed line public transport and the availability of car parking within the area.

Management plan requirements

A Construction Management Plan (CMP) and Waste Management Plan (WMP) are required. Conditions have been included outlining the requirements of the CMP and WMP.

Objector concerns

Concerns raised by objectors are covered in this report and acknowledged. With regards to structural integrity of adjoining walls, this is not something that can be addressed by a planning process, but would be assessed at a later building permit stage, should a planning permit issue.

Amenity impacts on the directly adjoining neighbouring properties have been considered and assessed as acceptable.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

There are no financial, resource or asset management implications associated with this report.

POLICY AND LEGISLATIVE IMPLICATIONS

All matter required at Section 60 of the *Planning and Environment Act 1987* have been taken into consideration as part of the assessment of this application.

LINK TO COUNCIL AND COMMUNITY PLAN

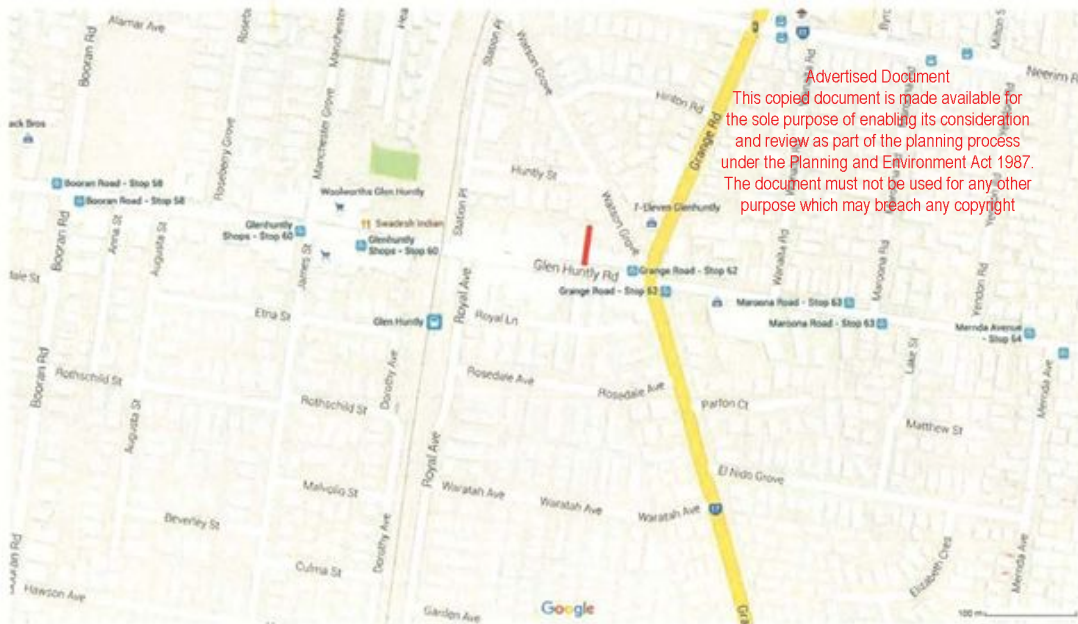
Theme One: Liveable and Well Designed
A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Decision to Grant a Planning Permit be issued.



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1 Location Plan 1 : 5000

■ SUBJECT PROPERTY



GLENHUNTLY ROAD EXISTING STREETScape

DRAWING SCHEDULE	
Drawing Name	Drawing No.
Location Plan	TP00
Existing Site Plan	TP01
Existing Ground Floor Plan	TP02
Existing Level 1 Plan	TP03
Existing Roof Plan	TP04
Existing Elevations	TP05
Proposed Site Plan	TP06
Proposed Ground Floor Plan	TP07
Proposed Level 1 Floor Plan	TP08
Proposed Level 2 Floor Plan	TP09
Proposed Level 3 Floor Plan	TP10
Proposed Roof Plan	TP11
Proposed North & South Elevation	TP12
Proposed East Elevation	TP13
Proposed West Elevation	TP14
Sections	TP15
Streetscape	TP16
Existing 9am Shadows - 22nd September	TP17
Proposed 9am Shadows - 22nd September	TP18
Existing 12pm Shadows - 22nd September	TP19
Proposed 12pm Shadows - 22nd September	TP20
Existing 3pm Shadows - 22nd September	TP21
Proposed 3pm Shadows 22nd September	TP22
Material Schedule	TP23
Proposed Car Port Elevations	TP24

AREA SCHEDULE	
Name	Area
Carpark Area	70.45 m ²
Existing Site Coverage Area	70.31 m ²
Office Area	109.63 m ²
Office Deck Area	10.36 m ²
Proposed Site Coverage Area	155.76 m ²
Proposed Site Permeable Area	49.47 m ²
Proposed Unit Level 2 Floor Area	108.64 m ²
Proposed Unit Level 3 Floor Area	28.10 m ²
Proposed Unit SPOS Balcony Area	10.36 m ²
Proposed Unit SPOS Roof Deck Area	21.99 m ²
Shop Ground Floor Area	114.12 m ²
Shop Service Yard	6.85 m ²
Site Area	205.23 m ²

EXISTING SITE COVERAGE	34.15%
EXISTING SITE PERMEABILITY	65.85%
PROPOSED SITE COVERAGE	75.90%
PROPOSED SITE PERMEABILITY	24.10%

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Location Plan

Scale 1 : 5000 @ A3
Date 27/04/17
Drawn MW
Checked MW
Approved MW

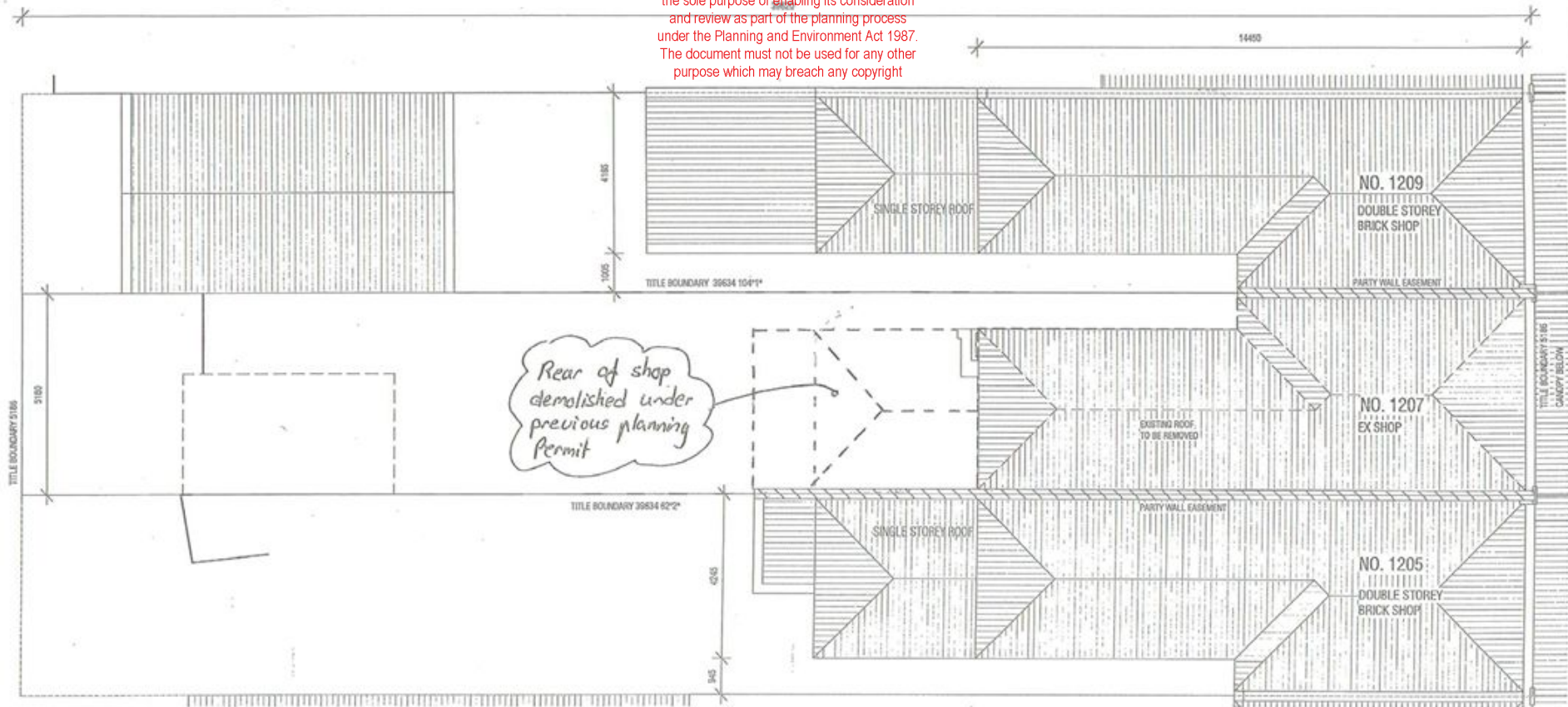
Records Management
20 JUN 2018
Received



TOWN PLANNING

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1 Existing Roof Plan
 TP12 1:100

Project
 PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhumpy Road, Glenhumpy VIC
 Project Number 301

Records Management
 20 JUN 2018
 Received

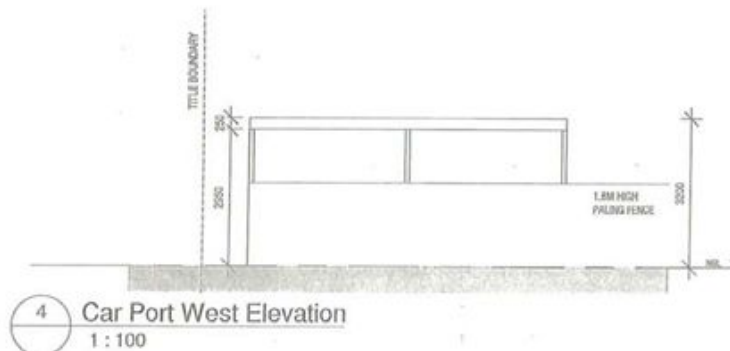
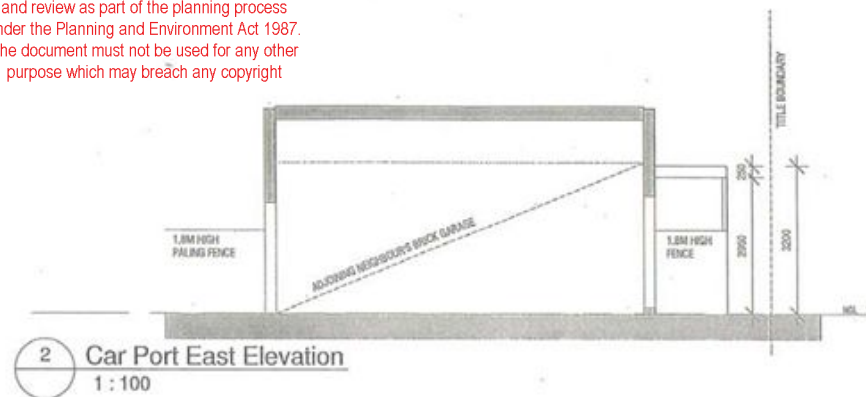
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 Date 22/04/17
 Drawn MN
 Checked MN
 Approved MN



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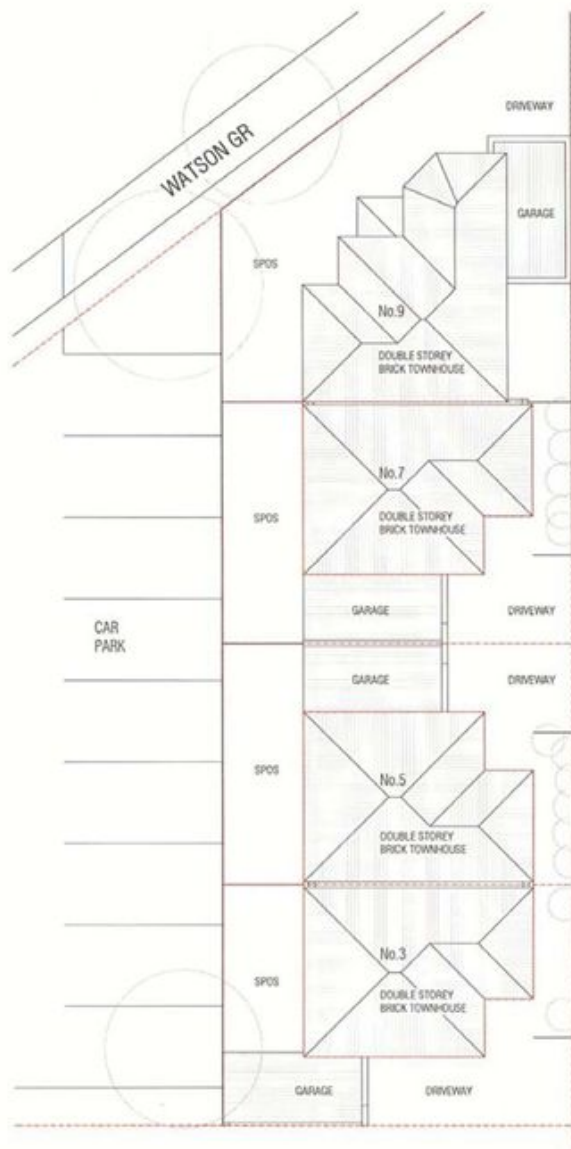
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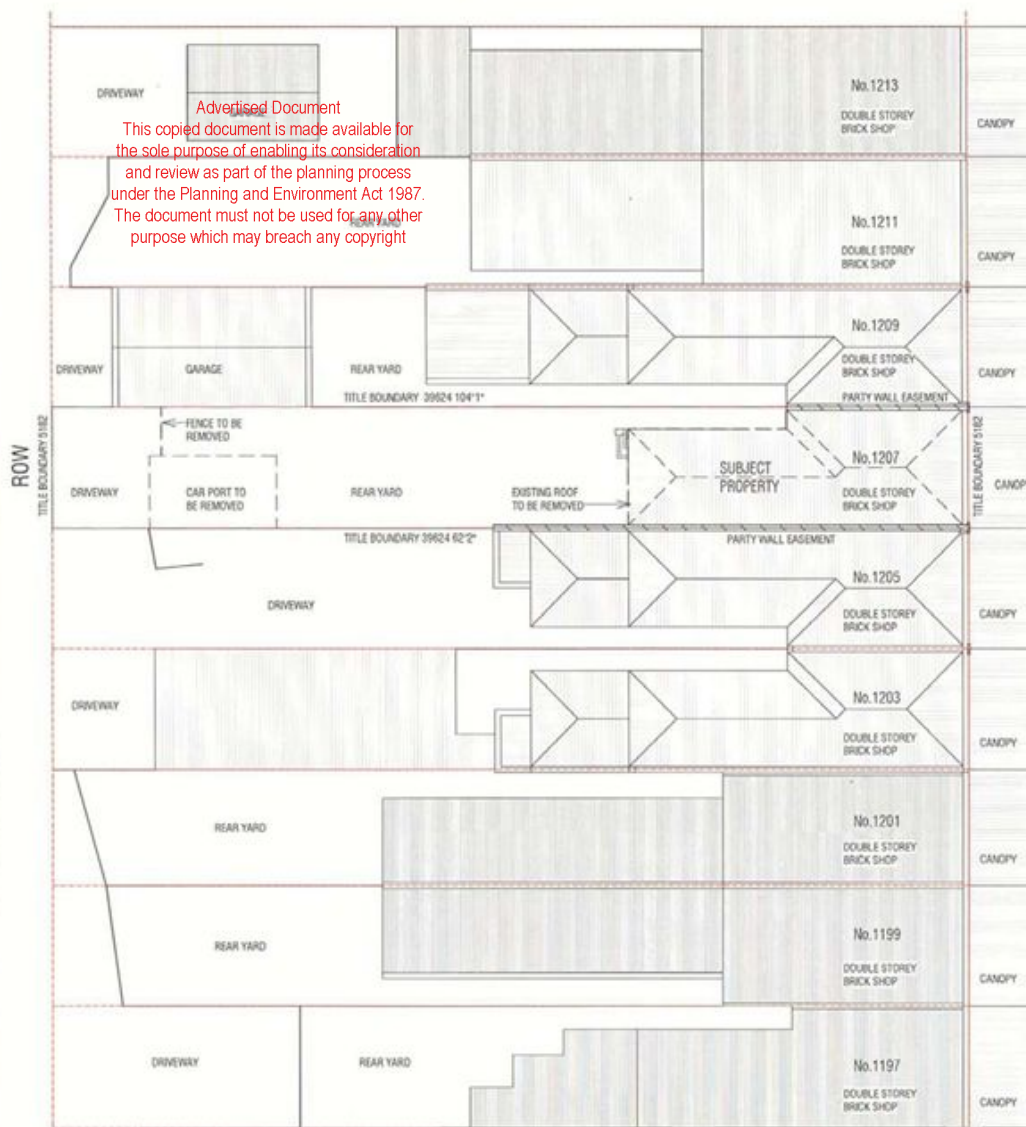
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 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

Drawing
Proposed Car Port Elevations
 Scale 1 : 100 @ A3
 Date 22/04/17
 Drawn MN
 Checked MN
 Approved MN

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 Drawing Number **TP24**
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1 Existing Site Plan
TP05 1 : 200



Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Existing Site Plan

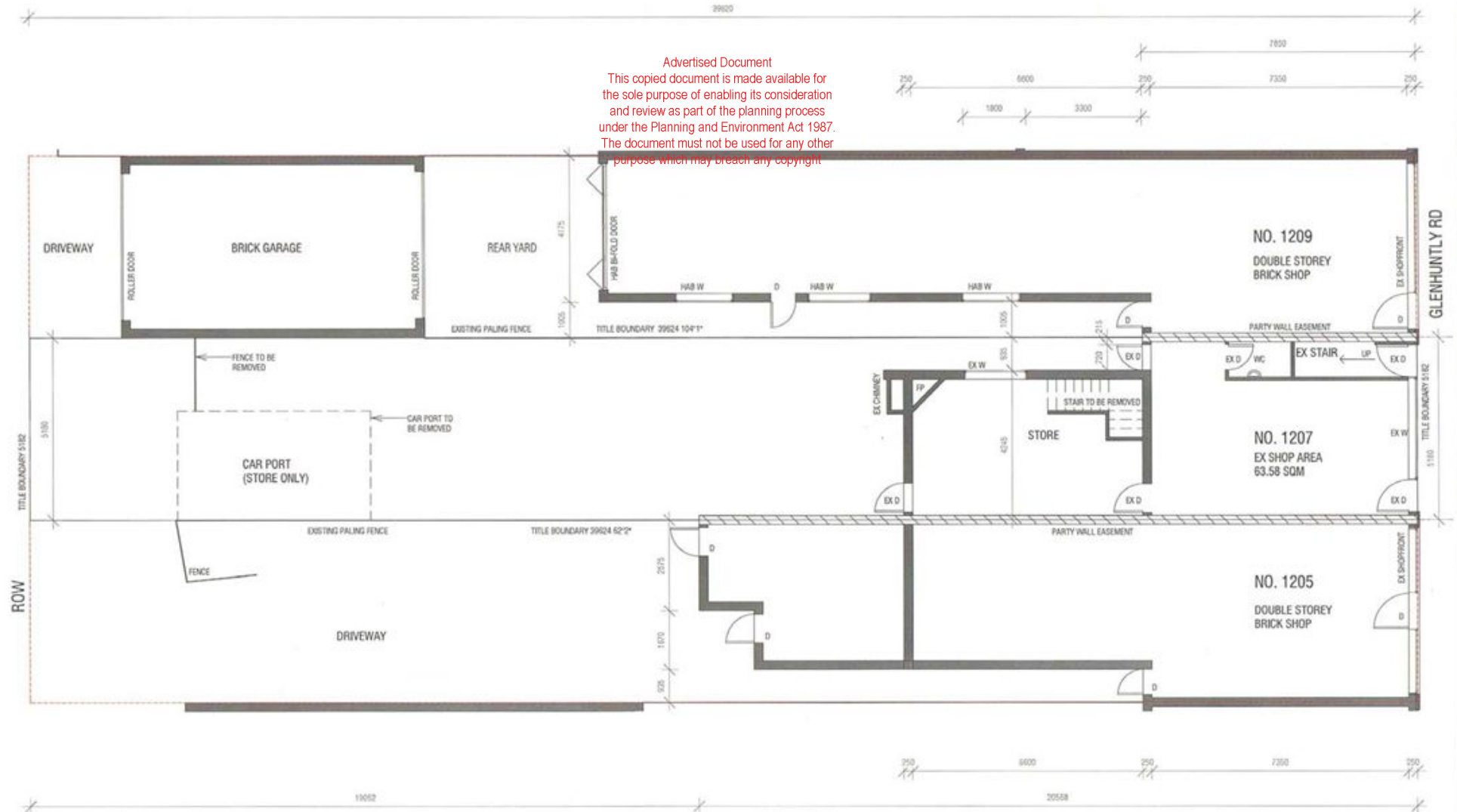
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1 Existing Ground Floor Plan
 TP05 1 : 100

SHOP FLOOR AREA SUMMARY	
EXISTING SHOP FLOOR AREA:	63.58m ²
PROPOSED SHOP ADDITIONAL FLOOR AREA:	44.886m ²
PROPOSED TOTAL SHOP FLOOR AREA:	108.256m ²

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

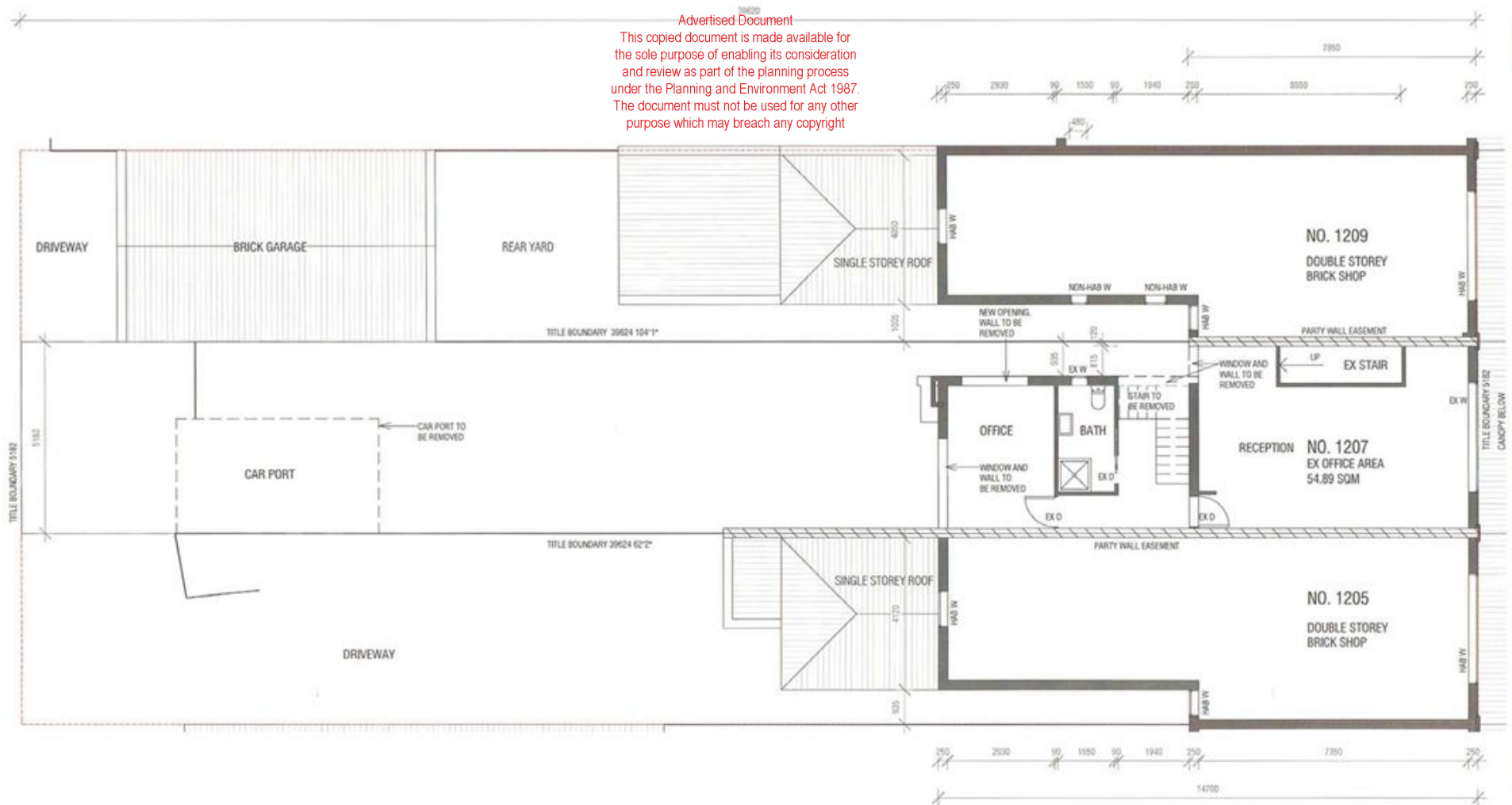
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 Approved MN

TOWN PLANNING

Drawing Number **TP02**

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1 Level 1 Floor Plan
 TP05 1 : 100

OFFICE FLOOR AREA SUMMARY	
EXISTING OFFICE AREA:	54.89m ²
PROPOSED OFFICE ADDITIONAL FLOOR AREA:	35.317m ²
PROPOSED TOTAL OFFICE FLOOR AREA:	90.207m ²

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhunity Road, Glenhunity VIC
 Project Number 101

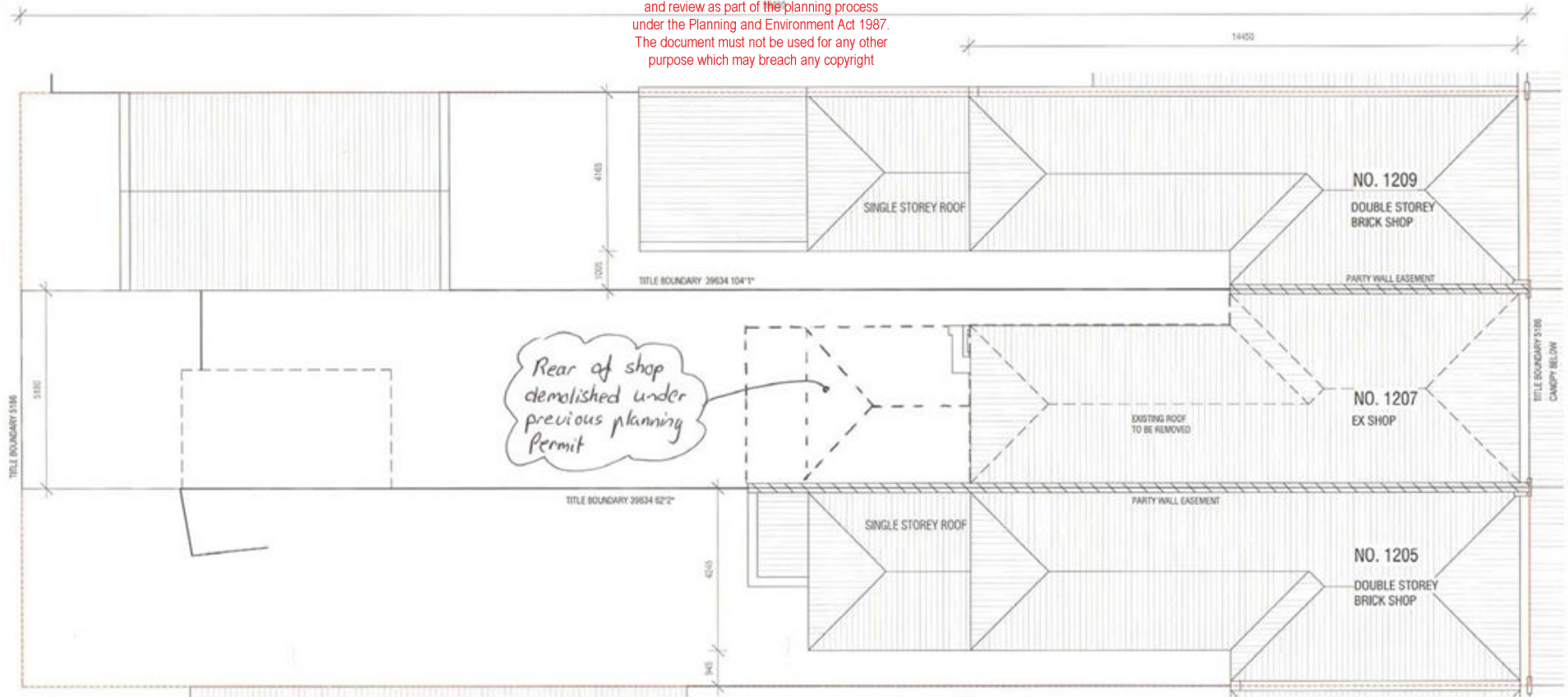
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Scale 1 : 100 @ A3
 Date 27/04/17
 Drawn MN
 Checked MN
 Approved MN



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1 Existing Roof Plan
 TP12 1 : 100

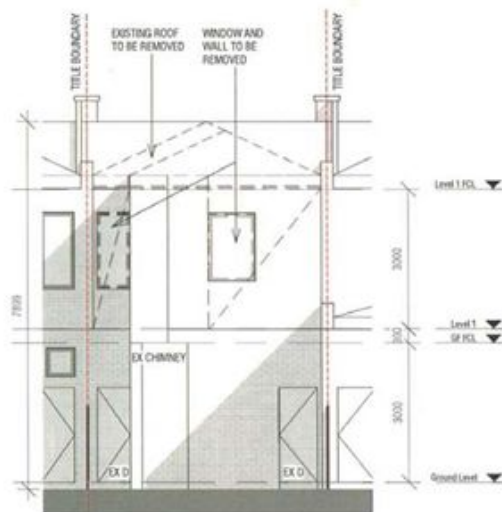
Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

Drawing
Existing Roof Plan
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 Date 27/04/17
 Drawn MN
 Checked MN
 Approved MN

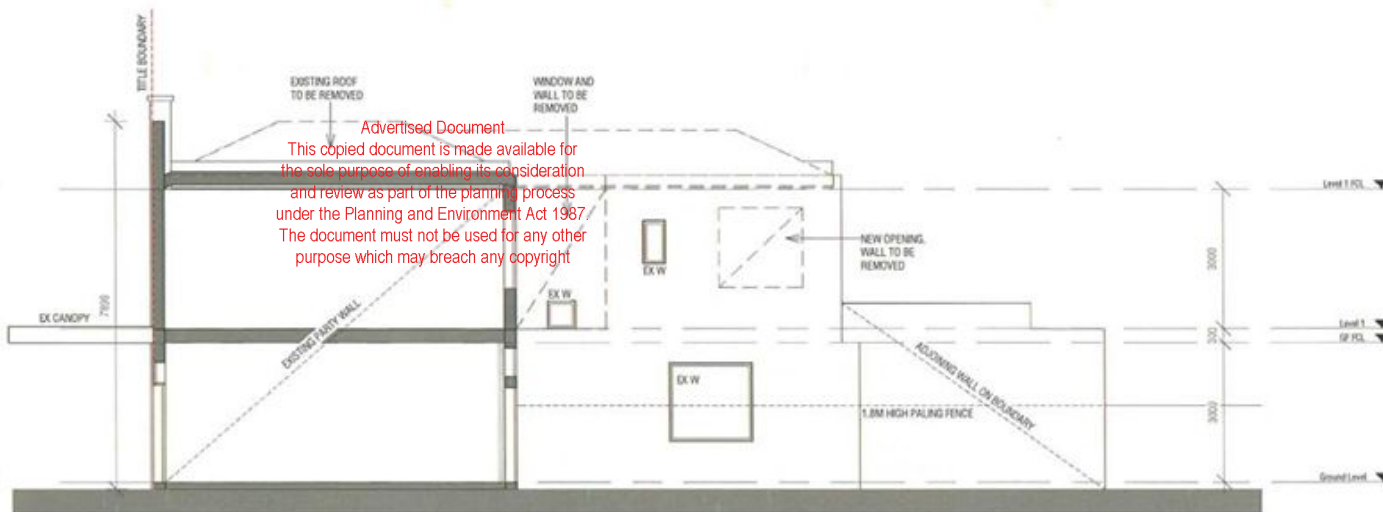
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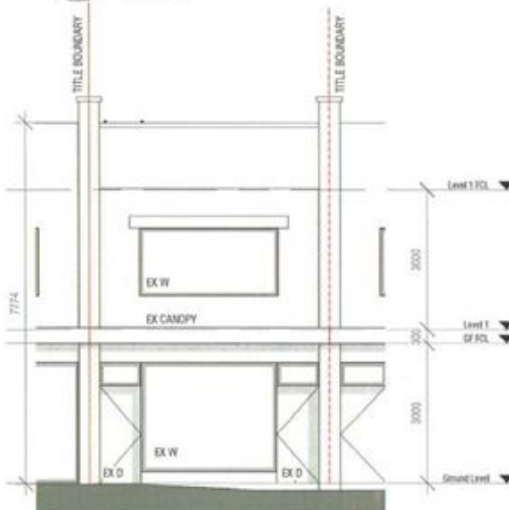
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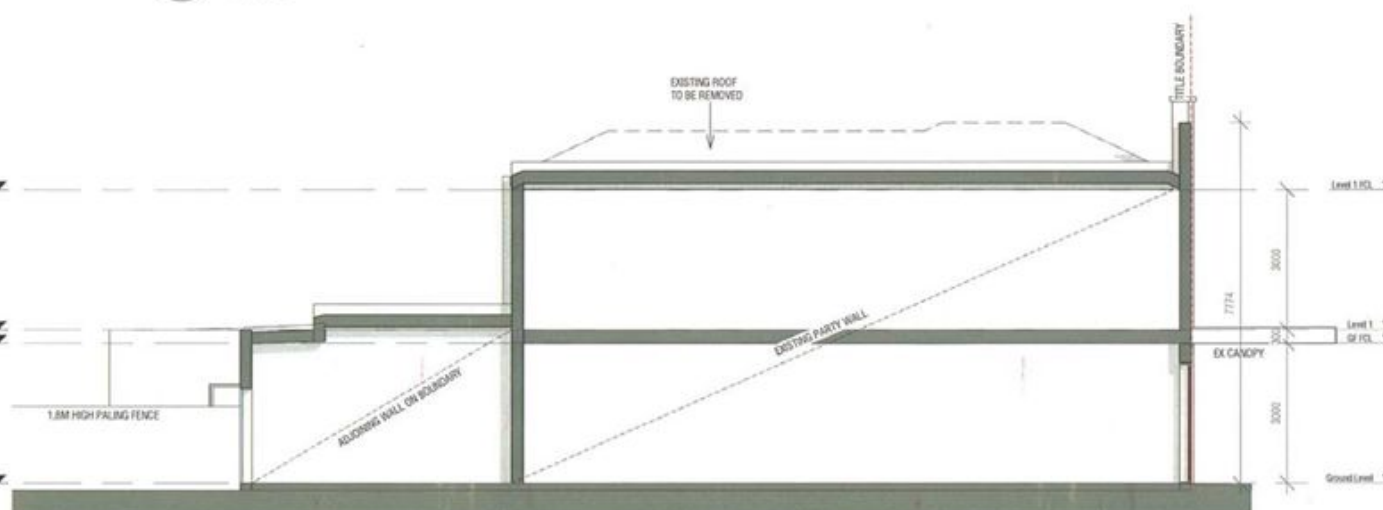
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1 : 100



2 Existing East Elevation
1 : 100



3 Existing South Elevation
1 : 100

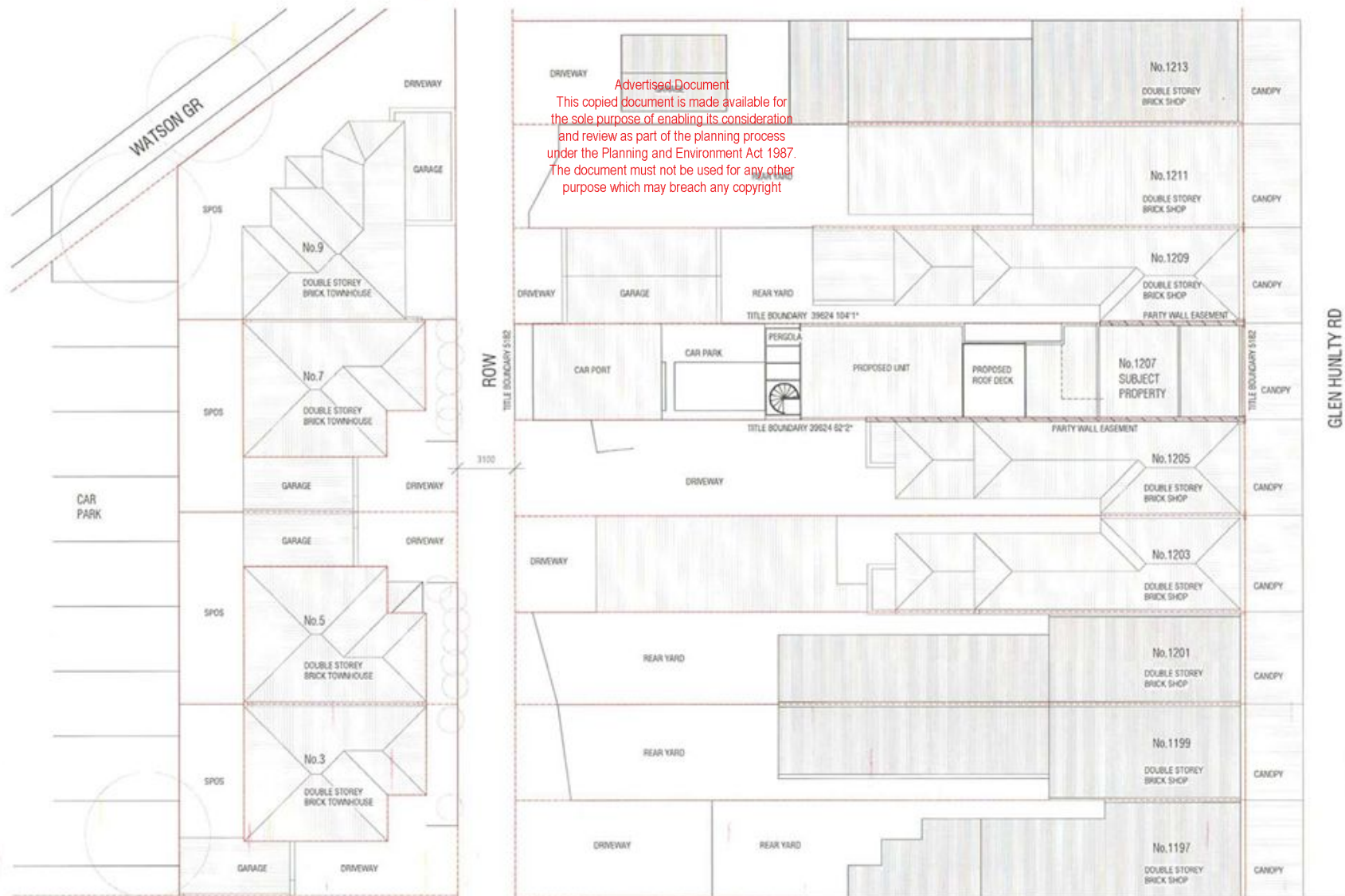


4 Existing West Elevation
1 : 100

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Existing Elevations
Scale 1 : 100 @ A3
Date 27/04/17
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Approved MN

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1 Proposed Site Plan
TP05 1 : 200

SHOP FLOOR AREA SUMMARY	
EXISTING SHOP FLOOR AREA:	63.58m ²
PROPOSED SHOP ADDITIONAL FLOOR AREA:	44.686m ²
PROPOSED TOTAL SHOP FLOOR AREA:	108.266m ²
OFFICE FLOOR AREA SUMMARY	
EXISTING OFFICE AREA:	54.89m ²
PROPOSED OFFICE ADDITIONAL FLOOR AREA:	35.317m ²
PROPOSED TOTAL OFFICE FLOOR AREA:	90.207m ²

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Proposed Site Plan

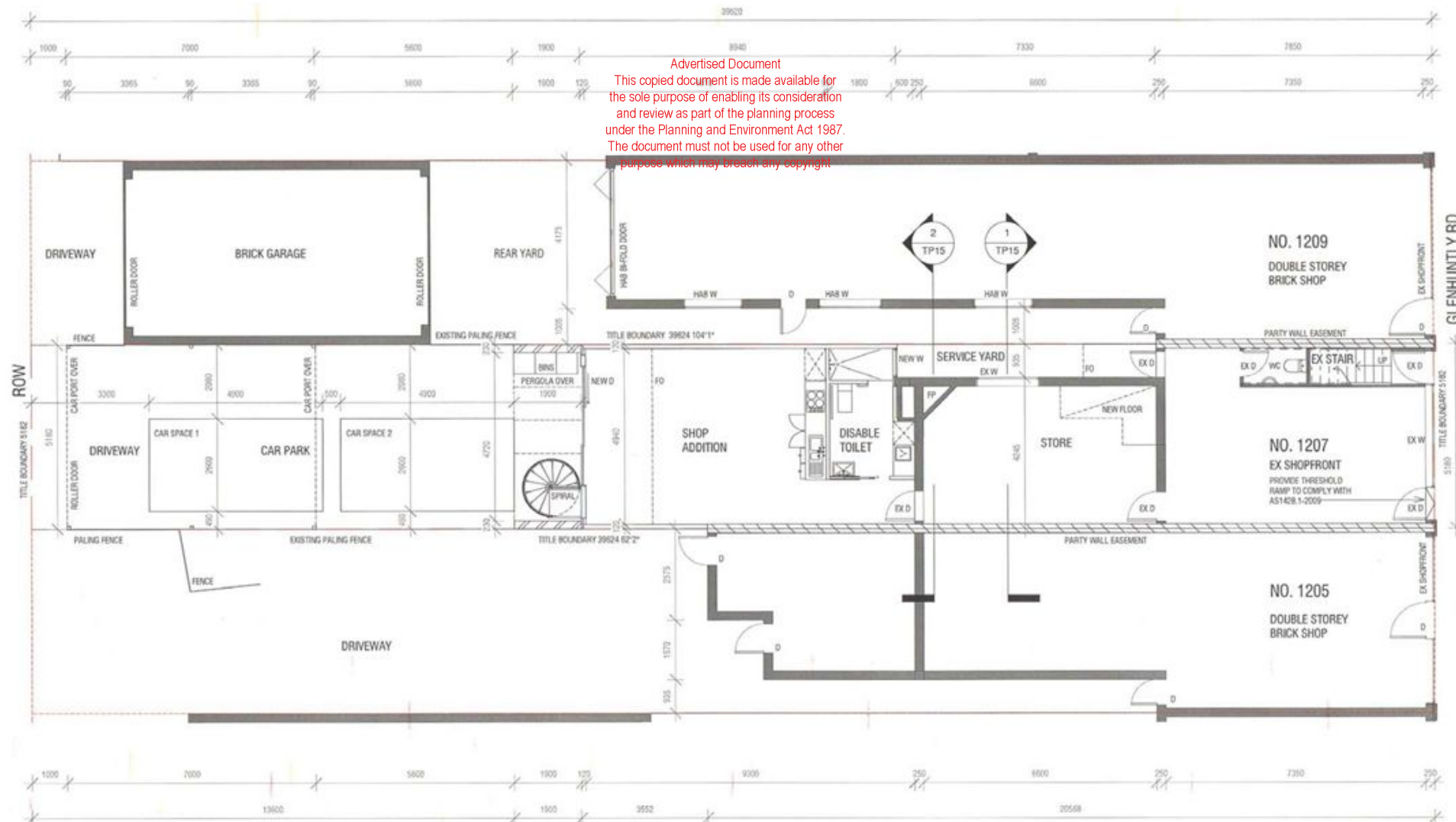
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Checked MB
Approved MB



TOWN PLANNING

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1 Proposed Ground Floor Plan
TP05 1 : 100

SHOP FLOOR AREA SUMMARY	
EXISTING SHOP FLOOR AREA:	83.58m ²
PROPOSED SHOP ADDITIONAL FLOOR AREA:	44.686m ²
PROPOSED TOTAL SHOP FLOOR AREA:	128.266m ²

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Proposed Ground Floor Plan

Scale 1 : 100 @ A3
Date 27/04/17
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Checked MN
Approved MN

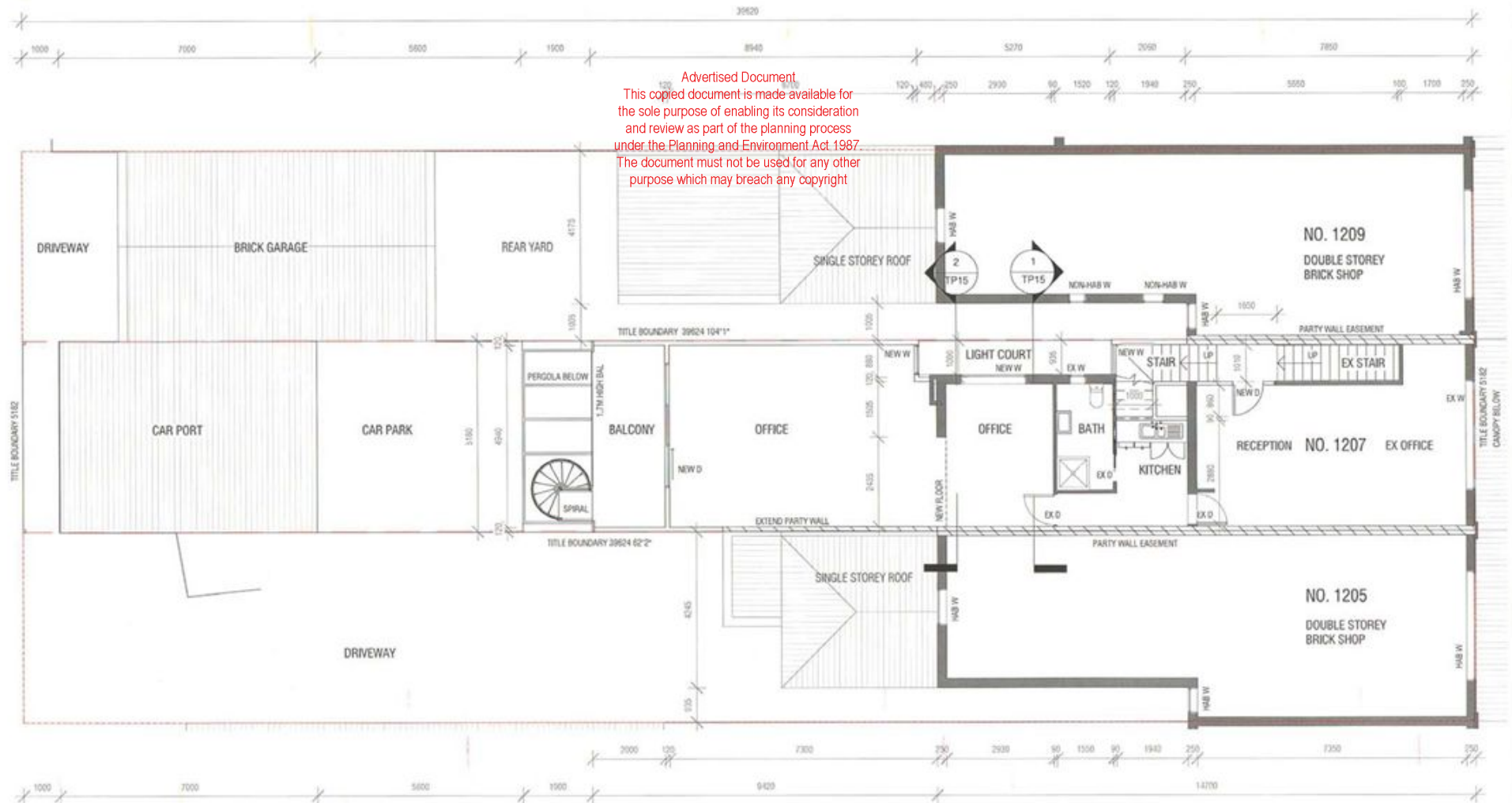


TOWN PLANNING

Drawing Number TP07

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1 Proposed Level 1 Floor Plan
 TP05 1 : 100

OFFICE FLOOR AREA SUMMARY	
EXISTING OFFICE AREA:	54.89m ²
PROPOSED OFFICE ADDITIONAL FLOOR AREA:	35.317m ²
PROPOSED TOTAL OFFICE FLOOR AREA:	90.207m ²

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

Drawing
Proposed Level 1 Floor Plan
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 Date 27/04/17
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 Checked MN
 Approved MN

TOWN PLANNING

Drawing Number **TP08**

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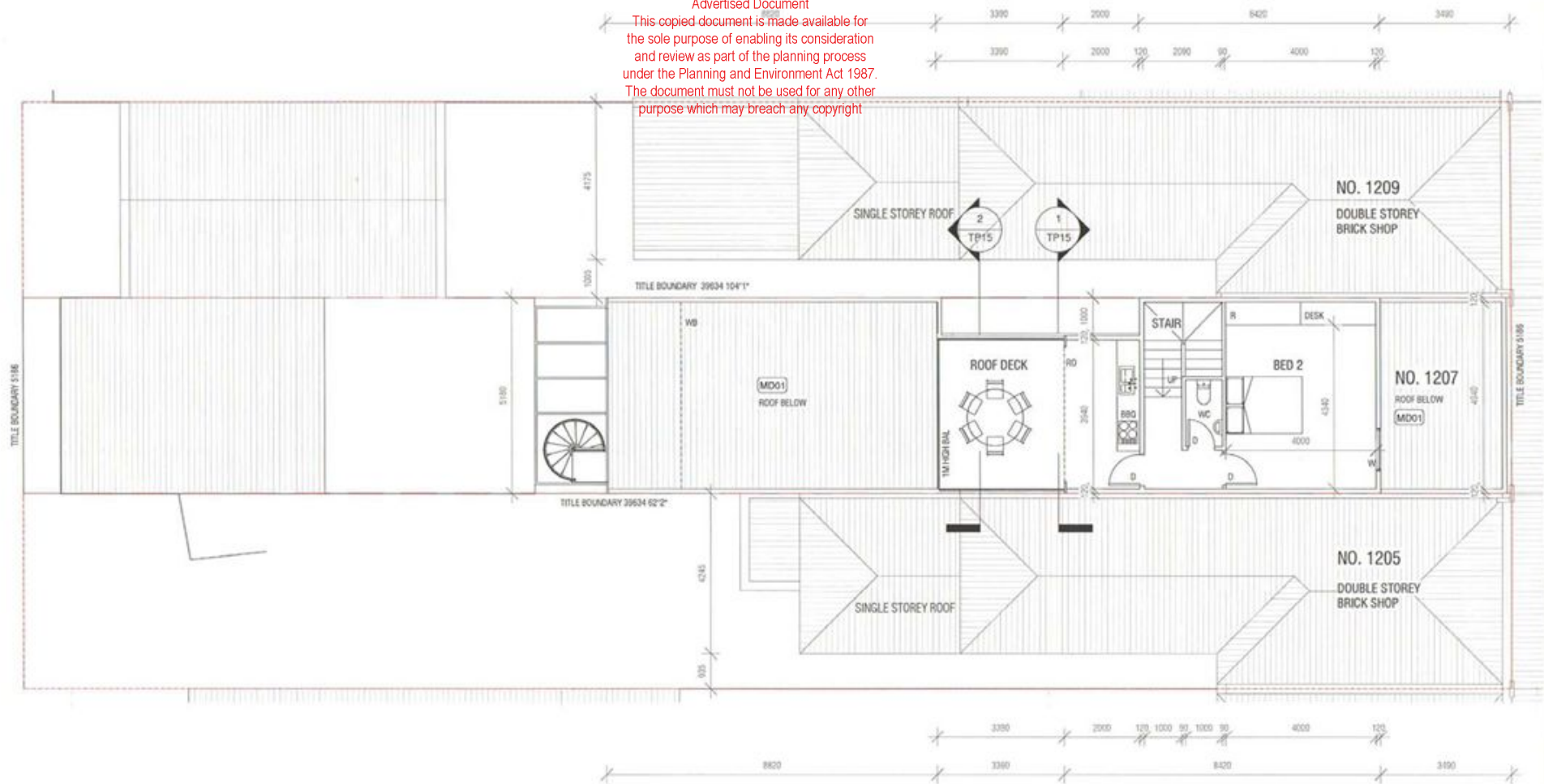
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Drawing
Proposed Level 2 Floor Plan

Drawing Number **TP09**

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1 Proposed Level 3 Floor Plan
TP12 1:100

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

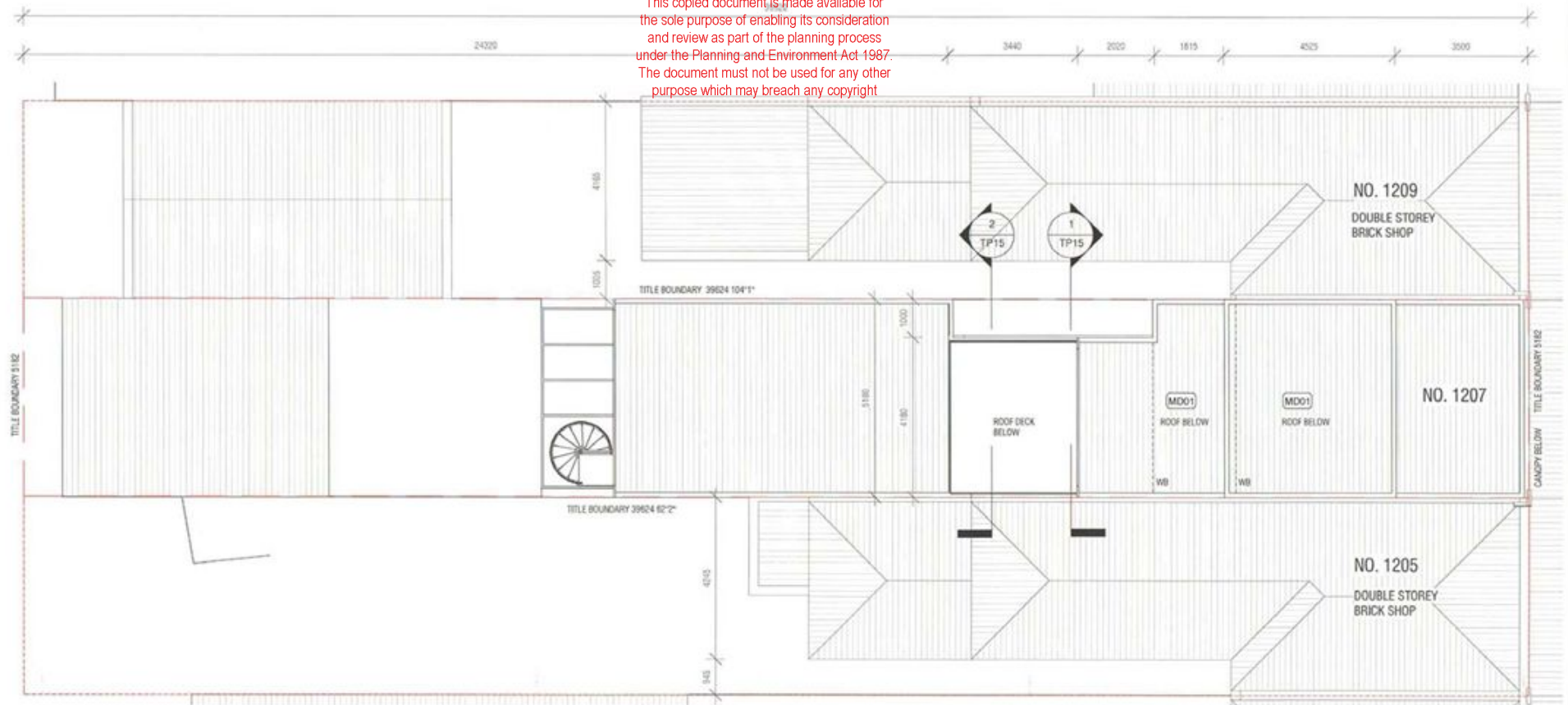
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TOWN PLANNING

Drawing Number TP10

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1 Proposed Roof Plan
TP12 1:100

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntingly Road, Glenhuntingly VIC
Project Number 101

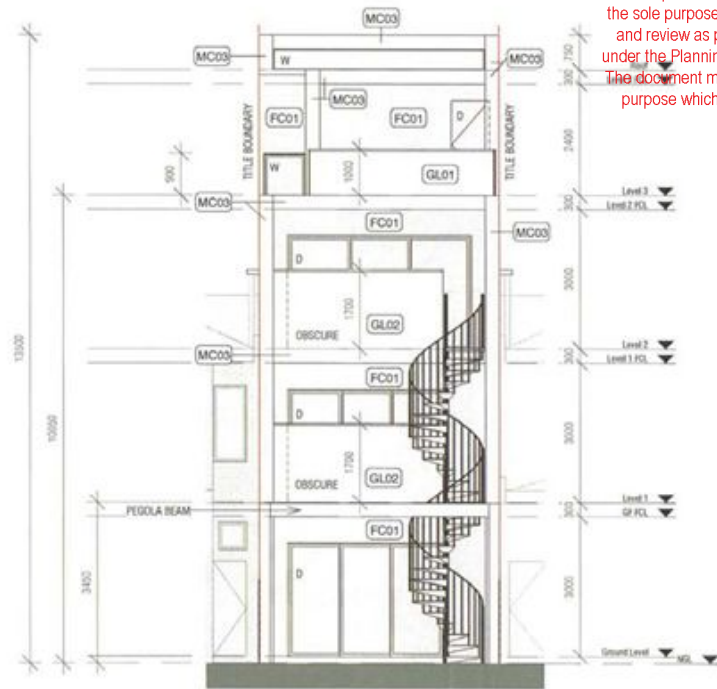
Drawing
Proposed Roof Plan

Scale 1:100 @ A3
Date 27/04/17
Drawn MN
Checked MN
Approved MN



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1 Proposed North Elevation
 1 : 100



2 Proposed South Elevation
 1 : 100

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

Drawing
Proposed North & South Elevation

Scale 1 : 100 @ A3
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TOWN PLANNING

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1 Proposed East Elevation
 1 : 100

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

Drawing
Proposed East Elevation

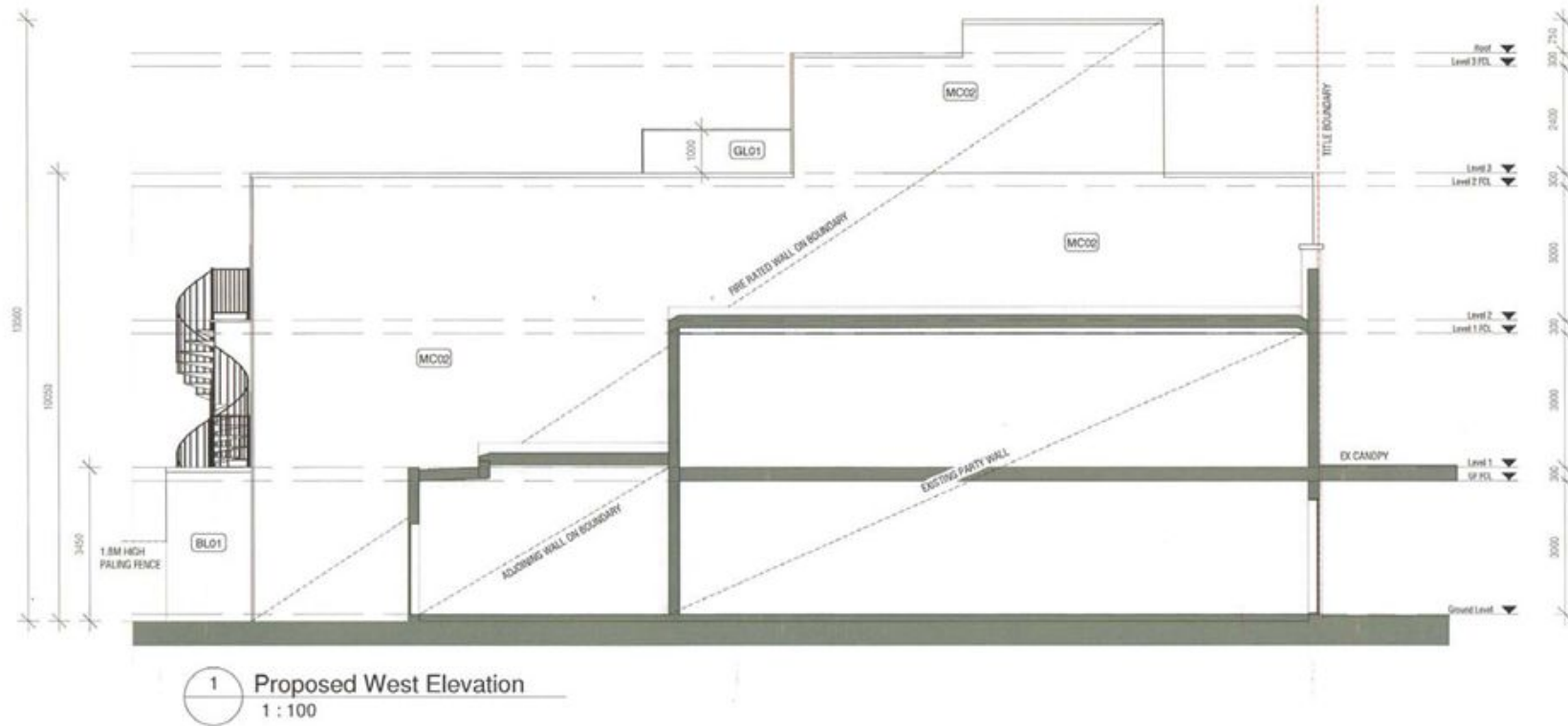
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Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Proposed West Elevation

Scale 1 : 100 @ A3
Date 27/04/17
Drawn MN
Checked MN
Approved MN

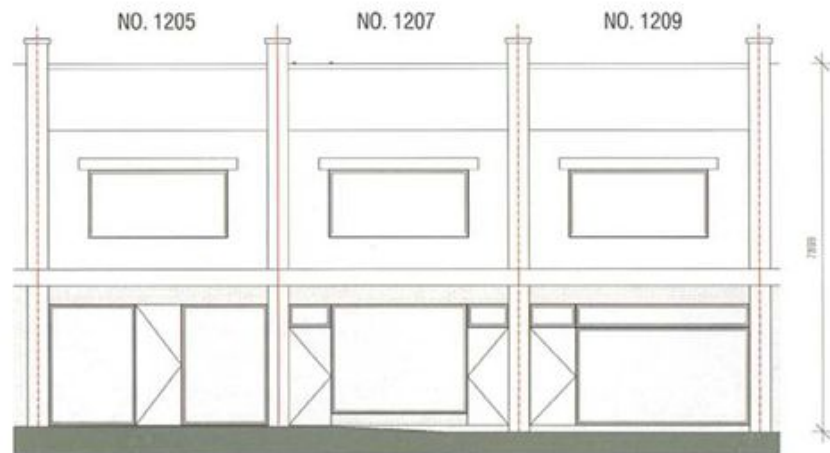


TOWN PLANNING

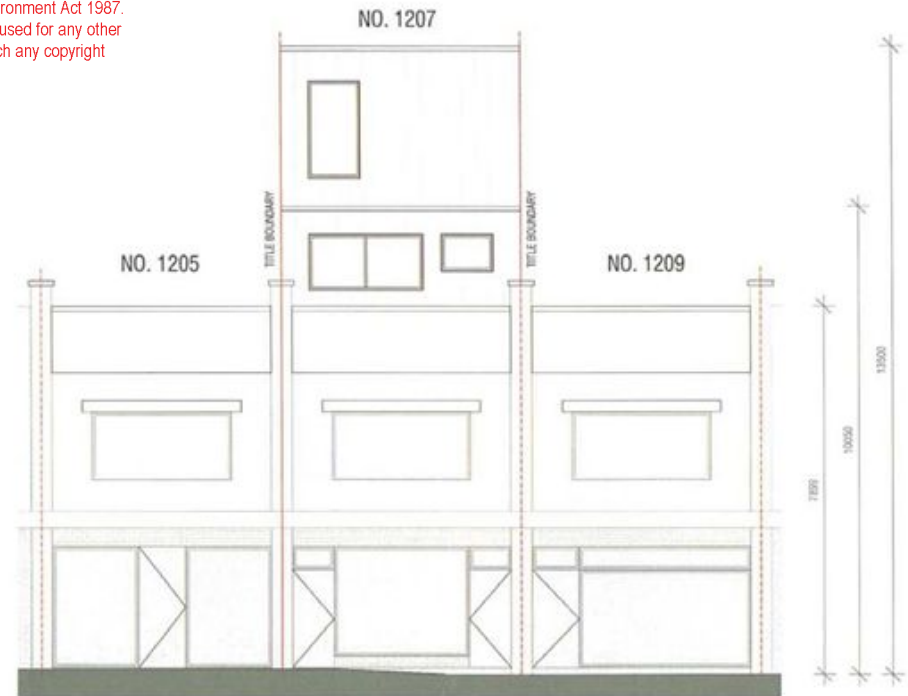
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2 Existing Streetscape South Elevation
 1 : 100



1 Proposed Streetscape South Elevation
 1 : 100

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

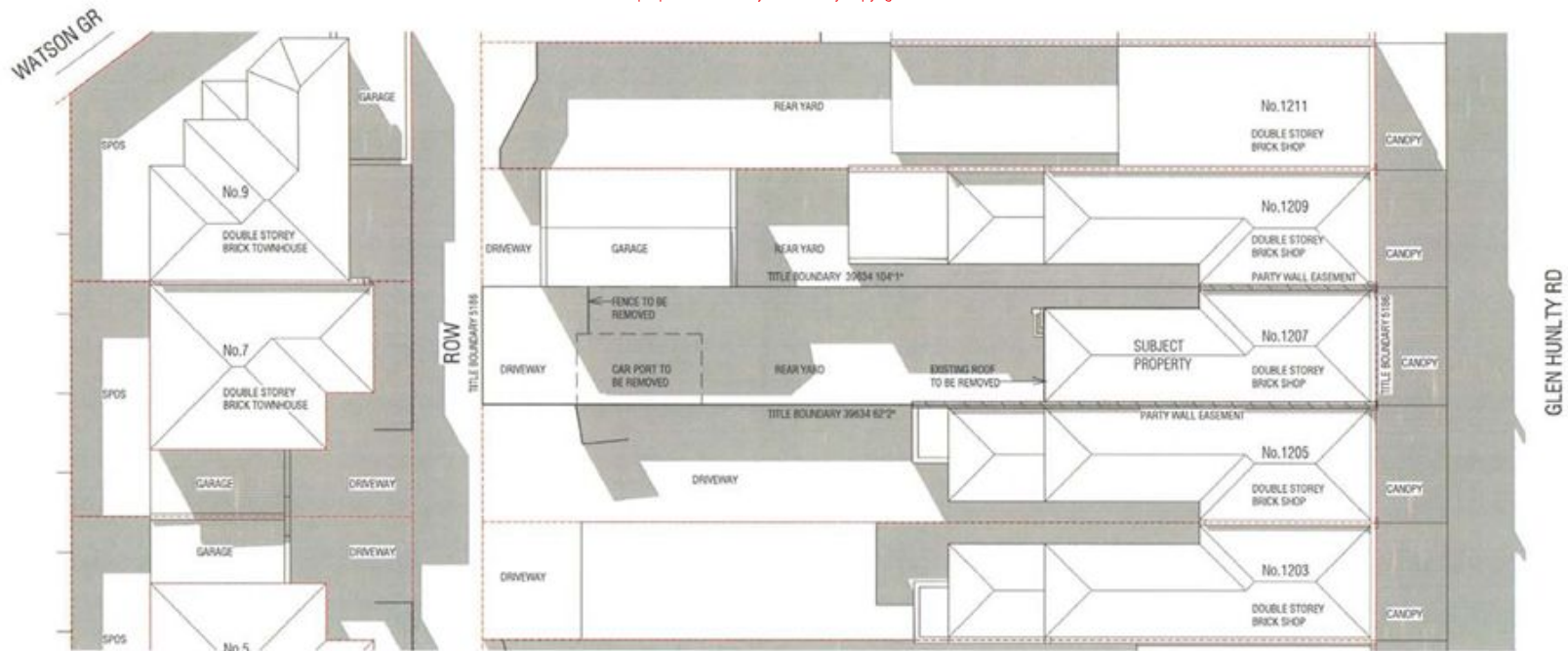
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 Scale 1 : 100 @ A3
 Date 27/04/17
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1 Shadow Diagram - Existing 9am
 TP05 1 : 200

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

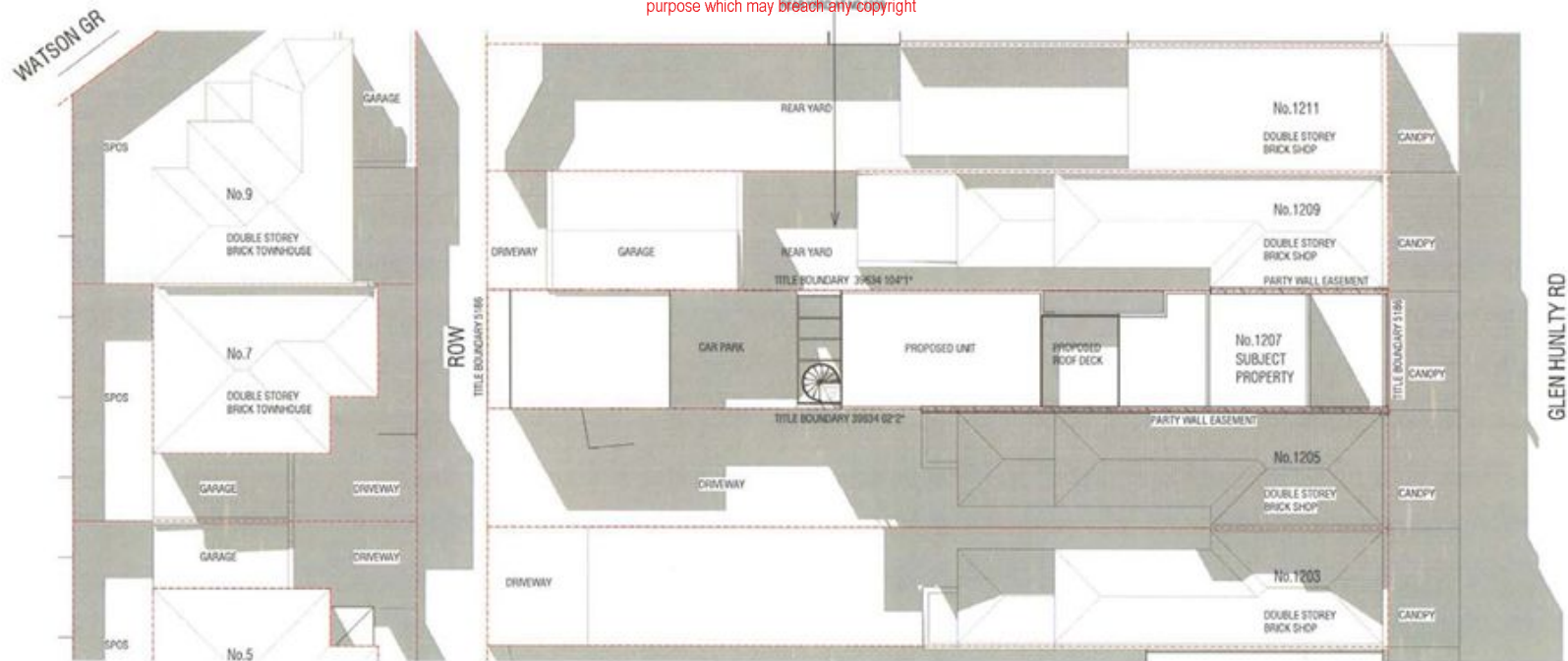
Drawing
 Existing 9am Shadows - 22nd
 September
 Scale 1 : 200 @ A3
 Date 27/04/17
 Drawn MN
 Checked MN
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TOWN PLANNING

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1 Shadow Diagram - Proposed 9am
TP05 1 : 200

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Proposed 9am Shadows - 22nd
September

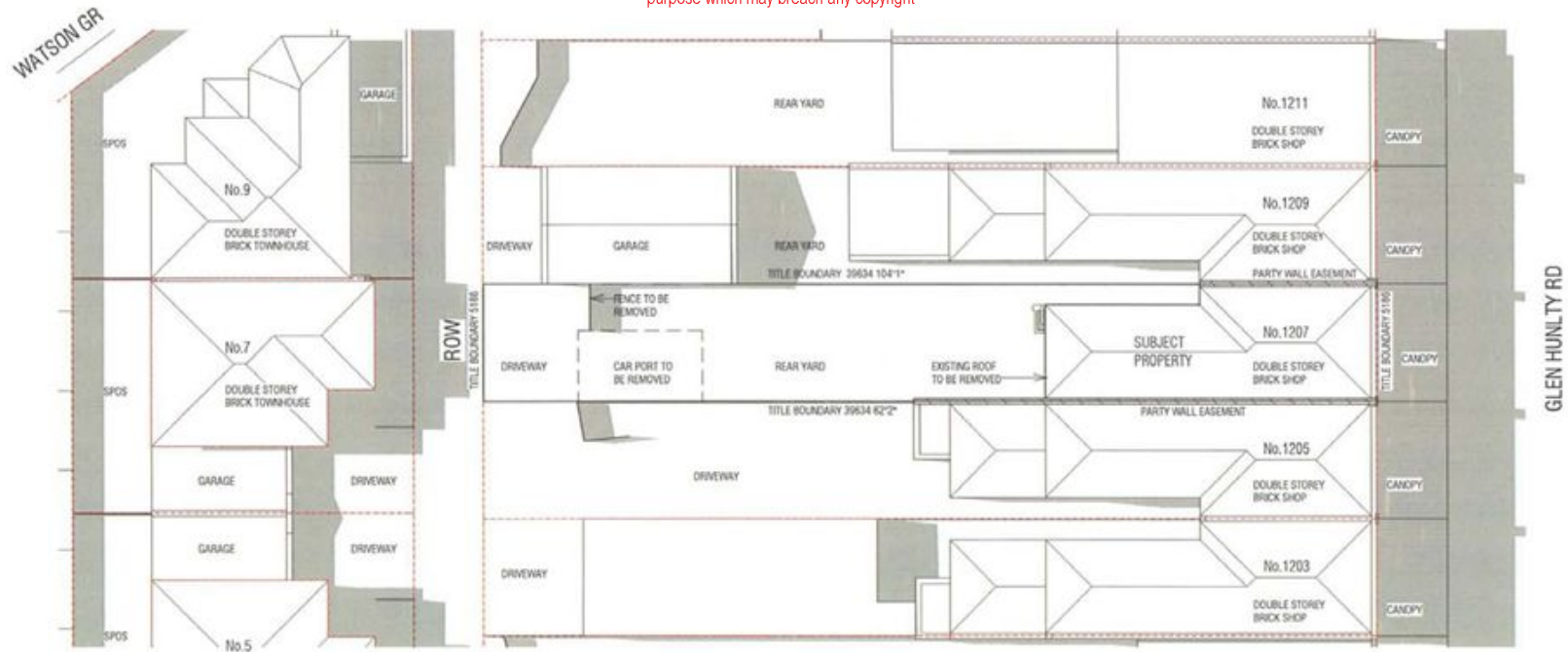
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Date 27/04/12
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1
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1 : 200

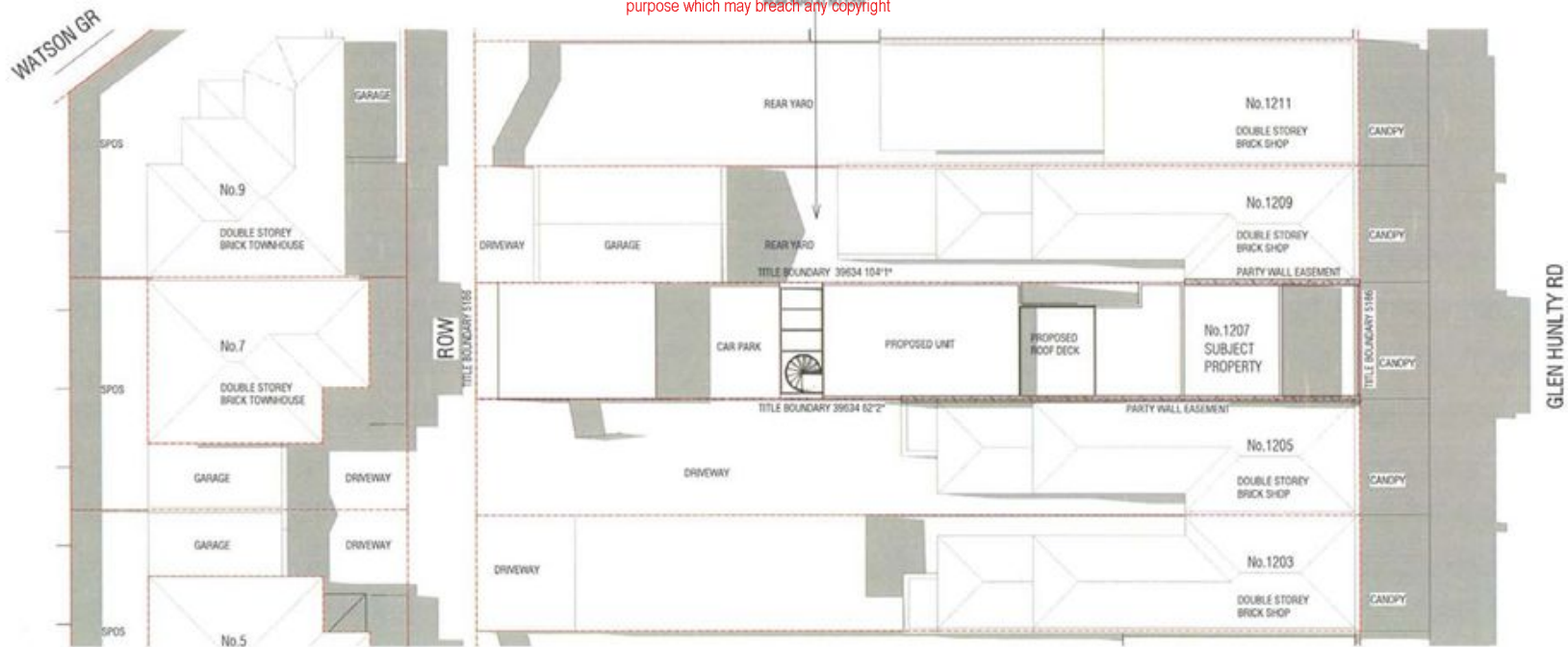
Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Existing 12pm Shadows - 22nd
September
Scale 1 : 200 @ A3
Date 27/04/17
Drawn MN
Checked MN
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1 Shadow Diagram - Proposed 12pm
 TP05/ 1 : 200

Project
PROPOSED DEVELOPMENT
 Owner: Neighbour Investments
 1207 Glenhuntly Road, Glenhuntly VIC
 Project Number 101

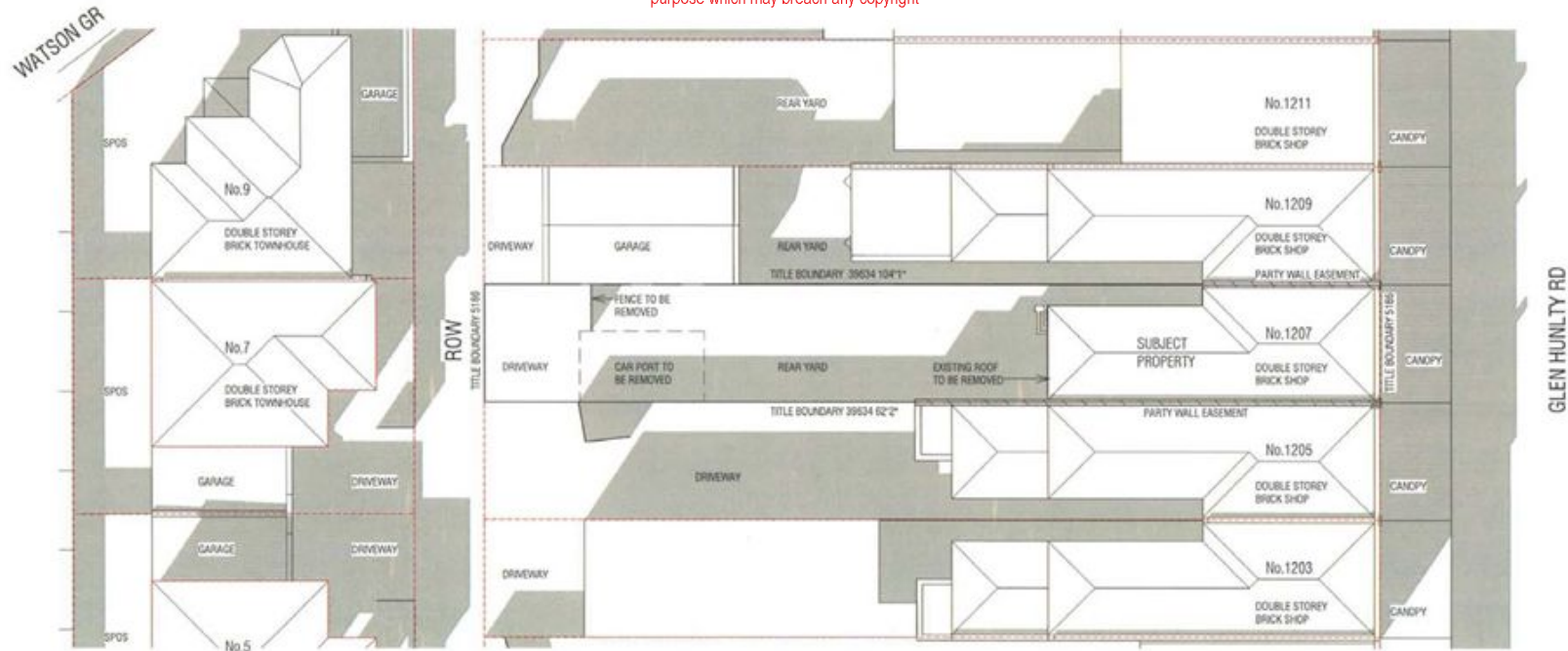
Drawing
 Proposed 12pm Shadows - 22nd
 September
 Scale 1 : 200 @ A3
 Date 22/04/17
 Drawn MN
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1 Shadow Diagram - Existing 3pm
TP05 1 : 200

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Existing 3pm Shadows - 22nd
September
Scale 1 : 200 @ A3
Date 22/04/17
Drawn MW
Checked MW
Approved MW

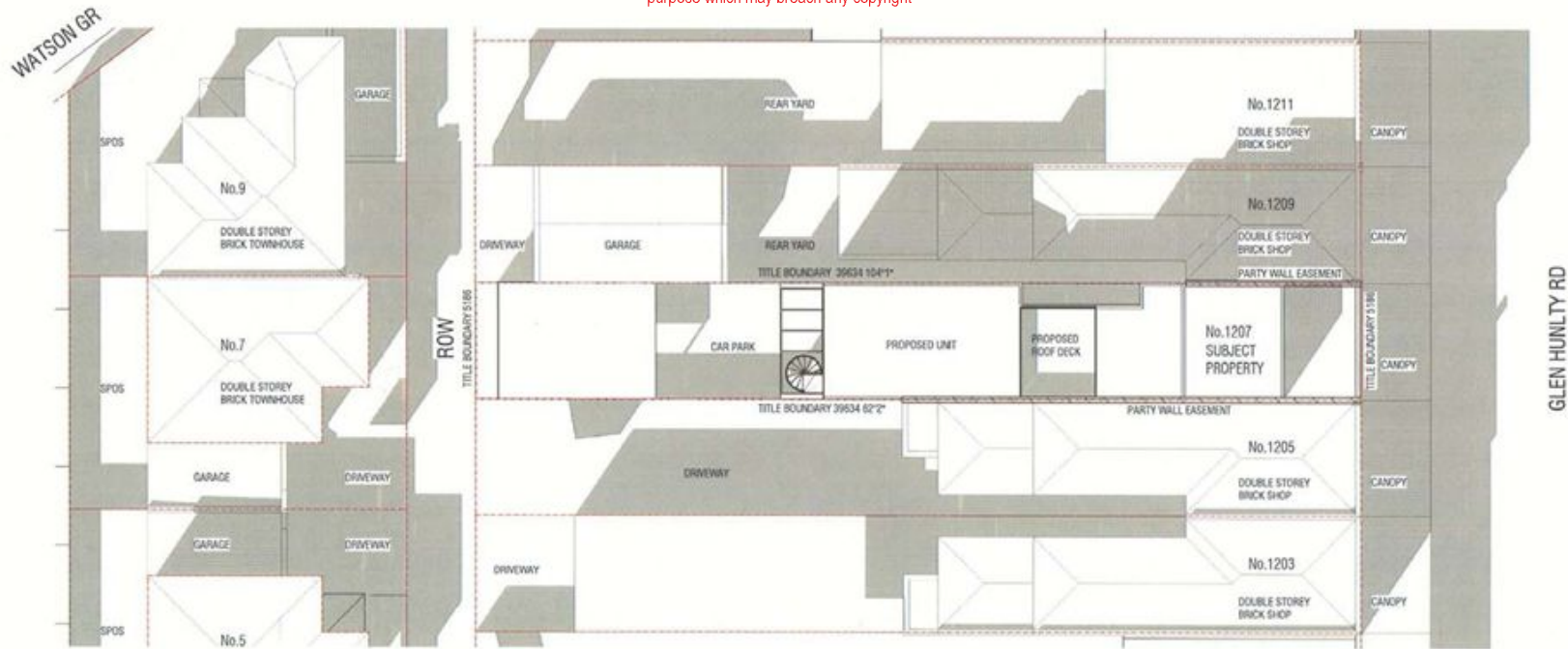


TOWN PLANNING

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1
TP05 Shadow Diagram - Proposed 3pm
1 : 200

Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Proposed 3pm Shadows 22nd
September
Scale 1 : 200 @ A3
Date 27/04/17
Drawn MN
Checked MN
Approved MN



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PROPOSED MATERIAL SCHEDULE		
MATERIAL CODE	MATERIAL DESCRIPTION	MATERIAL IMAGE
MC01	METAL WALL CLADDING VERTICAL PROFILE COLOUR: GREY	
MC02	ROLEX METAL WALL CLADDING OR SIMILAR WITH FIRE RATED CLADDING COLOUR: IRON GREY	
MC03	METAL CLADDING ALUCOBOND OR SIMILAR COLOUR: GREY	
MD01	METAL ROOFING TRAYDECK 2 DEG. FALL COLOUR: ZINCALUME	
FC01	TEXTURED RENDER ON FIBRE CEMENT SHEET COLOUR: GREY	
BL01	BLOCKWORK COLOUR: GREY	
EXBR	EXISTING RED FACE BRICKWORK	
GL01	GLASS CLEAR	
GL01	GLASS OBSCURE	

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Project
PROPOSED DEVELOPMENT
Owner: Neighbour Investments
1207 Glenhuntly Road, Glenhuntly VIC
Project Number 101

Drawing
Material Schedule

Scale @ A3
Date 27/04/17
Drawn MN
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TOWN PLANNING

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9.4 VCAT WATCH

Author: Kristian Cook, VCAT Coordinator

Trim No: 18/1220151

Attachments: 1. VCAT Watch - 26 September 2018 - Attachment

PURPOSE AND SUMMARY

To report to Council applications currently before, and recent decisions of the Victorian Civil and Administrative Tribunal (VCAT).

RECOMMENDATION

That Council notes:

1. the recent decisions and applications currently before the Victorian Civil and Administrative Tribunal (VCAT), including the recent applications that have been lodged with VCAT.

BACKGROUND

The VCAT process is an integral part of the planning permit process and provides opportunity for independent review of planning decisions. VCAT is required to take into consideration any relevant planning policy.

ISSUES AND DISCUSSION

This report includes an attachment that provides an overview of all applications currently before, or that have recently been decided by the VCAT. The attachment table is broken down into 'New appeals lodged with the VCAT', 'Current matters before the VCAT' (including upcoming hearings or where Council is waiting for a decision after the hearing has taken place), and 'Recent decisions of the VCAT'.

There were four decisions since the previous report, with one being resolved by consent following amended plans being circulated to address VicRoads' requirements. The remaining decisions were relatively minor due to their confined issues, so no commentary is provided.

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

There are no financial, resource or asset management implications.

POLICY AND LEGISLATIVE IMPLICATIONS

The decisions of notable interest in this report are relevant to the planning permit decision making in Glen Eira.

COMMUNICATION AND ENGAGEMENT

There has been no communication or engagement for this report.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme One: Liveable and Well Designed

A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

This report provides an update of the applications before and recent decisions of the VCAT.

APPLICATIONS BEFORE AND RECENT DECISION OF THE VICTORIAN CIVIL AND ADMINISTRATIVE TRIBUNAL

NEW APPEALS LODGED WITH THE VICTORIAN CIVIL AND ADMINISTRATIVE TRIBUNAL (4 SEPTEMBER 2018 to 26 SEPTEMBER 2018)

Address	VCAT Reference	Description of proposal	Type of Appeal	Zone	Council Decision	Council Delegate for Decision	Next Hearing Type	Next VCAT date
277-279 Centre Road BENTLEIGH VIC 3204	P1609/2018	Construction of a seven storey building comprising ground floor retail and no more than 52 dwellings above basement car parking, use of the land for accommodation (dwellings) and reduction of associated car parking requirements – Amended application	s87 (Amend)	C1Z	No yet determined	N/A	Practice Day Hearing	5-Oct-2018
697 South Road BENTLEIGH EAST	P1548/2018	Construction of two double storey attached dwellings and alteration of access to a Road Zone Category 1.	s82 (Objector)	NRZ1	NOD	DPF	Merits Hearing	25-Jan-2019

MATTERS BEFORE THE VICTORIAN CIVIL AND ADMINISTRATIVE TRIBUNAL (* INCLUDING APPEALS AWAITING A DECISION)								
Address	VCAT Reference	Description of Proposal	Type of Appeal	Zone	Council Decision	Council Delegate for Decision	Hearing Type	Hearing Date
6-8 Bevis Street BENTLEIGH EAST VIC 3165	P558/2018	Construction of fifteen (15) dwellings and reduction in car parking	s77 (Refusal)	GRZ1	Refusal	Council	Merits Hearing	*
39 Lilac Street BENTLEIGH EAST VIC 3165	P473/2018	Construction of four (4) attached three storey dwellings	s77 (Refusal)	GRZ1	Refusal	Manager	Merits Hearing	*
11 Valkstone Street BENTLEIGH EAST VIC 3165	P475/2018	Construction of two (2) double storey attached dwellings	s82 (Objector)	NRZ1	NOD	DPF	Merits Hearing	*
32 Leckie Street BENTLEIGH VIC 3204	P1195/2018	Construction of two double storey attached dwellings	s80 (Conditions)	NRZ1	Planning Permit	DPF	Merits Hearing	02-Oct-2018
74 Beddoe Avenue BENTLEIGH EAST VIC 3165	P1202/2018	Double storey dwelling to the rear of a property	s80 (Conditions)	NRZ1	Planning Permit	DPF	Merits Hearing	04-Oct-2018
2 Shanahan Crescent MCKINNON VIC 3204	P134/2018	Construction of three (3) double storey attached dwellings on land affected by the Special Building Overlay	s77 (Refusal)	NRZ1	Refusal	Manager	Merits Hearing	05-Oct-2018
319-321 Hawthorn Road CAULFIELD VIC 3162	P686/2018	Use of the land for the purpose of shared housing	s77 (refusal)	GRZ2	Refusal	Council	Merits Hearing	09-Oct-2018
11 Caleb Street BENTLEIGH EAST VIC 3165	P704/2018	Construction of four (4) triple storey dwellings	s77 (refusal)	GRZ1	Refusal	DPF	Merits Hearing	11-Oct-2018
304-306 Koornang Road CARNEGIE VIC 3163	P888/2018	Construction of six (6) attached dwellings and a reduction of the car parking requirement	s77 (refusal)	NRZ1	Refusal	Manager	Merits Hearing	19-Oct-2018
13-15 Hamilton Street BENTLEIGH VIC 3204	P1044/2018	Construction of a four storey building comprising up to 27 dwellings on land affected by a Special Building Overlay and a reduction in the Standard Car Parking requirement	s80 (Conditions)	RGZ1	Planning Permit	Council	Merits Hearing	19-Oct-2018
5 Arthur Street CAULFIELD NORTH VIC 3161	P864/2018	Partial demolition and double storey extension of existing dwelling on land affected by a Heritage Overlay and on a lot less than 300 square metres	s77 (Refusal)	NRZ1	Refusal	DPF	Merits Hearing	23-Oct-2018
14 Edward Street ELSTERNWICK VIC 3185	P827/2018	Partial demolition, alterations and additions to a dwelling on a lot less than 300 square metres and in a Heritage Overlay	s82 (Objector)	NRZ1	NOD	DPF	Merits Hearing	23-Oct-2018
3 Ripon Grove ELSTERNWICK VIC 3185	P1017/2018	Alterations and additions to the existing dwelling on a lot less than 300 square metres	s82 (Objector)	GRZ1	NOD	DPF	Merits Hearing	16-Nov-2018

204-206 Balaclava Road CAULFIELD NORTH VIC 3161	P1110/2018	Construction of a five (5) storey meditation centre (place of assembly) above basement car park, and a reduction in the car parking requirement on land affected by the Special Building Overlay	s82 (Objector)	C1Z	Planning Permit	Council	Merits Hearing	29-Nov-2018
15 Dudley Street CAULFIELD EAST VIC 3145	P1370/2018	Develop and use land for the purpose of an 8 storey building comprising Group Accommodation (Student Housing) and a Convenience Shop and to reduce the Convenience Shop car parking requirement to zero	s77 (Refusal)	NRZ1	Refusal	Manager	Merits Hearing	29-Nov-2018
44 McLean Avenue BENTLEIGH VIC 3204	P1329/2018	Construction of two (2) double storey attached dwellings	s77 (Refusal)	NRZ1	Refusal	Manager	Merits Hearing	10-Dec-2018
21 Ames Avenue CARNEGIE VIC 3163	P1527/2018	Construction of 4 x three storey dwellings and 1 x double storey (total 5 dwellings)	s77 (Refusal)	GRZ2	Refusal	DPF	Merits Hearing	20-Dec-2018
18 Moira Avenue CARNEGIE VIC 3163	P1238/2018	Construction of two (2) double storey dwellings on land affected by the Special Building Overlay and the Heritage Overlay	s80 (Conditions)	NRZ1	Planning Permit	DPF	Merits Hearing	08-Jan-2019
1210-1212 Dandenong Road MURRUMBEENA VIC 3163	P1372/2018	Development and use of land for the purpose of a Child Care Centre, alteration of access to a road in a Road Zone, Category 1 and the display of a business identification sign	s80 (Conditions)	GRZ1	Planning Permit	DPF	Merits Hearing	14-Jan-2019
43-45 Kokaribb Road CARNEGIE VIC 3163	P775/2018	Construct a 3 storey building comprising 15 dwellings and a basement carpark	s79 (Failure)	GRZ2	No Decision	N/A	Merits Hearing	14-Jan-2019
2 Marriott Street CAULFIELD VIC 3162	P1338/2018	Construction of 2 double storey attached dwellings	s82 (Objector)	NRZ1	NOD	DPF	Merits Hearing	16-Jan-2019
245 Grange Road ORMOND VIC 3204	P1342/2018	The construction of seven dwellings and waiver of the visitor car parking requirement on land adjacent to a road in a Road Zone Category 1	s82 (Objector)	GRZ1	NOD	DPF	Merits Hearing	18-Jan-2019
277-279 Centre Road BENTLEIGH VIC 3204	P1609/2018	Construction of a seven storey building comprising ground floor retail and no more than 52 dwellings above basement car parking, use of the land for accommodation (dwellings) and reduction of associated car parking requirements – Amended application	s87 (Cancel or Amend)	C1Z	Not yet determined	N/A	Merits Hearing	21-Jan-2019
697 South Road BENTLEIGH EAST	P1548/2018	Construction of two double storey attached dwellings and alteration of access to a Road Zone Category 1.	s82 (Objector)	NRZ1	NOD	DPF	Merits Hearing	25-Jan-2019

RECENT DECISIONS OF THE VICTORIAN CIVIL AND ADMINISTRATIVE TRIBUNAL (4 SEPTEMBER 2018 to 26 SEPTEMBER 2018)									
Address	VCAT Reference	Description of Proposal	Type of Appeal	Zone	Council Decision	Council Delegate for Decision	Appeal Outcome	Date of VCAT Decision	VCAT Decision (effect on Council Decision)
711 Warrigal Road BENTLEIGH EAST VIC 3165	P262/2018	Construction of two double storey dwellings and the creation of access onto a road in a Road Zone Category 1	s77 (Refusal)	NRZ1	Refusal	Manager	No Hearing	10-Aug-2018	Set aside – by consent
15 Stockdale Avenue BENTLEIGH EAST VIC 3165	P1015/2018	Construction of two double storey attached dwellings	s87 (cancel)	NRZ1	Planning Permit	Manager	Merits Hearing	16-Aug-2018	Affirmed
94 Clarence Street CAULFIELD SOUTH VIC 3162	P3330/2018	Construction of two (2) storey building containing two dwellings and basement car parking	s80 (Conditions)	NRZ1	Planning Permit	DPF	Merits Hearing	24-Aug-2018	Varied
245 Grange Road ORMOND VIC 3204	P1396/2018	The construction of seven dwellings and waiver of the visitor car parking requirement on land adjacent to a road in a Road Zone Category 1	s87 (Cancel or Amend)	GRZ1	Planning Permit	DPF	Merits Hearing	24-Aug-2018	Affirmed
2 Marriott Street CAULFIELD VIC 3162	P1338/2018	Construction of 2 double storey attached dwellings	s82 (Objector)	NRZ1	NOD	DPF	No Hearing	24-Aug-2018	Withdrawn

9.5 CARNEGIE CAULFIELD CYCLING CLUB AT PACKER PARK

Author: Andrew Barden, Manager Recreation and Open Space

Trim No: 18/1192329

Attachments: Nil

PURPOSE AND SUMMARY

At the Ordinary Council Meeting on 24 July 2018, Council called for a report on:

1. The suitability of the Packer Park pavilion to meet the needs of the Carnegie Caulfield Cycling Club, including consultation with the club and Cycling Australia.
2. Risk assessment of the perimeter fencing around the velodrome for users, including riders and pedestrians.
3. Assessment of the suitability of the velodrome lighting.
4. Report on the allocation, conditions and charges to the Carnegie Caulfield Cycling Club for their use of the Packer Park Velodrome and Pavilion.
5. That this report is brought to an Ordinary Council meeting no later than 26th September 2018.

RECOMMENDATION

That Council notes the report.

BACKGROUND

Cycling within Australia is governed by the hierarchy shown below in figure 1. Cycling Australia and Cycling Victoria are the organisations responsible for the sport of road and track cycling.

Figure 1 – Victorian Sport Cycling Organisations



According to the recently adopted Cycling Victoria State Facilities Strategy 2016-2026, cycling is now one of the top three participation activities across all age groups in Victoria. Population forecasts indicate that there will be significant increases in cycling participants within Metropolitan regions from 2016 to 2026. The majority of this growth will be in the 0-14 year, 35-44 year and 65+ year age groups. It should be noted however, that current research on cycling participation does not distinguish between cyclists who ride for commuting, recreation or sporting purposes.

With regard to sport cycling facilities for road, track and cyclocross in Victoria, the following is worth noting:

- there is generally good distribution of road cycling routes which reflects the use of the road network by cyclists;

- there are no standards for outdoor velodromes and as such, each velodrome is unique in its construction and character;
- generally, access to velodromes is good however almost all do not have the required change facilities;
- there are only two state level velodromes located within Victoria, both indoor – Darebin International Sports Complex (DISC) and Hisense Arena (used occasionally for large events, cost prohibitive); and
- the Cycling Victoria State Facilities Strategy 2016-2026 did not identify the need for any of the facilities at Packer Park, or in relation to Carnegie Caulfield Cycling Club, as needing further improvements and/or additional facilities.

Glen Eira City Council provides facilities and supports both sporting club and recreational cyclists in the following way:

- on road, marked bike lanes, with designated green painted zones
- off road bike paths, through major reserves and creating linking routes (e.g. Rosstown rail trail)
- Council's Bicycle Strategy 2010, devised to address the needs of all types of cyclists by providing a range of safe, continuous and connected routes
- velodrome at Packer Park, 367 metres around the measurement line, including making allowance for the new cyclocross competition
- Packer Park Pavilion provides accessible facilities that consider the principles of Universal Design and include unisex facilities
- advocating for cycle paths as a result of the level rail crossing removal projects
- advocating for a cycling criterium track as part of the Caulfield Racecourse infield development
- Council's Integrated Transport Strategy aims to increase walking, cycling and public transport trips

Carnegie Cycling Club

Carnegie Caulfield Cycling Club comprises approximately 350 senior members and 50 junior members (data from February 2018) and is the only cycling club that is allocated facilities within Glen Eira. In 2015 the club advised they had won 8 out of the 14 Cycling Australia National Club Memberships held from 2001 – 2014, making it one of the most successful cycling clubs in Australia. In addition, club members have won medals at 3 of the last 4 Olympic Games and have been successful at World and National Championships since 1966.

Carnegie Caulfield Cycling Club conducts a junior development program which has supported the progression of riders to compete at national, Olympic and world championship levels. The program is aligned with the AIS National Talent ID Sprint Program which provides pathways into higher level track cycling, road racing or criterium racing. The junior program teaches girls and boys across a range of skill levels and ages, the basics of safe riding, bike handling and fitness. The program commences with riders as young as 8 years old, with a focus on participation and skills, and provides a pathway through to higher level groups and institute level training.

Carnegie Caulfield Cycling Club is one of the sporting club tenants at Packer Park. They currently hire the pavilion and velodrome for a minimum of 16 hours per week, sharing use of the pavilion with cricket in summer and football in winter. These facilities allow the club to establish a home base which is unique, as stated in the Cycling Victoria State Facilities Strategy 2016-2026, many other cycling clubs throughout Victoria do not have this available to them. Beyond the traditional pavilion hire allocations, Carnegie Caulfield Cycling Club has also been assigned free bookings of the meeting room at Packer Park Pavilion on a Monday

night from 7pm – 10pm. The purpose of this is to provide the club with better connection to the venue.

Packer Park Pavilion was redeveloped in 2001, at which time the Carnegie Caulfield Cycling Club was consulted regarding concept design, storage and other components to meet their operating needs. The pavilion features the following facilities:

- 4 change rooms, including unisex shower cubicles;
- unisex toilets;
- meeting room;
- community hall;
- kitchen/canteen;
- storage rooms;
- first aid room;
- car parking; and
- public toilets.

Packer Park Pavilion is considered fit for purpose and is not listed as a high priority within Council's Pavilion Redevelopment Strategy 2017.

The Packer Park Velodrome is 1 of only 2 in southeast Melbourne, and 1 of 7 in metropolitan Melbourne. It has been home to the Carnegie Caulfield Cycling Club since it was built in 1952, and is utilised by club members, as well as the broader recreational users and elite cyclists within the Glen Eira community.

Whilst cyclists can often reach speeds in excess of 70 km/h, previous external independent audits undertaken of the Packer Park velodrome have identified that it is suitable for local events and competitions, but not to host either elite racing competition or high speed training. This use is consistent with the purpose of the build, as a recreation facility for the diverse Glen Eira cycling community. A full resurfacing of the velodrome in 2015 addressed issues previously identified in the surface (e.g. uneven surface, cracking).

Carnegie Caulfield Cycling Club has an allocation for the Packer Park velodrome for 16 hours per week for training and in addition to this, hosts numerous events throughout the year. This includes club training, intra club competition and the most recent trend in cycling, cyclocross, an event that encompasses riders traversing both the track and the grassed internal area. There is significant opportunity for spectator viewing at the velodrome, which is essential for events such as this, and the club has already hosted three cyclocross events this year. Further to their use of Packer Park, Carnegie Caulfield Cycling Club hosts their Sunday morning criterium series at Mulgrave on an industrial estate which attracts 200-300 riders each week.

ISSUES AND DISCUSSION

1. The suitability of Packer Park Pavilion for Carnegie Caulfield Cycling Club

Cycling Victoria State Facilities Strategy 2016-2026 states the requirements for Velodrome sites, used for local and municipal purposes, should follow Universal Design guidelines and incorporate toilets, storage, first aid, kiosk and car parking. Change rooms (including showers) are required at a municipal level, but not at a local level. Packer Park Pavilion provides each of these required facilities for use by the club.

Council officers are in constant contact with the club liaison and have recently met with the broader club committee to discuss a number of potential pavilion projects such as:

- expanding usage of the shared kiosk with the football and cricket clubs;

- opportunities to improve the Pavilion connection to the velodrome; and
- feasibility of utilising a western section of the building for clubrooms/kiosk.

At this point in time, the Packer Park Pavilion is considered fit for purpose and is not listed as a high priority for upgrade or works in Council's Pavilion Redevelopment Strategy 2017. This priority listing will be reviewed on an annual basis at which time Council officers would consider opportunities with the club to modify the pavilion to cater even better for the club's needs. Any proposed projects would be considered in alignment with the Pavilion Redevelopment Strategy and would be subject to Council budget processes.

At this point in time, any projects to further upgrade the existing pavilion have not been considered as a high level priority, with the current focus towards female friendly pavilions or those lacking in functionality.

2. Risk assessment of the velodrome perimeter fencing

The current velodrome perimeter fence was designed in collaboration with the Carnegie Caulfield Cycling Club. A number of other outdoor velodromes in Victoria use a similar pipe and rail fencing with chain mesh infill.

Upon a request from the club, a risk mitigation audit was undertaken by a representative of Cycling Victoria on 24 May 2015 to rate the use of Packer Park Velodrome for competition use. The risk mitigation audit focused on the inherent risks to cyclists that the venue presented in its current state. Items identified as requiring attention were viewed with the mindset of identifying risks for rider safety to either avoid an incident from occurring or, if an incident does occur, minimising the severity of injury.

The risk audit noted that there are no international build standards for outdoor velodromes - such as the suitability of surface type, fencing design, construction method, lighting, etc. In relation to the fencing, the risk mitigation audit identified some minor maintenance issues (e.g. protruding posts, fence heights, etc.) These issues were addressed and resolved following the audit.

The Cycling Victoria State Facilities Strategy 2016-2026 states; *'the inclusion of fencing is to be determined on a case by case basis, however as a basic principle, reserve fencing is required to ensure/enhance participant and spectator safety'*. When the existing fence is identified as due for renewal, consultation will be held with the club to determine a suitable upgrade and/or replacement. Until such time, officers will continue to discuss with the club any further concerns they have regarding velodrome fencing and other infrastructure at Packer Park.

3. Suitability of the velodrome lighting

The Australian Standard for Sports Lighting (AS2560) does not identify lighting standards for sport cycling facilities. This was also reflected by the Cycling Victoria State Facilities Strategy 2016-2026 that further highlights there are no specific requirements for velodrome lighting and *'any lighting supplied to a site is to be determined based upon program and training requirements'*.

In consultation with Carnegie Caulfield Cycling Club, the lighting at Packer Park Velodrome was installed in 2013 at 150 lux to allow for night time training. In conjunction with the recently adopted sports ground lighting policy, officers will undertake lux lighting level testing in early 2019 to ensure lux readings are still at this level and undertake any required maintenance and globe replacements.

4. Cost to Carnegie Caulfield Cycling Club for use of Packer Park pavilion and velodrome

The overall costs for the club to hire the facilities at Packer Park, namely the pavilion and velodrome, is informed by Council's sporting club seasonal fees and aligned with Council's Sporting Clubs Conditions of Use Sportsground and Pavilions. The fees paid by Carnegie Caulfield Cycling Club have previously been raised by the club with officers, who have provided a breakdown of costs to the club.

The overall facility costs applied to the club are reflective of annual versus seasonal hire fees as Carnegie Caulfield Cycling Club hire Packer Park pavilion for a full 12 months.

The current sporting club seasonal fees are based upon historical figures that increase with CPI each year. As a result, officers propose to review these seasonal fees for all sports grounds and building hire in preparation for the 2019/20 Council budget. Any discrepancies across all facilities within Glen Eira will be addressed at this time.

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

Any future infrastructure upgrades at Packer Park will be undertaken with respect to maintenance requirements and capital budget, and aligned with relevant strategies, such as the Pavilion Redevelopment Strategy.

Where possible, Council officers may seek external funding to assist with the delivery of any infrastructure projects at Packer Park. However, timing of such funding will be based upon funding programs and considering priorities across Glen Eira.

Council officers propose to review seasonal fees for all sports grounds and building hire in preparation for the 2019/20 Council budget.

POLICY AND LEGISLATIVE IMPLICATIONS

No policy and legislative implications.

COMMUNICATION AND ENGAGEMENT

Council officers will undertake any future upgrades to facilities at Packer Park in consultation with Carnegie Caulfield Cycling Club, tenant sporting clubs and other relevant stakeholders.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme Three: Safe, Healthy and Inclusive

A strong and safe community that connects people and enhances health and wellbeing.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The Packer Park Pavilion provides extensive facilities for the club and includes the requirements as detailed within the Cycling Victoria State Facilities Strategy 2016-2026. A risk assessment of the velodrome perimeter fencing was undertaken in 2015 and subsequent issues addressed to ensure safety for all users, including riders and pedestrians.

The velodrome lighting was installed in consultation with the club and as per the lighting design report prepared in the absence of any relevant standards. Lighting levels will be tested by Council officers and continue to be maintained in conjunction with the sports ground lighting policy and relevant maintenance schedules.

The allocation, conditions and charges for Carnegie Caulfield Cycling Club for their use of the Packer Park Velodrome and Pavilion is communicated within the Sporting Clubs: Conditions of Use Sportsground and Pavilions and is reflective of Council's sporting club seasonal fees.

Current facilities utilised by Carnegie Caulfield Cycling Club at Packer Park were developed in conjunction with the club committee at the time of construction. Any future programmed renewal works will be undertaken in consultation with the club and any relevant standards, Council strategies and budget processes.

9.6 BIRD FEEDING

Author: Sarah O'Brien, Team Leader Environmental Health

Trim No: 18/1203177

Attachments: Nil

PURPOSE AND SUMMARY

At the Council meeting on 24 July 2018 Council resolved:

"That Council receives a report as follows:

- 1. Examines how Local Laws in other municipalities have dealt with the public health risks of feeding wildlife;*
- 2. Makes recommendations regarding the potential of implementing similar clauses into the upcoming review of Glen Eira City Council's Local Law;*
- 3. Considers the current limitations within the Public Health and Wellbeing Act and suggests an advocacy response which may simplify the current evidential requirements in the current legislation."*

RECOMMENDATION

That Council considers as part of the Local Law Review a new Local Law that addresses the issues of bird feeding.

BACKGROUND

When deliberate feeding occurs, wild birds can become a pest. Birds will settle in large numbers close to areas where regular feeding occurs and, once settled, are extremely difficult to relocate.

Large numbers of birds can become a public nuisance causing damage to property, buildings, vehicles and public places caused by excess droppings.

ISSUES AND DISCUSSION**Public Health**

Currently the Public Health Unit investigates bird feeding complaints under the nuisance provisions of the *Public Health & Wellbeing Act 2008*.

Since the *Health Act 1958* was replaced with the *Public Health and Wellbeing Act 2008* it has become increasingly difficult to prove the existence of a public health nuisance relating to deliberate bird feeding. This is a result of the word 'annoying' being removed from the definition of 'offensive' in the Act. The removal of the word 'annoying' means that a nuisance must now be more than merely 'annoying'. Something that is annoying can be associated with a person's amenity rather than harmful to their health.

Under the nuisance provisions of the *Public Health and Wellbeing Act 2008*, a person must provide evidence demonstrating how the nuisance is affecting their health.

The collection of this evidence can be a lengthy and complex task.

The investigation process requires the complainant to complete a bird feeding log. This log assists Council in determining the frequency of the bird feeding and how the bird feeding is

directly impacting on the complainant's health. The investigation process may also involve a Council officer conducting a site visit to the complainant's property to observe the issue.

If a person is found to be causing a nuisance pursuant to the provisions of the *Act*, Council may issue the offender with a notice to improve or prohibit the activity. Following this, if the offender fails to comply with the notice Council's next option is to summon the person before a Magistrates Court.

The aim of the *Public Health and Wellbeing Act 2008* is to promote health and wellbeing, prevent disease and protect the health of Victoria's population. Issues that are annoying and affect a person's amenity such as deliberate bird feeding are difficult to address through the Public Health and Wellbeing Act as the *Act* is no longer designed for such purpose.

Local Laws

Under the provisions of the *Local Government Act 1989*, Council has the authority to create and enforce Local Laws. The *Glen Eira City Council Local Law 2009* assists Council to meet our responsibilities in maintaining a safe, pleasing, peaceful and healthy environment for the whole community.

The *Law* prohibits, regulates and controls certain activities, practices and behavior's to ensure that neighborhood amenity is maintained, residents are not unreasonably impacted on and a person's property is not detrimentally affected. Local Law's also enable Council officer's to issue offenders with penalty infringement notices. This type of enforcement action allows Council to respond to community issues effectively without the requirement for a lengthy period of evidence collection.

A preliminary investigation within the South Eastern Local Government region has identified four municipalities that have developed Local Laws prohibiting the feeding of birds. These Local Laws all vary in regards to the terminology used and make reference to feeding of birds on both public and private land.

Bayside City Council has implemented two Local Laws regarding bird feeding on both public and private land. Feeding of birds on public land is prohibited and Council Officers may direct a person on Council land not to '(a) feed or continue to feed; or (b) allow or cause to be fed any bird on that Council Land'. In addition feeding of birds on private land is also prohibited and the Local Law states 'an occupier of land must not: 1. Feed or continue to feed; or 2. Allow or cause to be fed any bird on land if (a) that bird is not ordinarily kept on the land; and (b) the circumstances in which the bird is fed are likely to or do interfere with the material comfort of any other person or the enjoyment by any other person of his or her land'.

In the previous financial year Council received thirty seven complaints relating to bird feeding. This indicates that bird feeding is a problem for the community of Glen Eira and an effective response to this issue is required. It is recommended that the most appropriate approach in dealing with this issue is to consider implementing a Local Law that specifically focuses on the prohibition of bird feeding.

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

Not applicable

POLICY AND LEGISLATIVE IMPLICATIONS

- *Public Health and Wellbeing Act 2008*
- *Local Government Act 1989*
- *Glen Eira City Council Local Law 2009*

COMMUNICATION AND ENGAGEMENT

Not applicable

LINK TO COUNCIL AND COMMUNITY PLAN

Theme Three: Safe, Healthy and Inclusive

A strong and safe community that connects people and enhances health and wellbeing.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Given the complexity of the nuisance provisions of the *Public Health and Wellbeing Act* and the lengthy evidence collection there is an opportunity to simplify the process of dealing with the issue of bird feeding in Glen Eira by the introduction of a Local Law. This would enable Council to efficiently respond and resolve these matters with effective enforcement action.

9.7 COMMUNITY FEEDBACK ON THE IMPLEMENTATION OF A CLASSIFIED TREE REGISTER

Author: Katy Walsh, Senior Strategic Planner

Trim No: 18/1105105

Attachments: 1. *Classified Tree Register Consultation Overview: Nov/Dec 2017*
2. *Community Voice Consultation Summary on Tree Protection: May/June 2018*

PURPOSE AND SUMMARY

The purpose of this report is to summarise the community consultation undertaken on the implementation of a Classified Tree Register and to propose a way forward for tree protection in Glen Eira.

RECOMMENDATION

That Council:

1. notes that community consultation indicates support for tree protection on both public and private land.
2. commits to developing controls to protect trees on private land.
3. notes that officers have formed a set of objectives in response to community feedback to protect trees.
4. requests officers to present a report with options for controls that best protect trees in line with the set of objectives.

BACKGROUND

Glen Eira has many large canopy trees that are valued by the local community and seen as contributory to the character of Glen Eira. These sentiments are often expressed when a neighbour removes a tree, or expressed by neighbours through the planning permit application process to develop a site.

An identified action in the *Glen Eira Council and Community Plan 2017-2021* is to consult the community on the implementation of a Classified Tree Register. A Classified Tree Register is a list of trees within the municipality that are considered significant and warrant protection. These trees may be on public or private land.

Council has completed two rounds of community consultation on this topic. The first was municipal-wide consultation held in November and December 2017, where 130 submissions were made. The second round of consultation was conducted through the Glen Eira Community Voice (a group of 400-600 residents reflecting the diverse community of Glen Eira who provide their views on a range of topics to help inform Council decisions). The second round of consultation occurred in June 2018, with 258 submissions made.

ISSUES AND DISCUSSIONFirst Round of Consultation (late 2017)

Attachment 1: Classified Tree Register Consultation Overview contains a full summary of the first consultation.

Council sought community feedback in November and December 2017 on a number of questions to determine whether a Classified Tree Register should be implemented and, if so, what type of trees should be included on the register.

Council received 92 survey responses, seven online forum submissions, five emailed submissions and 26 Facebook submissions:

- 92% of respondents stated Council should protect Council-owned trees as well as private trees, indicating overwhelming support for protection of significant trees in Glen Eira, particularly on public land.
- 93% of respondents stated Council should protect significant trees through a tree register. Respondents see the purpose of a significant tree register as a transparent method of protecting and monitoring significant trees to ensure their benefits are realised. No alternatives to a register were suggested.
- 89% stated they would not object to a tree on their property being included on the register.
- 90% would not object to a neighbour's tree being included on the register.
- Respondents suggested trees with many different aspects be protected, in particular those with environmental, community or heritage value. The size, age and condition of a tree were also suggested as factors for consideration.

Second Round of Consultation (Mid 2018)

Attachment 2: Community Voice Consultation Summary on Tree Protection contains a full summary of the second consultation. A total of 258 Community Voice members submitted a response.

The survey asked about whether or not tree protection controls should be implemented, and where (on public or private land or both). It asked for views on what attributes would make a tree (on public and private land) worthy of protection, and for ideas on how an appeals process might be conducted should there be disagreement on a decision by Council.

Overall, the majority of respondents were in favour of tree protection on both public and private land:

- 97% were in favour of tree protection on public land.
- 65% were in favour of protection on both private and public land.
- 31% were in favour of tree protection on public land only.

The survey proposed 18 tree attributes (e.g. health, aesthetic value, age, trunk circumference, uniqueness). Responses indicated all listed attributes could make a tree worthy of protection on private and public land. Rare and localised species attracted the largest number of 'high' ratings.

Respondents suggested a range of considerations for an appeals process, including characteristics of individual trees (environmental contribution and benefit and safety issues), location (public/private land), who should make an appeals decision (a panel, an independent arbitrator, the elected Council) and how, and involvement of the local community.

Almost all comments supported the development of an appeals process of some kind, but with limitations. Some survey comments proposed intensive appeals procedures, such as putting decisions on tree removal to residents' votes, conducting surveys, consulting on appeals, requiring formal Council submissions, providing general or targeted notification to

residents, and VCAT review. Other survey comments suggested any new process introduced must be efficient, and that there should be limits to who may appeal and how frequently. Some responses indicated an appeals process was not necessary for trees on private property.

The majority (69%) of respondents were in favour of protecting a tree if its location is possibly preventing the reasonable re-development of a site, with some qualifying their responses to say this would depend on the situation.

Separately, on 15 August 2018, Council received correspondence with 20 signatures, supporting a Significant Tree Register.

Discussion /Analysis

Consultation results clearly signal overwhelming community support for the protection of trees on public land, with a majority also supporting protection of trees on private land.

Protecting trees on public, particularly Council-owned, land is fairly straightforward and controls are currently in place; for example the Street Tree Removal Policy. Protecting trees on private land is more complex, as new controls need to be introduced and there are varying ways to do this with varying levels of control.

Both rounds of consultation pointed to a variety of attributes that make a tree worthy of protection. These can be summarised as follows:

- Mature
- Indigenous
- Healthy
- Large in size
- Good example of certain species, in particular unusual or endangered trees
- Providing some community benefit (social, cultural, historical)
- Providing habitat or other environmental benefit

While the first round of consultation indicated strong support for protecting significant trees through a tree register, there may be other ways to protect significant trees.

The second round of consultation signals strong support for some type of limited appeals process. However, careful reading of Community Voice survey questions and responses indicates the community feel strongly about having an opportunity to speak publicly about the removal of significant trees, particularly those on public land. This may be able to be achieved through an alternative to an appeals process.

The second round of consultation also shows strong support for protecting a tree if its location is possibly preventing the development of a site. This could range from a small extension of a single residence to a large-scale redevelopment. The relationship between tree protection and land development is complex and site specific. This area warrants further consideration.

Objectives

In response to the extensive community feedback to protect significant trees, officers have developed the following objectives to guide the development of tree protection controls.

Exploration of new tree controls will:

1. Seek to strongly protect significant native trees on both public and private land as a matter of priority
2. Seek to provide a review mechanism for removal of large trees on private land which takes into consideration both value of tree and reason of removal
3. Undertake an *Urban Forest Strategy* to inform continued protection of public trees as well as planting of future trees

4. Explore the possibility of a mechanism for the community to voice opinions about proposed tree removal, including who, when and why feedback can occur, noting certain controls may have limitations regarding community input
5. Define the value of tree attributes to assist decision making on tree removal assessment
6. Define the relationship between tree protection and land development
7. Clearly communicate the process to the public

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

There are no financial or resource implications at this point. However, if Council introduces tree protection controls there will be costs to cover certain aspects, for example, an arborist or a municipal-wide review of all trees. Some costs may be offset by assessment fees.

POLICY AND LEGISLATIVE IMPLICATIONS

There are no policy or legislative implications at this point. However, depending on the tree protection controls that Council chooses to implement, there may be some in future. For instance, the creation of a new Local Law would undergo a process under the *Local Government Act 1989*. Any change to the planning scheme would require an amendment under the *Planning and Environment Act 1987*.

COMMUNICATION AND ENGAGEMENT

Extensive communication and consultation will be required for introducing tree protection. A detailed consultation plan will be developed once a decision is made about specific tree protection controls.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme Four: Clean and Sustainable

An attractive and sustainable environment for future generations.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The commitment to consult the community on a Classified Tree Register is now complete and indicates strong support for protection of significant trees. Officers have formed a set of objectives in response to community feedback that would shape any future controls. The next step is to pursue options for tree protection controls in Glen Eira that meet the objectives.

GLEN EIRA CITY COUNCIL
CLASSIFIED TREE REGISTER

CONSULTATION OVERVIEW – NOVEMBER TO DECEMBER 2017

BENTLEIGH
BENTLEIGH EAST
BRIGHTON EAST
CARNEGIE
CAULFIELD
ELSTERNWICK
GARDENVALE
GLEN HUNTLY
MCKINNON
MURRUMBEENA
ORMOND
ST KILDA EAST

Classified Tree Register Consultation Overview

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INTRODUCTION

The Glen Eira area has many trees that are considered significant to the local community for their historic and heritage value.

A Classified Tree Register is a list of trees within the municipality that are considered significant and warrant protection. These trees may be on public or privately-owned land.

The purpose of the Register is to identify and recognise the importance of significant trees in the Glen Eira area and guide their management and ensure their protection for future generations.

Council sought community feedback on a number of questions to determine whether a Classified Tree Register should be implemented and, if so, what type of trees should be included on the register.

Feedback was sought through an online survey and forum and feedback was also collected via email and Facebook submissions.

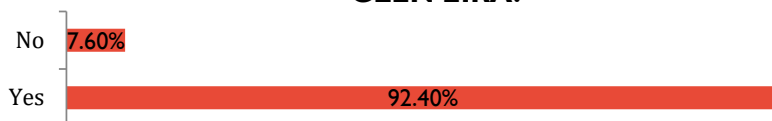
This is a dedicated action of Council's recent *Council and Community Plan 2017-2021*.

FEEDBACK RECEIVED

92 SURVEYS
7 ONLINE FORUM SUBMISSIONS
5 EMAIL SUBMISSIONS
26 FACEBOOK SUBMISSIONS

SUMMARY OF SURVEY RESPONSES

I. SHOULD COUNCIL PROTECT SIGNIFICANT TREES IN GLEN EIRA?



2. WHAT DO YOU CONSIDER TO BE A SIGNIFICANT TREE?

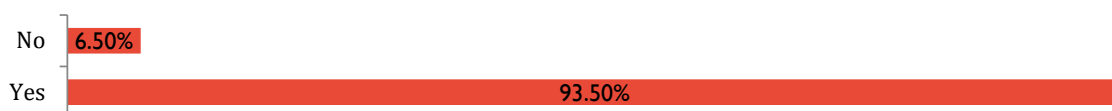
Key themes:

- Mature or established trees with suggested ages ranging from 10 to 100 years plus.
- Trees which are indigenous to the area, rare, unusual or good examples of certain species. Specific species such as River Red Gum, Gum and Oak were all suggested.
- Trees which demonstrate community value such as providing character, amenity, shade, being a landmark etc.
- Large trees measured by height or circumference. Some were not fussed if the tree was native or introduced. Others specified that the tree must be healthy.
- Historic and culturally significant trees such as those which are on a historic property or were planted to commemorate an event or person.
- Trees that provide significant habitat for wildlife and environmental benefits.

Other points:

- Certain locations were suggested where trees should be retained such as nature strips, Council parks, streetscapes and railway land.
- Some felt that we should consider policies and guidelines from other Council's or organisations such as the National Trust or consult with experts in order to establish parameters, rather than reinventing the wheel.
- A small number felt that no tree should be considered significant and that all trees were replaceable while others thought that all trees brought value.

3. SHOULD COUNCIL PROTECT SIGNIFICANT TREES THROUGH A TREE REGISTER?



4. IF NOT, WHAT OTHER CONTROLS SHOULD BE USED

Little feedback was received for this question – no themes were identified.

5. WHAT DO YOU BELIEVE THE PURPOSE OF A SIGNIFICANT TREE REGISTER SHOULD BE?

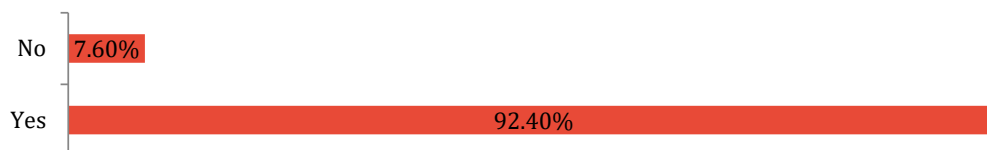
Key themes:

- Identify and protect significant trees from inappropriate removal, destruction or mistreatment. The majority of responses were around this theme.
- Provide awareness and publically recognise the importance and community value of trees.
- Ensure trees are considered in planning applications with a local law which requires a permit for removal and significant financial penalties for unlawful removal.
- Monitor and track trees to establish a baseline and allow for succession planning for the future. This could include requirements for tree replacement where removal is approved, record trees presence, age and health and encourage sustainability of species.
- Maintain environmental benefits (clean air, water runoff, protect biodiversity) and retain habitat for local wildlife.

Other points:

- Maintain amenity and local character of the area and contribute to the landscape.
- Provide clear guidance to land owners and developers to prevent accidental or deliberate removal.
- Provide education about how to manage and protect significant trees.
- Retain history and heritage of the area.
- Monitor the health of Council trees and identify trees that need to be watched over/protected.
- Maintain and not restrict property owner's rights.
- Stop inappropriate removal of trees due to development.

6. SHOULD COUNCIL PROTECT COUNCIL-OWNED TREES AS WELL AS PRIVATE?



7. WHAT TYPE OF TREES SHOULD BE PROTECTED?

Key themes:

- Indigenous/native/remnant trees and vegetation. Around half of survey respondents identified this theme.
- Mature or established trees.
- Healthy trees of a large or significant size.
- Non-indigenous (exotic and introduced) trees that meet the criteria.
- Trees which provide benefit to the community (social, economic, environmental, shade/shelter, amenity, streetscape), particularly in higher density areas. Some felt that the criteria should be based on contribution and value that a tree provides to the community rather than the type of tree.
- Trees which provide habitat.

- Rare, endangered or unusual species.
- Trees with historic or cultural significance.

Other points:

- Some identified types of trees which should not be protected including Lophostemon confertus, Pittosporum and evergreen trees that block access to windows facing north. There was also some commentary suggesting that it should only be Council owned trees which are considered.
- Some felt that any tree could be considered significant or that all trees should be protected.

8. HOW SHOULD A TREE BE ASSESSED AS BEING WORTHY OF PROTECTION?

Key themes:

- Trees should be inspected/assessed by qualified arborist, environmental scientists, cultural historian or other expert to ascertain health, safety and cultural importance. This could be the role of a committee of experts, Council and community members.
- Through community consultation and nominations/input from residents.
- Against a set of criteria which includes a combination of:
 - Age/how established the tree is.
 - Aesthetics and contribution to neighbourhood character.
 - Size – which may vary by species.
 - Cultural/historic importance.
 - Species/rarity.
 - Health of the tree.
 - Purpose for which it was planted.
 - Provision of habitat.
 - Canopy cover/shade it provides.
 - Environmental contribution it provides.
 - Location and consistency with the urban landscape.

Other points:

- Look at policies of other councils and the National Trust.
- Criteria should be judged by the owner of the property.
- Interim protection of trees is required.
- Council should protect all trees.

9. WHAT DOES IT MEAN HAVING A TREE ON THE SIGNIFICANT TREE REGISTER?

Key themes:

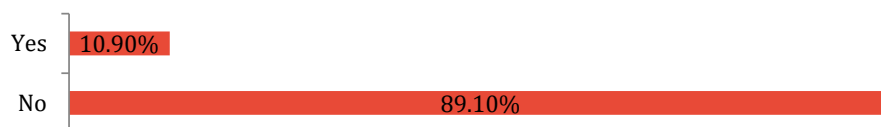
- Trees are protected from being cut down or damaged and cannot be cut down without authority, particularly to make way for development.
- Significant penalties will be given for unlawful removal of trees.
- Permissions/permit required for removal and consideration will be given during the planning process.

- Identified trees need to be monitored and cared for by Council and residents.
- Our environment and biodiversity will be protected.
- The importance and value of the tree is recognized by the local community.

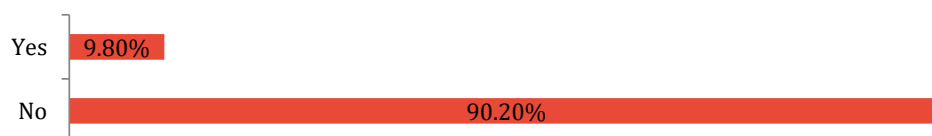
Other points:

- It will create a community memory of the tree.
- It will provide certainty for residents that trees will be retained and Glen Eira will stay green.
- There will be a set of agreed rules.
- Council will actively maintain trees on public land with health of trees monitored.
- Good examples of a range of species will be retained for the community to see and enjoy.

10. WOULD YOU OBJECT TO A TREE ON YOUR PROPERTY BEING INCLUDED ON THE REGISTER?



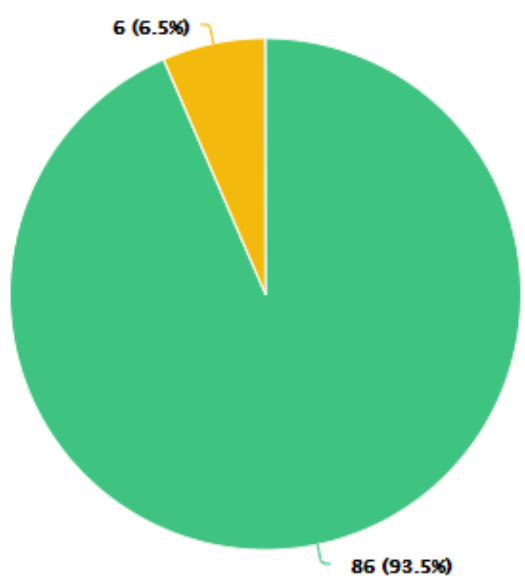
11. WOULD YOU OBJECT TO YOUR NEIGHBOURS TREE BEING INCLUDED ON THE REGISTER?



SURVEY RESPONSES

QUESTION 1

SHOULD COUNCIL PROTECT SIGNIFICANT TREES IN GLEN EIRA?



Question options
(Click items to hide)

- Yes
- No

QUESTION 2

WHAT DO YOU CONSIDER TO BE A SIGNIFICANT TREE?

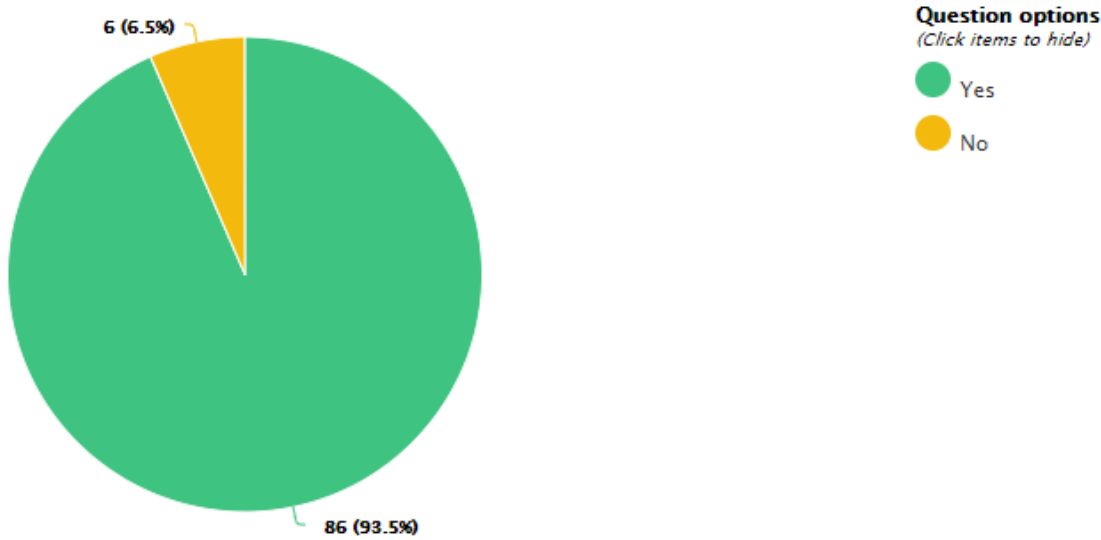
SURVEY 1	I don't think such a thing exists. Every tree is replaceable.
SURVEY 2	Large Trees over 25 years old
SURVEY 3	Any tree which is of a rare species, or is of significance in the landscape, or has historical or cultural significance, or is a significant habitat for wildlife.
SURVEY 4	1/ Any or all remnant indigenous trees, that is tree native or belonging to this region 2/ A tree with cultural or has demonstrated community value 3/ Trees of a significant size that contribute to neighbourhood amenity and character 4/ Rare or rarely cultivated trees 5/ Sizable trees in areas that are transitioning into higher density living precinct
SURVEY 5	Possible criteria: age, species, dimensions, location and historical value to GE.
SURVEY 6	Large trees in either public or private places that make a significant contribution to the environment - by providing shade or general ambience to the local area. It could be a tree that attracts birds or is a landmark in the area - one that people use to define a location/to navigate by. It could be a tree of historical or cultural relevance in the local or wider community. It could be part of a greater cluster or avenue of trees. It could be a rare or endangered species
SURVEY 7	Remnant river red gums such as this in and near Boyd park, Murrumbena, in the Hughesdale station car park and in Carnegie near the station. With so many lost thru crossing works their protection should be the highest priority. Other indigenous trees, native trees that are of an age - perhaps 50 years old and more (such as the street trees in Omama rd Murrumbena) are also significant. Old and large European trees are also significant.
SURVEY 8	Remnant river red gums such as this in and near Boyd park, Murrumbena, in the Hughesdale station car park and in Carnegie near the station. With so many lost thru crossing works their protection should be the highest priority. Other indigenous trees, native trees that are of an age - perhaps 50 years old and more (such as the street trees in Omama rd Murrumbena) are also significant. Old and large European trees are also significant.
SURVEY 9	Mature trees of substantial height and girth, particularly along nature strips and in parks. All council planted trees along nature strips - small and large. A tree which casts shade and shelters wildlife - particularly bird life.
SURVEY 10	There are several criteria: - It may have rarity value with few others of the same species in Melbourne - It may be over a certain age - say 20 years, and so important to be registered for its significant contribution to the green canopy of the city - It may be a tree of great stature such as a tree of 15 meters or more in height. - It may be a tree that is widely recognised for its contribution to the neighbourhood All of these are criteria on which to adjudge a tree to be significant
SURVEY 11	Tree more than 10 years old. Trees that provide bird habitat.
SURVEY 12	A fully mature tree that has been planted when some areas of Glen Eira were originally sub divided.
SURVEY 13	An established tree,
SURVEY 14	Remnant trees and vegetation, large and old trees which provide significant habitat, shade and shelter, rare trees plus trees which are indigenous to this area
SURVEY 15	Trees on Mckinnon road between Thomas st and wheeley Road In Mckinnon vic 3204
SURVEY 16	Any tree over 4 meters or historic value. Habitat to local wild life
SURVEY 17	Age Connection with built and natural environment. Preferably consistent with the other ones And preference for Australian
SURVEY 18	Tree of significant age, size and/or species - only one of these three criteria would need to be met. Reference to standards set by other councils would help establishing specifics for these 3 criteria.
SURVEY 19	-The provision of a large canopy cover. - Rarity of tree, native indigenous or introduced it doesn't matter. -Age of tree.
SURVEY 20	- historic value - over a certain number of years (eg 40) - location value - shading, beautification - neighbourhood character - helping to identify an area eg an Avenue or group of trees
SURVEY 21	Indigenous to the immediate area, of historic significance.
SURVEY 22	Either a large and old native tree or any large tree that significantly impacts on the amenity and character of an area. contributes to the character of the area. people value it.
SURVEY 23	Any tree of substantial size and or age, or one that provides special habitat, or is rare and/or endangered. We are losing canopy at a great rate, so any tree that provides canopy should be protected.
SURVEY 24	A Mature tree. It does not matter whether it is native or an introduced species ie plain tree. Both are worthy of being considered significant trees
SURVEY 25	Healthy, adult trees of significant size and age
SURVEY 26	An indigenous tree to the area. A large tree of a specified circumference, either native or non native. A tree of indigenous significance. A tree of heritage significance, ie: on a heritage property, or planted to commemorate a ceremony
SURVEY 27	Any tree to be honest, but perhaps any over a certain height, age and type (e.g. indigenous)

SURVEY 28	Trees of a certain size - I'd look to other Councils to see what their policies state (usually DBH is the basic measurement). Trees over a certain age - Again, I'd look to other Councils to see what they do. There is no need to reinvent the wheel.
SURVEY 29	Trees that are: of a given size, a given height, a given age, of a certain level of rarity of importance to the precinct where they re growing
SURVEY 30	Anything older than 40 years old or significant shade species located in parks, steets or private properties that create a canopy and home for bird life or food for native animals, Provided trees are healthy!
SURVEY 31	Age: health value to surrounding area and environment rarity. We have a 50 year plus Tulip Tree I have wondered about and a Tree Gardenia. The thought of developers bulldozing everything!!!!
SURVEY 32	Trees over 40 years old
SURVEY 33	Large/old/mature or hollow bearing/habitat trees that are located on council/municipal land
SURVEY 34	One that is at least 50 years old, size may vary depending on species.
SURVEY 35	Gum trees
SURVEY 36	Any tree more than 60 years old
SURVEY 37	A very old tree eg the river gums and/or tree planted for a specific official event or memorial or person on both public and private land eg Caulfield Park tree planted from seed of the Lone Pine. I would also be guided by the National Trust and Heritage Victoria guidelines/rules and Tree Registers established by other Councils such as the City of Melbourne, Bayside City Council, Kingston City Council, Yarra City Council - to name just a few.
SURVEY 38	A tree that has borne witness to an evolving environment around it over many years.k
SURVEY 39	Attractive Indigenous trees to our country
SURVEY 40	Trees which have a horticultural, aesthetic, historical, environmental, social or cultural value on public or private land.
SURVEY 41	A tree that offers historical or aesthetic value to the local environment
SURVEY 42	all trees potentially but especially indigenous and food baring trees plus anything providing bee fodder unless there is good reason such a medical issue such as allergy [council has a bad habit of planting totally inappropriate street trees]
SURVEY 43	A tree of age, size or rarity. Also natives
SURVEY 44	A tree that has been part of our community for a length of time providing beauty and a refuge for birds and other creatures including us. Should not be allowed to be destroyed by developers or others only to gain profits.
SURVEY 45	Beautiful gum trees and Oak especially. Hard to pick really, I would go for many as possible.
SURVEY 46	Age ,size ,history, location
SURVEY 47	A Large healthy tree or an unusual species.
SURVEY 48	Very old native trees that have survived urbanisation. Historic trees - having close links with significant community actions Trees unique to the area - with a story
SURVEY 49	Indigenous tree over 100yrs old. Large tree height. Large canopy spread. Tree planted for historical significance, part of a commemorative plantings. Important landmark. A tree that is better than average example of its species, or a tree in its location. A rare tree.
SURVEY 50	Large native trees trees indigenous to the area trees that support native wildlife in the area
SURVEY 51	Old, or huge, or native, or one that supports native bird life
SURVEY 52	Indigenous to Glen Eira. and older than 40 years , or there are few of the species existing in Glen Eira or in adjacent municipalities.
SURVEY 53	Any tree with a circumference measuring one metre or more when measured at one metre above ground level. Certain species should be protected e.g. Eucalyptus Camaldulensis, etc etc. Qualified council staff or suitable consultant's could compile such a list.
SURVEY 54	A tree that is unique in age size, aesthetics or function. For example, there is a tree in Halley Perk Benthleigh close to the Jasper Road, with low bi-furcated branches. Twenty children can climb and play on it at once.
SURVEY 56	I don't believe that there is a scientific definition of what is a significant tree, I would hate to think that a political definition is accepted
SURVEY 57	All trees are significant as they produce oxygen and store carbon. Although in societal terms probably species and age
SURVEY 58	An old large tree A tree with provenance...eg a bunya pine planted in the late nineteenth century Significant park trees Large specimen trees on private property Iconic large trees that provide shade and beauty Younger trees that have been planted with design in mind e.g. part of an avenue Tree species that are no longer planted
SURVEY 59	Any mature tree. They have taken years to grow.
SURVEY 60	Historic significance, cultural significance, biodiverse habitat - eg tree hollows, shade provision to limit heat island effect
SURVEY 61	A huge beautiful shady tree on the nature strip across the road was cut down by builders to put up yet another ugly twin towers whose residents car block all of our streets. We also have a huge palm tree in our backyard that would be bulldozed when developers get hold of this land.
SURVEY 62	could be any type of tree. then it could be by size , rarity or placement or in the history of glen eira

SURVEY 63	age origin of species rareness of said species placement in urban environment
SURVEY 64	A tree predating white settlement of Australia, a tree of significant age (ie. a mature aged tree for its species), a tree of cultural significance (Aboriginal use, community use, E. G. even as a shade tree, historical planting or commemorating something); a tree of ecological importance (important habitat or food for plants or animals); an interesting shape or character
SURVEY 65	Old and important (not many left in situ) unusual and worthy of seeing, adds to historic street/land scape, beauty.
SURVEY 66	Any tree that is old eg 50 years, or large, or rare.
SURVEY 67	any tree that is old,, like over 10 years old and gives off alot of oxygen,, like gum trees and is australian native,, then we will get more aussie birds ,, glen eira doesnt have many mature trees that are native,, compared to other areas,, so the pollution is worse than bayside areas,, they have the beach breeze and nature from the beach,, gum trees are very good at cleaning the pollution and for a persons well being,,by seeing the lovely tree, by smelling the lovely tree and the birds that it houses,, like the mag pies and the minors and lorikeets etc,,it relaxes people and creates shade on hot days,,
SURVEY 68	There could be a range of factors including; horticultural value, location or context, rare or have localised distribution, could be particularly old, are of an outstanding size, aesthetic value or could be of curious growth form, or are outstanding examples of their species or are of cultural or historical significance
SURVEY 69	A large or rare tree that has been in the neighbourhood for several decades.
SURVEY 70	A tree can be significant because: -it is integral to the local landscape, (for example, it provides an important backdrop or critical shading for other plantings) -it is a mature example of a unique species -it provides essential habitat and nesting opportunity -it is an example of forest cover before European settlement -it is of significance to the indigenous community -it is of historical importance
SURVEY 71	Any Tree over 100 years old and/or a local land mark.
SURVEY 72	Mature Trees, anything over 4 meters and larger
SURVEY 73	None
SURVEY 74	trees that are of historical significance Trees that provide street scape or shade value
SURVEY 75	A number of possibilities: - provides shade to one or more property - provides habitat for wildlife, especially if native fauna - is healthy - representative of a native species in dwindling numbers
SURVEY 76	Trees that have been in the area for many years
SURVEY 77	large stands of mature trees - native or introduced species along streets scapes, railway land etc, or mature native trees on council land or private property.
SURVEY 78	A mature tree or one that is rare and/or native trees. Height and age/heritage could be a consideration too.
SURVEY 79	I am not sure but it would be rare trees and old trees. Do you have people in research ie from the CSRIO to consult on this
SURVEY 80	Trees that are grown on council land. Unfortunately, it cannot be on private land as it is a black and white rule and if it is open to interpretation than the only people that suffer are the ones doing the right thing and the people doing the wrong thing will do so anyway. I have a friend in Malvern east - heritage area- she has a plane tree in her front garden - broken up her fence, driveway and the corner of her house. Council will not let her remove the tree. She is in a duplex with a tiny front garden. The tree should never have been allowed to be planted there in the first place. So, for that very reason council should not be allowed to have a say on private land.
SURVEY 81	Natives and any large tree
SURVEY 82	A tree of importance to the environment itself, or to the variety of trees in the area, or to the community appreciation of the landscape.
SURVEY 83	If the tree has any of the following features, particularly old, rare, outstanding size, outstanding example of their species, part of remnant native vegetation, has hollows for nesting birds/wildlife, has aesthetic value and contributes to the landscape, cultural or historical significance .
SURVEY 84	A tree that has lived in Glen Eira for a significant time and is healthy. Trees of any species that are an excellent example of that species.
SURVEY 85	Large healthy trees with spreading canopies, trees which provide deep shade in areas of little other shade. Shade trees which could be a refuge for groups of people on days of 50oC. Trees which are habitat for wild life. Trees where birds nest. Trees which have attractive shape and form. Trees remaining in neighborhoods where single houses with large tree-filled back yards have been demolished, and every tree removed to make way for 3 or 4 storied blocks of flats.
SURVEY 86	There are 2 trees in Crosbie Road, Murrumbena. I was told that they are Banyan trees but, perhaps, they are a Moreton Bay fig variety. But their canopies extend across the road. They are definitely significant in this area.
SURVEY 87	Glen Eira has a variety of beautiful trees in parks etc, and already well-established on private property. They form part of the beautiful landscape in this Council area. I believe many trees, especially some of the older trees which have existed for many years and are in good health, need to be maintained and valued. This would include such trees as the beautiful well-established LIQUIDAMBARS which are prominent in many home gardens, beautiful for their foliage, being deciduous in winter, and home to many birds. Their age, beauty and contribution to the landscape of our suburbs, should be valued, and not threatened because of home owners or their neighbours

	wishing to build, and therefore sacrifice these trees which are part of our local history.
SURVEY 88	Generally speaking a large tree or shrub which is considered to be 50 years or older. Alternately a tree which has been recently planted as a commemoration or acknowledgment of some event/person. Note a significant tree MAY NOT BE a tree planted for carbon emission offset. However I would think these would in some way need to be registered for obvious reasons . . .
SURVEY 89	Rare, exotic, ancient and healthy, in keeping with the particular environment, eg. the trees in Malvern Grove: original vegetation: magnificent, eg, the Bunya Pine in Caulfield Park or the eucalypt, cnr. Inkerman Rd and Edith St.
SURVEY 90	Old gums trees. Trees with canopy. trees that provide shade to parked cars.
SURVEY 91	All tree

QUESTION 3
SHOULD COUNCIL PROTECT SIGNIFICANT TREES THROUGH A TREE REGISTER?



QUESTION 4
IF NOT, WHAT OTHER CONTROL SHOULD BE USED?

SURVEY 1	Trees should have to replaced by a tree of equal size or a larger number of trees.
SURVEY 21	Natives (Native to Australia as a whole but not from the immediate locale) and non-natives should not have restrictions, however Indigenous (Comes from the immediate area naturally) should be protected.
SURVEY 33	Council/municipal land should be managed by council
SURVEY 56	I don't believe it is the councils job to control protection of significant trees. What is wrong with the existing laws involving the protection of trees
SURVEY 73	None

QUESTION 5

WHAT DO YOU BELIEVE THE PURPOSE OF A SIGNIFICANT TREE REGISTER SHOULD BE?

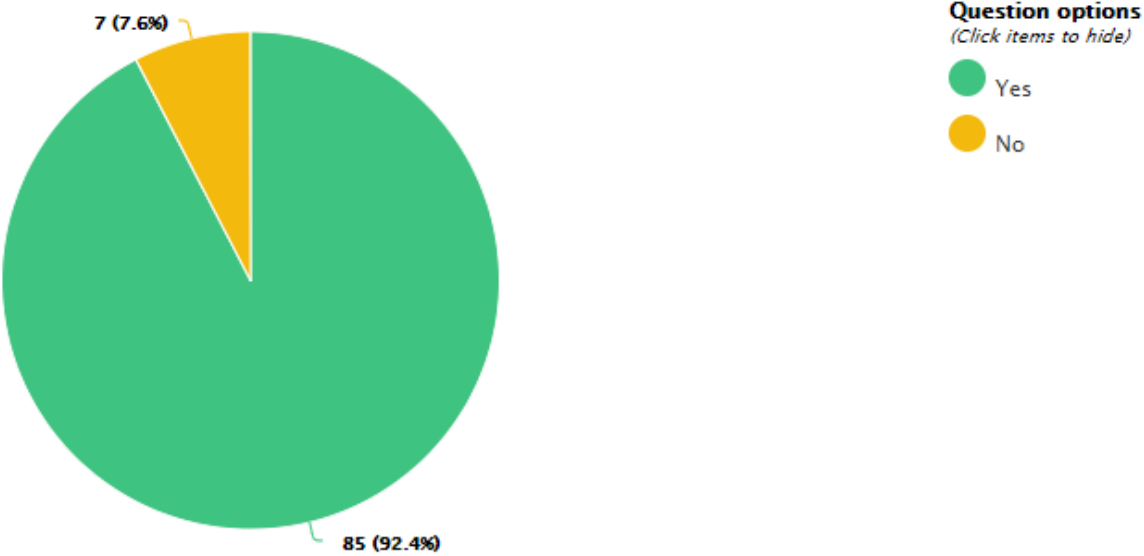
SURVEY 1	Protecting council trees.
SURVEY 2	Glen Eira does not do enough to protect existing trees. Too busy revenue raising to allow demolition for new multi-occupancy developments.
SURVEY 3	To identify trees which should be protected and provide information to land owners and developers about these trees to prevent accidental or deliberate damage to these trees.
SURVEY 4	To help protect trees that have a high community value that contribute to residents wellbeing and neighbourhood character. A tree register should very importantly protect Glen Eira's biodiversity as this is our natural history.
SURVEY 5	To protect significant trees from being removed for development purposes, for monitoring the tree's health over time and to keep an accurate record of where the trees are located.
SURVEY 6	To identify all relevant trees as defined above- in either the public or private realm and through a process of consultation to list these trees and to work to maintain and retain them for the benefit of the community both now and in future. To enable the community to understand the value of these trees and not see them as impediments standing in the way of development
SURVEY 7	To record the trees presence. To assist the planning process to protect those trees that should be conserved. To enable seed collection and propagation to take place to ensure that the tree species continues into the future To ensure that any works around them take the security of the tree into account To assist in the process of protecting the integrity of groups of trees (such as those red gums in Boyd Park) To assist where possible in ensuring that the trees can seed naturally in the future where and when possible i.e. mulch and fall zones around large old trees in Boyd Park to enable natural seeding and regeneration.
SURVEY 8	To record the trees presence. To assist the planning process to protect those trees that should be conserved. To enable seed collection and propagation to take place to ensure that the tree species continues into the future To ensure that any works around them take the security of the tree into account To assist in the process of protecting the integrity of groups of trees (such as those red gums in Boyd Park) To assist where possible in ensuring that the trees can seed naturally in the future where and when possible i.e. mulch and fall zones around large old trees in Boyd Park to enable natural seeding and regeneration.
SURVEY 9	The tree register would be a readily accessible record which rate payers could access, particularly when a tree is marked for removal by council, owners and developers, to determine whether a tree should be removed or protected.
SURVEY 10	To pre-emptively protect trees from arbitrary destruction by developers prior to applying for approval of plans for development. The penalties for cutting down significant trees should be very high so that it is not just a minor annoyance but a deterrent to undertaking development plans that remove such trees.
SURVEY 11	To identify significant trees as the increasing development is causing a loss of these trees.
SURVEY 12	That any tree on the register should be saved from being cut down so a developer can maximise building space on land. Also that trees on the register should be watched over and cared for by Glen Eira parks and gardens.
SURVEY 13	To ensure developers and residents, along with council do not up-root and kill established trees
SURVEY 14	Clear statement that trees have a value, beyond monetary
SURVEY 15	Protect trees and suburb
SURVEY 16	1) Identify trees. 2) Location 3) Management Plan (keep tree healthy) 4) State of tree (health, age)
SURVEY 17	Stop inappropriate development.
SURVEY 18	Any planning application on land where a significant trees is located could therefore be assessed in the merits of tree loss. Requirements could then also be established for trees replacement where removal was approved (e.g. That a suitable tree be planted in the land not just a cheap ornamental pear tree that dies after a month of neglect), fee for tree loss that would go to local green space fund and/or fines for unapproved destruction (e.g. poisoning, deliberate limb damage, or removal).
SURVEY 19	Given that greater Melbourne (and I'd be interest to know where Glen Eira sits, given Stonnington is only at around 24%) is nowhere near the 30% canopy coverage that would make it an urban forest city, there needs to be provision for retaining large trees where they exist. Given the neighbouring municipality of Stonnington is losing 1 - 2% of canopy cover due to block clearing and new build developments Glen Eira needs to preserve these large trees where they exist and may be threatened by future development. You can't buy time. You simply can't replace for instance the canopy cover of a 70 year old oak with a new tree.
SURVEY 20	Prevent developers / new builds from removing or killing off trees Alert the community to their value and need to protect trees Wildlife and bird habitat Temperature control Air quality esp on main roads
SURVEY 21	It should not be restricting on property owners rights, or it should take into consideration who planted the trees and ancestry rights to lop trees. It should also come into consideration if the trees have been maintained by an individual or their descendants

SURVEY 22	to nominate trees that people value.
SURVEY 23	To protect and preserve trees that are currently being lost at an alarming rate. It is appalling that GE council has not yet had a significant tree register.
SURVEY 24	To ensure the protection of the tree from damage or destruction
SURVEY 25	To stop "moonscaping" where houses are being demolished to make way for big square monstrosities i.e. at the moment ALL vegetation is removed from a property before rebuilding, which I consider to be obscene. Also to stop neighbours harassing neighbours about their trees (I speak from personal experience)
SURVEY 26	To save significant trees. Once they are chopped down, they are lost forever otherwise. Developers need to know that they cannot cut down trees just because they are in the way of making them more money. These trees need to be protected.
SURVEY 27	Protection from development/removal and monitoring of health/potential safety issues
SURVEY 28	To protect significant trees from removal on public and private land. To impose significant financial penalties for the removal of significant trees on public and private land.
SURVEY 29	To identify and protect trees, and the community from whimsical loss to suit developers or others and to create a public list which will be an asset that can be consulted to provide members of the public with the opportunity to visit and appreciate these trees.
SURVEY 30	To protect any tree that is mature, is a home for bird,s.provides food for wildlife, provides canopy shade for residents, as long as tress are healthy, maintained and It takes a long time to create shade with mature trees so they need to be protected and nurtured to ensure all generations enjoy the benefit.
SURVEY 31	It will only serve purpose if there are guidelines , with penalties BUT if there is a risk to property or LIFE there needs to be some commonsense
SURVEY 32	It can be used as a baseline for the tree stocks. It can also be used when discussing projects with other internal departments and developers to ensure they look after the tree
SURVEY 33	Council can monitor and track the significant trees on its land
SURVEY 34	To identify those trees, maybe have signs on or near them, as the Castlemaine and Melb. Botanic Gardens do, and to educate the public about why they are significant.
SURVEY 35	Protect trees from being chopped down.
SURVEY 36	To consult neighbours and relevant Council Officers on application to remove
SURVEY 37	To protect the trees listed from damage/removal without serious consideration by at least the Council's tree expert and/or Council's heritage expert or similarly credentialled body eg National Trust. The Register should be freely available information to the public eg via Council's website
SURVEY 38	It would identify the tree as one meriting protection by Council.
SURVEY 39	To protect attractive indigenous trees from destruction
SURVEY 40	Protection from urban development.
SURVEY 41	Protect rare or beautiful or historic trees from destruction without consideration
SURVEY 42	* tree stocktaking * tree preservation * tree accountancy
SURVEY 43	To protect the beauty and wonder of a municipality... ie the gorgeous trees along Seymour Rd in Elsternwick make the streetscape more appealing.
SURVEY 44	To maintain a balance for the environment.
SURVEY 45	People can learn more about trees, and how we can protect them instead of destroy them as we have been for many years. Trees are sacred and an integral part of human kind and planet Earth. In one sentence, education and conservation.
SURVEY 47	Legal protection of significant trees like other Melbourne Councils.
SURVEY 48	Protection of designated trees from extensive pruning or destruction
SURVEY 49	Protect tree canopy for shade. Historical. Saving for future generations. Contribution to landscape of Glen Eira.
SURVEY 50	Allows the value of the tree to be formally recognised Allows for succession planning of vegetation in the area
SURVEY 51	Protect natural environment Prevent destruction of habitat for wildlife Preserve the 'green', treed aspect of the area
SURVEY 52	For educative and historical purposes.
SURVEY 53	to maintain valued trees of certain species and size from being removed. To fine offenders whom illegally remove such trees. To implement a local law requiring a permit application for tree removal.
SURVEY 54	To protect the tree from being removed or destroyed. People wishing to purchase a property in the municipality can access the register to see if a protected tree is inherited with the property. It must not be removed but rather maintained.
SURVEY 56	I don't believe there should be a tree register
SURVEY 57	To prevent disposing of so many trees especially with development.
SURVEY 58	To protect our heritage from over-zealous council employees who have no vested interest in the area, Developers and property owners who find expedient to remove all trees from development sites without penalty

SURVEY 59	Council will be able to keep track of all our trees, and hopefully stop the destruction.
SURVEY 60	To make people understand their obligations in managing & protecting significant trees that contribute to our amenity in many ways
SURVEY 61	To stop greedy developers bulldozing them.
SURVEY 62	it would be nice to see or hear about the trees , an important register to have. not just about bricks
SURVEY 63	to list and protect significant trees and ensure their continuing survival
SURVEY 64	To ensure record of a trees age, species, significance to ensure protection and monitoring of health and to allow interested citizens or scientists to locate it for research or appreciation
SURVEY 65	To protect such trees, which bring beauty, shade and a stamp of individuality to an area, allow future generations to visualise them, in what will be very different environments. Trees of note are not replaced easily so need the protection of bodies like Council and their skilled staff.
SURVEY 66	1. To publicly recognise the existence of such trees, in order to retain them for the community's current and future enjoyment. 2. To protect such trees from vandalism and destruction. 3. A tree register will publicize these trees existence, in order that we may start to value them. How can we value something if, as a society, we are not aware of its existence?
SURVEY 67	there are so many apartments going up and old trees are being cut down when the big house is pulled down,, and there are tiny gardens full of concrete driveways,, so there is more pollution ,, less birds,, less peaceful energy,, less shade,, so not good for a persons wellbeing,, more road rage on the busier roads because more people with cars,, and not enough clean air,, so not good for mental stress,, i go down bayside and people are more relaxed and i come home feeling better,,
SURVEY 68	To help identify and conserve trees of importance to the community and to preserve the municipality's leafy neighborhood character, cultural heritage, history, and biological diversity.
SURVEY 69	Collate the position, number and type of trees which contribute beauty and significance to our environment. Used as an overlay for building and development permits. As evidence in prosecutions. As the basis for protective action.
SURVEY 70	A significant tree register will ensure that listed trees cannot be removed without authority, which should not be given unless there are extremely compelling circumstances. Such approval should recognise that the tree is irreplaceable.
SURVEY 71	To protect local significant trees.
SURVEY 72	As we are losing significant trees with the current planning scheme, this will lead to loss of biodiversity and increase urban warming. Loss of shade, habitat for wildlife and neighbourhood character. These large trees are very hard to replace.
SURVEY 73	The owner of a tree has full right and responsibility to do whatever they want with their tree
SURVEY 74	to ensure significant trees are not removed without consideration of council and/or neighbourhood
SURVEY 75	Primarily shade and habitat. Shade because increased multi-dwelling developments have significantly reduced the amount of open space surrounding residential buildings leading to a reduction of airflow and clearing of shade providing trees which in turn decreases cooling in summer from that shade and airflow which will increase the use of air-conditioning
SURVEY 76	So that trees are protected from being cut down .
SURVEY 77	Register significant trees to protect them against future development
SURVEY 78	To PROTECT mature/rare trees. Even council trees need protection from the severe pruning we have seen of late. We were told due to line of sight issues they were pruned harshly, surely this does not apply to every tree. Only those on corners or over footpaths or electrical lines should be affected. Does every tree need to look like a ball on a stick? Leave them natural if they are safe.
SURVEY 79	To educate the community , to save the trees, to set community standards about environmental awareness
SURVEY 80	To ensure people do not remove or destroy trees on council land - obstructing views , however if the tree poses a problem there should be an avenue for the resident to plead their case and the tree be removed.
SURVEY 81	To ensure our trees are protected from developers in particular
SURVEY 82	To list trees which should be protected from any development activities.
SURVEY 83	To preserve and protect trees from being removed from the landscape. Permission should have to be sought from the council if someone wants to remove them or significantly prune them. If this is done without permission the people responsible should be fined, especially developers.
SURVEY 84	Anyone going through the planning process for a new dwelling or renovation should be prevented from removing a significant tree - if one exists there. Without such a register, members of Council's Planning Department would not know of such a tree's existence.
SURVEY 85	To prevent trees being removed unnecessarily by developers. Encourage residents and visitors to value trees not just for their beauty but also for air purification and cooling functions. Trees enhance our mental and physical health.
SURVEY 86	To ensure that these old trees remain. We have already lost so many ancient trees along the Murrumbidgee train line.
SURVEY 87	I imagine the Register would not only specify tree types in general, and trees in specific locations, but also offer clear guidelines protecting trees based on their age and presence in the community over many years. So if an individual tree was not on the register, it could still be protected if it 'supported'

	these guidelines. (A register should not mean that if a tree is NOT included, it implies it does not deserve protection according to certain factors as described previously above - health, well-established, age, part of the on-going history and beauty of the suburb, intrinsic value to the area).
SURVEY 88	To have clear access to what has been acknowledged as SIGNIFICANT. Also to provide policies and guidelines about how such trees should be cared for, managed by developers, community residents and the council itself.
SURVEY 89	Protect trees from developer and community vandalism. Education of residents about tree values.
SURVEY 90	To preserve the character of the neighbourhood. To encourage clean air. To stop water run off. To encourage birdlife. To maintain and improve my sanity.
SURVEY 91	To protect and ensure a greenery jungle and to prevent a concrete jungle.

QUESTION 6
SHOULD COUNCIL PROTECT COUNCIL-OWNED TREES AS WELL AS PRIVATE?



QUESTION 7

WHAT TYPE OF TREES SHOULD BE PROTECTED? E.G. INDIGENOUS

SURVEY 1	Indigenous trees and healthy large trees
SURVEY 2	Established trees, natives, healthy trees over 25 years old
SURVEY 3	Any tree which is of a rare species, or is of significance in the landscape, or has historical or cultural significance, or is a significant habitat for wildlife.
SURVEY 4	All Indigenous trees should be offered protection Trees of a significant size that contribute to neighbourhood amenity and character. Trees that offer significant shading in public areas
SURVEY 5	Indigenous and non indigenous.
SURVEY 6	Indigenous, exotic ,introduced - if they make a contribution to the benefit of the community as described above. It should not be based on a type of tree but the contribution and value of that tree - social, environmental and economic
SURVEY 7	Indigenous trees and especially the red gums. They are so important to the character of the areas they are found. They are rare and a wonderful connection to Glen Eira's past - its natural and pre-European past and its agricultural past. Large and old trees are largely not valued. It is time we opened our eyes to the beauty they provide us (for nothing) and their importance in conserving our heritage. Please see my comments above regarding this question.
SURVEY 8	Indigenous trees and especially the red gums. They are so important to the character of the areas they are found. They are rare and a wonderful connection to Glen Eira's past - its natural and pre-European past and its agricultural past. Large and old trees are largely not valued. It is time we opened our eyes to the beauty they provide us (for nothing) and their importance in conserving our heritage. Please see my comments above regarding this question.
SURVEY 9	All trees have some merit. Trees which are shelters for migratory bird life. Those which are mature, large and provide significant shade and shelter. Young trees planted by council which need watering during their early years and during heatwaves.
SURVEY 10	All trees that are assessed according to the criteria determined (see below)
SURVEY 11	Indigenous and other trees of significant age and size.
SURVEY 12	Any fully mature tree that is not causing any damage to surrounding areas or surrounding properties. There are many species of trees in Australia that have been introduced that do make an area look attractive.
SURVEY 13	Established trees, with a focus on native trees that attract and protect bird and animal life
SURVEY 14	Remnant trees and vegetation, large and old trees which provide significant habitat, shade and shelter, rare trees plus trees which are indigenous to this area. indigenous trees should be protected, this is our natural heritage and our natural history. Significant neighbourhood shade trees in some cases should receive protection, especially in the areas marked for higher density living. Climate change will bring higher and prolonged heat spells, shade from large trees will be needed everywhere. Too many trees large and small have been lost in my Bentleigh neighbourhood and across the metropolitan area and I have concerns for the impacts on wildlife, excessive heating because trees are lost to concrete, asphalt and bricks and loss of porosity increasing flood risk
SURVEY 15	Larger trees
SURVEY 16	Especially Indigenous. & non indigenous if history and or habitat wildlife
SURVEY 17	Indigenous and others. See previous comments
SURVEY 18	As per above- criteria should depend on one or more of age, size, species.
SURVEY 19	- Canopy Cover should take precedence over all other considerations. - Glen Eira council should join and adopt the principles of the Urban Forest Strategy. This clearly states that we need to move past the introduced vs native dichotomy that has hindered Australian urban landscaping and consider more closely tree appropriateness and increased diversity. A number of native and indigenous species are no longer as suitable in their geographic origins because city landscapes have so vastly changed the natural environment. -Trees that vastly dominate the streetscape of Glen Eira, particularly where they have been inappropriately planted under powerlines, thinking here of the dominance of lophostemon confertus in Glen Eira should NOT be included. -Evergreen trees that block access to windows facing north light, should NOT be included.
SURVEY 20	Indigenous and other trees eg some Jacarandas, avenues of trees
SURVEY 21	Indigenous trees only
SURVEY 22	indigenous and native (old and large), and if there are any large and old exotic trees that contribute too.
SURVEY 23	Any tree of substantial size and or age, or one that provides special habitat, or is rare and/or endangered. We are losing canopy at a great rate, so any tree that provides canopy should be protected.
SURVEY 24	Both indigenous and introduced species
SURVEY 25	Anything except the ghastly pittosporum on my nature strip
SURVEY 26	Indigenous. Large trees, either native or non native
SURVEY 27	Same as significant above
SURVEY 28	All types. A tree can be significant if it is indigenous or otherwise.

SURVEY 29	Any tree that matches the criteria listed in the earlier question. ie. protection for trees that have been classified as significant because they satisfy the criteria in terms of being: of a given size, a given height, a given age, of a certain level of rarity of importance to the precinct where they are growing
SURVEY 30	Anything that provides a habitat to native birds and other fauna, canopy trees over 40 years old!
SURVEY 31	Also look at scarcity of tree
SURVEY 32	Anything that has taken a long time to grow. Our tree stocks are not significant
SURVEY 33	Large/old/mature or hollow bearing/habitat trees. Not just indigenous species.
SURVEY 34	Eucalypts, oaks - even though introduced, they can take 40-50 years to grow to a decent height and start producing acorns.
SURVEY 35	indigenous, large gums etc
SURVEY 37	Guidelines from the National Trust https://www.nationaltrust.org.au/wp-content/uploads/2016/06/Tree-Protection-in-Australia_National-Trusts-of-Australia.pdf
SURVEY 38	It doesn't matter what type of tree it is. The bottom line should be that it's weathered the events of history.
SURVEY 39	Attractive indigenous trees
SURVEY 40	Trees which have a significant horticultural, aesthetic, historical, environmental, social or cultural value
SURVEY 41	replicate rules used by the National Trust of Australia (Victoria) for their Significant Tree Register
SURVEY 42	Indigenous Food producing trees trees providing bird & bee fodder BUT allergy & other health issues of both trees & people should be considered
SURVEY 43	Indigenous. Trees of significant age.
SURVEY 44	Indigenous, also ones that if safe and well would be an asset to the environment.
SURVEY 45	Indigenous for sure and any rare trees.
SURVEY 46	All trees
SURVEY 47	A Large healthy tree or an unusual species.
SURVEY 48	Indigenous, original trees Non-Indigenous Historically Significant trees
SURVEY 49	Indigenous and remnant trees. Historical significance. Large canopy, tree height. Old trees 100yrs +. Rare. Landmark
SURVEY 50	Indigenous and native trees that provide a green link through the municipality for native fauna provides a significant canopy cover maintains biodiversity and habitat for native fauna enhances the experience of the area
SURVEY 51	Indigenous, old, beautiful, healthy, supports wildlife
SURVEY 52	Indigenous to Glen Eira or the species is not overly represented.
SURVEY 53	Both Indigenous and Non indigenous trees of significant size: Any tree with a circumference measuring one metre or more when measured at one metre above ground level.
SURVEY 54	Indigenous ,Non-indigenous , old, endemic, larger . Council trees must be on the register too.
SURVEY 56	I don't know why the council are trying to define what trees should be protected
SURVEY 57	Register would need to state age, significance of form and aesthetics and or species
SURVEY 58	Significant trees that reflect Glen Eira's heritage and horticultural planning in more enlightened times past. Surviving native trees Trees that provide shade to the community in parks and along roads thereby combatting effects of climate change
SURVEY 59	As I don't know a lot about types of trees I will say any healthy mature tree.
SURVEY 60	Indigenous plants are often under-protected, but non-native plants are important too
SURVEY 61	All!
SURVEY 62	could be any kind of tree
SURVEY 63	indigenous rare trees from a diminished or those of a dying out species well established trees that have been part of the streetscape throughout Glen Eira's history old trees significant trees those that provide life force to native bird species
SURVEY 64	Indigenous trees of known historical Aboriginal cultural connection or remnant trees predating white settlement; trees older than 100 years whether non native or native
SURVEY 65	Indigenous, old growth, striking, landmark etc. Not just indigenous trees but established trees from other places.
SURVEY 66	Old, large, rare, indigenous, exotic (as long as not a weed eg privet)
SURVEY 67	native
SURVEY 68	There could be a range of trees ones that are particularly old, are of an outstanding size, aesthetic value or could be of curious growth form, or are outstanding examples of their species or are of cultural or historical significance. Both exotic and indigenous.
SURVEY 69	Large mature trees, whether indigenous to Australia or not.
SURVEY 70	All trees providing they are determined to be significant.
SURVEY 71	Indigenous and Exotics if they fall under the correct criteria.
SURVEY 72	Local sandbelt trees, natives and any large mature trees including trees in the Bentleigh car parks when the strip gets its make over especially when the multi story car park is planned. There is to be some sort of thoroughfare along the laneways which would need these trees for streetscape, shade and local character. All mature trees in our parks , street trees and council properties

SURVEY 73	Only council owned trees should be under any sort of council control. Street trees should be under the control of the adjacent property owner.
SURVEY 74	indigenous old and established trees that enhance the street scape trees that provide shade for environmental purposes
SURVEY 75	Mature and healthy trees, anything exotic that is mature and healthy, trees that speak of the original landscape, trees that provide shade and shelter and wildlife habitat
SURVEY 76	All trees of a significant age.plus any new trees council plants
SURVEY 77	All native trees and significant stands of introduced trees
SURVEY 78	Mature. Rare. Native/indigenous. Glen Eira has many beautiful and extensive parklands - protect these trees too. If there are indigenous flowers/bushes in our parks these too could be included.
SURVEY 79	not sure
SURVEY 80	Any council owned trees - they are all here for a purpose and should be kept at all costs
SURVEY 81	All native trees
SURVEY 82	A tree of reasonable age or size for its type, or of some rarity in the neighbourhood or in general, or of size and height for migrating birds, nesting birds and nesting boxes.
SURVEY 83	Any tree that meets the criteria I listed in the first question, but especially native and even more significantly trees that are indigenous to the area.
SURVEY 84	All species as long as their protection does not affect the safety of members of the community.
SURVEY 85	Indigenous and non-indigenous.
SURVEY 86	All found to be significant
SURVEY 87	I think the age (and how long it has been well established in a particular location) and overall health of a tree are important factors,. This would include both native and also many of our beautiful introduced trees (ash, liquidambar etc)which are part of our early history and development of local suburbs (Elsternwick, Ripponlea, Caulfield etc). These trees whether on public or private property are part of our green environmental landmarks. Some trees, example gum trees, are beautiful, but depending on the variety, may more readily drop their branches easily in storms etc. and be a risk in small areas. There might be some restriction perhaps regarding planting of such trees in inappropriately small areas - as of the present time (eg the date of the register) but if they are already existent and fully established, offer beauty, again they would be worthy of protection.
SURVEY 88	Not only significant native trees. Exotic species and natives which are not endemic to the area should be included. As noted above trees planted by council for carbon emission off set need to be treated differently.
SURVEY 89	See above
SURVEY 90	Gum tree. Oak trees Elm trees
SURVEY 91	All

QUESTION 8

HOW SHOULD A TREE BE ASSESSED AS BEING WORTHY OF PROTECTION?

SURVEY 1	nominations from the public of trees that belong to the council
SURVEY 2	The age and health of the tree should be considered
SURVEY 3	It means that the tree is safe and protects our leafy green suburbs
SURVEY 4	Include the residents into the process as they can have a useful local knowledge that could be helpful in forming the register
SURVEY 5	The tree should be inspected and assessed by a qualified Arborist.
SURVEY 6	A tree expert and possibly a cultural/ historical landscape architect should do an assessment across the municipality much as was done for the heritage assessment some years ago. At the same time individual property owners and residents should be invited to submit ideas on significant trees both in their own properties, in neighbours properties and in council properties. This list would then be compiled and subjected to public consultation. Possibly a system of people being able to object to or support the application for various trees could be implemented. Then once a tree was on the register a good reason would be needed to remove it, a permit may be required and any tree removed without the correct permission would attract a significant fine. Prior to commencing this process a ban would be placed on the removal of any tree over a certain size to prevent rogue developers cashing in ahead of time. All these administrative details could easily be worked out based on other precedents.
SURVEY 7	A qualified person does so. Look at what other councils are doing and how they define them. Don't reinvent the wheel. Other councils must have done all this before.
SURVEY 8	A qualified person does so. Look at what other councils are doing and how they define them. Don't reinvent the wheel. Other councils must have done all this before.
SURVEY 9	If the council plants along the nature strips and in the parks they have an obligation to provide follow up care. See above for attributes worthy of protection.
SURVEY 10	There are several criteria: - It may have rarity value with few others of the same species in Melbourne - It may be over a certain age - say 20 years, and so important to be registered for its significant contribution to the green canopy of the city - It may be a tree of great stature such as a tree of 15 meters or more in height. - It may be a tree that is widely recognised for its contribution to the neighbourhood All of these are criteria on which to adjudge a tree to be significant
SURVEY 11	From submissions and assessment by Council arborist, could be contestable and put to Council vote if required.
SURVEY 12	Age of height, and whether that tree is a healthy or would be a danger in open areas.
SURVEY 13	Age and species
SURVEY 15	Size , age or appeal
SURVEY 16	Height Species Historic Wild life Habitat Carbon offset.
SURVEY 17	Age. Connection
SURVEY 18	Consultation with specialist environmental assesses and review of other council criteria should help establish this so that some consistency will strengthen council position in the policy and any VCAT appeals. Again, criteria related to size, age, and/or species would be a good starting point. E.g Limiting to only native trees would miss the large established elms.
SURVEY 19	-Canopy Cover -Calculation of transpiration cooling effect of tree.
SURVEY 20	Elements including some of (not all) - age, size, location, species
SURVEY 21	Merit based on its significance and who planted them
SURVEY 22	by an arborist for health, if its old by a heritage person, or by nomination by the public.
SURVEY 23	There should be a set of criteria and if the tree meets any of these criteria, then it should be protected.
SURVEY 24	Good question!. It is a slightly subjective assessment because it depends on the context and how they affect an area. Some factors to consider include: their importance to native wildlife, the aesthetic they give to an urban environment, their cultural importance (ie indigenous or european such as an avenue of honour), the consistency within an urban landscape (such as a row of mature plain trees) or their variety (ie within Elsternwick park).
SURVEY 25	Presumably by an arborist/historian/whoever who sees the value of the tree due to its age and significance
SURVEY 26	Specifically trained arborists should set up the registry and maintain it. Trees at risk of falling must be assessed to determine safety for the community. That is why the registry should be set up by professionals in conjunction with the community.
SURVEY 28	Age, location, DBH measurement and site context. Consideration should be given to the amenity the tree provides and the history of the tree - was it planted by a significant historical figure? Is it from a particular historical time? Again, other Council's could help.
SURVEY 29	As a start, obtain the criteria used by the National Trust and then add in any criteria that apply especially to Glen Eira.
SURVEY 30	Height, species , health providing food for native species of birds, shade value, location, shelter/home

	for native birds, bats. Age anything over 40 years old' it takes a lifetime to replace trees.
SURVEY 31	As mentioned in 2nd question
SURVEY 32	Size (height) canopy cover and age
SURVEY 33	Large trees (size may differ between species) Old trees (70 years or more) Mature (trees have stopped putting on height and have well established crowns and shaping branches) Hollow bearing/habitat trees (bird and other animal habitat).
SURVEY 34	By its age or approximate age, based on size.
SURVEY 35	Age and type
SURVEY 36	If it is rare or provides amenity to the area.
SURVEY 37	Guidelines from the National Trust https://www.nationaltrust.org.au/wp-content/uploads/2016/06/Tree-Protection-in-Australia_National-Trusts-of-Australia.pdf
SURVEY 38	Everything should be done to keep the tree alive and supported. Even if it dies, effort should be made to preserve it as a monument to time.
SURVEY 39	See above
SURVEY 40	Based on its horticultural, aesthetic, historical, environmental, social or cultural value
SURVEY 41	replicate rules used by the National Trust of Australia (Victoria) for their Significant Tree Register
SURVEY 42	1) is it indigenous? 2) is it or can it provide/ing food for insects, birds or humans? 3) is it or can it provide/ing a home for wild life?
SURVEY 43	What impact it has on the residents around it. Whether it provides protection, beauty or interest.
SURVEY 44	Size, age, history, beauty and the benefit to the community.
SURVEY 45	talk to the experts.
SURVEY 46	Panel decision
SURVEY 47	An Arborist assessment.
SURVEY 48	Agr, Size, History, Health
SURVEY 49	Species , tree height, tree canopy spread, tree trunk circumference tree age estimate and historical information.
SURVEY 50	A flora and fauna assessment of the municipality should be conducted, which includes a tree population assessment. There are assessment tools like: https://www.itreetools.org/eco/ that could be used
SURVEY 51	Applications by individuals/business/council
SURVEY 52	Independent arborist analysis.
SURVEY 53	Any tree with a circumference measuring one metre or more when measured at one metre above ground level. i.e. size specific and certain valuable species.
SURVEY 54	Assessment can be by an qualified arborist as to its overall health and lifespan. Popular trees can be nominated by the residents of Glen Eira.
SURVEY 56	I believe its really a judgement in the eyes of the owner since there is no scientific way of saying this is a significant tree. Some trees are sometimes not suitable or insignificant and are replaced with better trees
SURVEY 57	Public decides as a group.
SURVEY 58	It's position, age, community consultation results, shade qualities, resilience, likely lifespan, health, size, species, history and visual benefit to streetscape neighbours or parklands.
SURVEY 59	By a tree specialist I presume
SURVEY 60	A set of criteria established by the council that aligns with other municipalities
SURVEY 61	Visual inspection.
SURVEY 62	difficult question , not sure.
SURVEY 63	species its history within a part of the streetscape throughout glen eira's history size contribution to local birdlife
SURVEY 64	Age (known or estimated through trunk and canopy size), rarity, species, historical information (settler stories or historical photos), vulnerability to stress and risk of dying (changes to landscape affecting access to nutrients and water eg through road building or compaction of foot traffic or changes to watercourses)
SURVEY 65	Historic significance, context to the original environment, purpose for which it was planted, enhancing the atmosphere and beauty of a denuded area, like some streets of all apartments in Carnegie, where lovely Jacaranda trees in gardens were lost. Note the National Trust Significant Tree Register.
SURVEY 66	Assessed for its beauty, rarity, historical significance, indigenous significance eg canoe tree, age, environmental contribution, supporting wildlife and birds.
SURVEY 67	if its old over 10 years old and is a native,, no point in keeping it if its not a native as ,, it wont attract native birds,,
SURVEY 68	In the initial phase of this project included nominations from the community and a drive-by of the entire municipality to identify and inspect potential significant vegetation within the municipality.
SURVEY 69	Historic significance Beauty, shade and location Rarity Botanical and environmental significance
SURVEY 70	Once a tree is determined to be significant, it should be given protection on the basis of its health and condition. Where a tree is sound and healthy, protection should be presumed. It is not enough to refuse protection simply because the tree is 'in the way'. A further test is whether the public benefit is

	served by protection.
SURVEY 71	Age, Type (IE local land mark)
SURVEY 72	By arborists consulting and pruning trees to ensure they are healthy and safe.
SURVEY 73	None are.
SURVEY 74	by application from the neighbourhood and meeting of council criteria to be added to a register
SURVEY 75	Are there similar trees in the immediate surrounds? If not, it is more worthy than if it's in close proximity to a similarly significant tree. Does it provide shade to the public and/or multiple dwellings? Does it enhance the character of its environs? Does it provide enjoyment? Through size or shape or scent or from what lives in it or by being climable etc.
SURVEY 76	It's value to the area as a CO2 collector. The protection it provides for all creatures plus a food source for them. Also they look beautiful.
SURVEY 77	age, size
SURVEY 78	Council would have to have a list of criteria. Many councils have tree registries - their policies should be looked at as a guide. Qualified people in this field should also be consulted. Council departments need to communicate with each other. Council should not be planting trees where clearly a development is happening ie trees planted of late on both corners of Malacca St and Penang and Graham Ave where developers will destroy on arrival as permits have been granted for development. What a waste.
SURVEY 79	not sure
SURVEY 80	Age, health status, - purpose.
SURVEY 82	As per questions 2 and 6.
SURVEY 83	There should be committee made up of professional horticulturist/aborist, council officers, and members of the public that can nominate and assess trees. Members of the public and other council offers should also be able to nominate trees and have the nominations assessed by the committee.
SURVEY 84	Its health should be checked by a qualifies arborist followed by an assessment of the value of keeping the tree as beautiful example of that species.
SURVEY 85	A committee of local residents, council representatives, arborists, environmental scientists and public health specialists could access each tree on its merits.
SURVEY 86	By it's age, size
SURVEY 87	Assuming it is in a healthy condition, its age, how well-established it is, the fact that it is part of the on-going history and beauty of the suburb, its intrinsic value to the area in terms of its beauty and encouragement of birds and local wildlife.
SURVEY 88	Trees of note would need to be submitted with their geolocation. A formal process of documenting, accepting and registering the tree would then need to be carried out. In so doing, an arborist would need to identify any potential issues with the tree, developers would need to submit reasons as to why a tree should be removed, cut back and conversely how they would manage it through a period of development.
SURVEY 89	Nominated and assessed by the city arborist and other experts. Should contribute to visual values and street cooling.
SURVEY 90	Age (and health) We can never replace a 100 year old tree Placement - shade for car parking High canopy that can be seen from afar Historical significant Beauty Indigenous Significance Community Request
SURVEY 91	All are worthy of protection and need to be protected if at all possible.

QUESTION 9

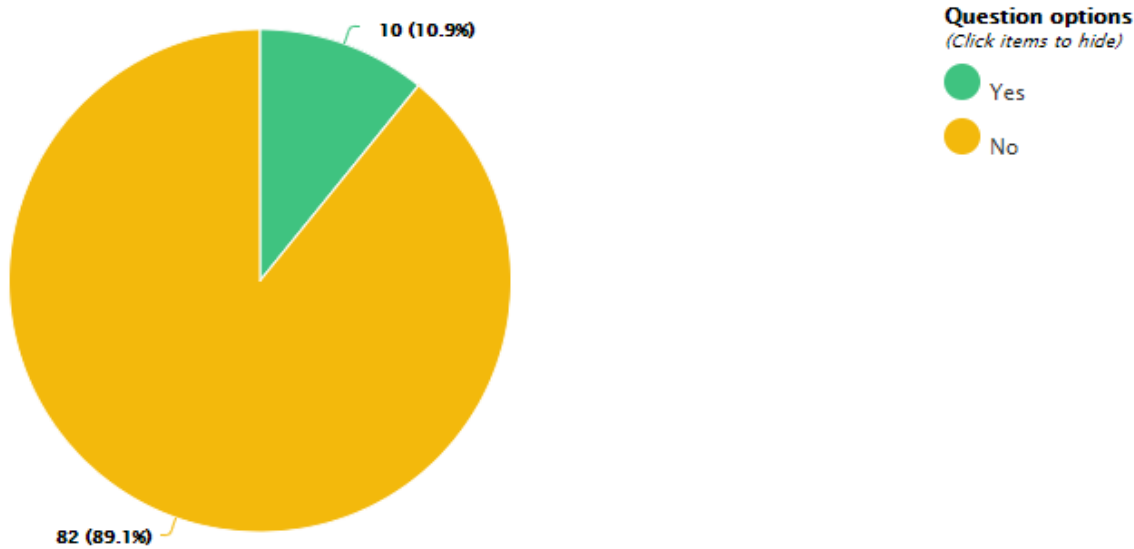
WHAT DOES IT MEAN HAVING A TREE ON THE SIGNIFICANT TREE REGISTER?

SURVEY 1	Extra protections from being replaced by other trees.
SURVEY 2	Trees to be protected
SURVEY 3	Assessment should be based on age, condition, size, wildlife present, cultural and historical factors.
SURVEY 4	It is a official recognition of the importance of the values and the services that certain trees offer residents. Council should consider sharing its expertise and resources with tree management where significant trees have been identified on private land, that have a neighborhood or regional value.
SURVEY 5	Peace of mind for GE residents that the tree is being protected from removal for development purposes and that the tree will be able to be appreciated by future generations to come.
SURVEY 6	it means as stated above that the tree is of sufficient size and social, environmental and economic value to the community that it should be preserved if at all possible. Permits would be needed for removal and significant fines would apply where trees were removed without proper permission. The list would obviously be dynamic and would have to change over time
SURVEY 7	Council and resident recognize the vital role trees have in the areas of neighbourhood character, animal habitat and natural heritage. See also comments above.
SURVEY 8	Council and resident recognize the vital role trees have in the areas of neighbourhood character, animal habitat and natural heritage. See also comments above.
SURVEY 9	Trees will be valued for their contribution to an attractive streetscape, their habitats for wildlife, their ability to cast shade and their value for providing a buffer to toxic elements in the atmosphere.
SURVEY 10	It means that this tree has been identified as matching the criteria and as such it cannot simply be whimsically removed without proper planning approval including consultation with the neighbourhood
SURVEY 11	Permission mandatorily required for it's removal or significant penalty if not obtained.
SURVEY 12	That anyone wishing to cut down or prune a tree on private land will have to apply to the Glen Eira council for a permit to do so. It also means that the council will oversee the care and maintenance of trees in public spaces.
SURVEY 14	Protection via local laws and the planning scheme
SURVEY 15	Don't cut down just prune for street lines however
SURVEY 16	Public record significant trees. Audit trail. Locations
SURVEY 17	Protect from development
SURVEY 18	This is an odd question! See previous responses regarding planning applications, applications to remove a significant tree, and accounting for VCAT appeals. P.S there should be a box for 'any other feedback' on this survey - basic survey practice. We have already lost substantial trees in our local area due to development, including 'mc mansions, dual/side by side and multi unit development. Developers just moonscape even before full planning process have been competed - unfortunately there is nothing to stop them from doing this because council regulation is non existent. A significant tree register would go some way to at least protect established trees or provide consequences for inappropriate removal.
SURVEY 19	-You can't chop it down - You are expected to be a community caretaker of the provision of urban green and cool.
SURVEY 20	Part of a wider tree planting and maintenance agenda to ensure that the living environment is respected at least as much as the built environment
SURVEY 21	Community recognition on significant flora.
SURVEY 22	that planning/the public can check before they lop or cut a tree
SURVEY 23	It should mean that it will be protected and will be illegal for anyone to damage or destroy this tree. Penalties need to be severe, otherwise developers will simply build the fine into the cost of their development
SURVEY 24	It should mean that the tree is protected and that it should not be damaged
SURVEY 25	That it's protected against unnecessary removal. I have 2 very large, old Agonis trees on my property which I believe should be included
SURVEY 26	Residents can feel confident that significant trees will be protected forever. It is terrible seeing these trees cut down and lost forever.
SURVEY 27	That each tree, and its health, is routinely checked, assessed and monitored over time
SURVEY 28	That the tree is protected from removal and preserved for the benefits of future generations.
SURVEY 29	It means that the community can be reassured that Council has identified trees that are worth protecting and is taking steps to ensure that this is being achieved.
SURVEY 30	To ensure our community will retain greenery from existing or mature trees with modern density living taking precedence. Health benefits for residents, - trees provides calm and relaxed environments to residents and extremely beneficial to the native bird, bat species,, canopies also good for shade and escaping the heat.
SURVEY 31	The obligation is there to ensure proper care using an arborist, not just pay lip service
SURVEY 32	We will know what our tree stocks are. We will therefore be able to plan future growth accordingly

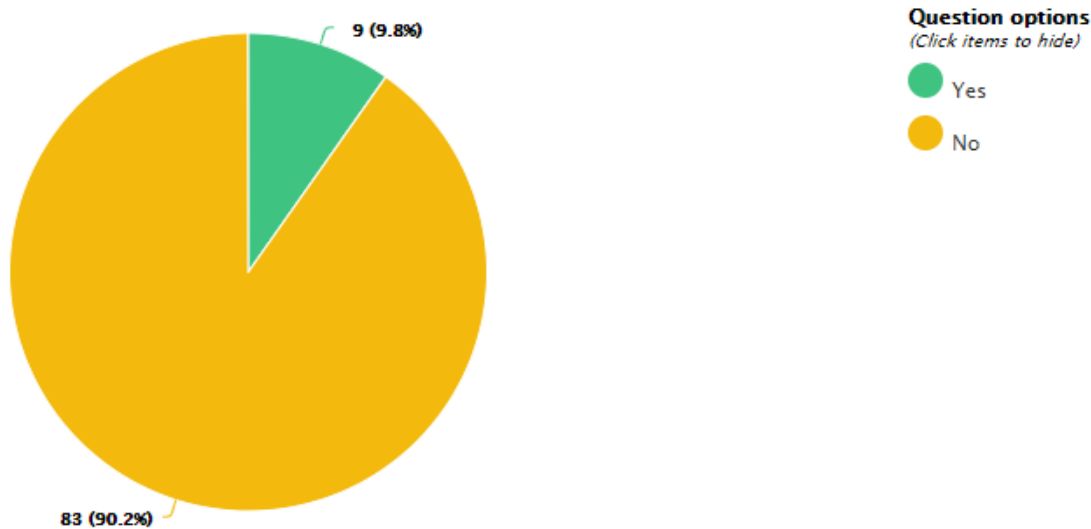
SURVEY 33	Its a tree that is monitored and tended by council. Council may also want to let the community know about these trees or promote them so that everyone can gain benefit from them.
SURVEY 34	That this tree is over a certain age and meets the criteria.
SURVEY 35	The tree is protected from uncaring and unnecessary chopping down.
SURVEY 37	Guidelines from the National Trust https://www.nationaltrust.org.au/wp-content/uploads/2016/06/Tree-Protection-in-Australia_National-Trusts-of-Australia.pdf
SURVEY 38	It means that the tree in question is officially recognised as a witness of history.
SURVEY 39	To be protected in the first instance then careful consideration before removal.
SURVEY 40	Protection and prevention from being cut down.
SURVEY 41	A set of agreed rules have to be followed to have one put on or taken off register and ethical approach taken to removing trees from properties (especially redevelopment).
SURVEY 42	that depends on how the registry is managed which includes what is going to be protected
SURVEY 43	That it can't be cut down just to make way for a new fence/house/apartment block!
SURVEY 44	Protection of our environment.
SURVEY 45	So it is acknowledged and protected for current and future generations.
SURVEY 47	The tree would be protected from removal. Pruning works would need to be carried out by a qualified person to maintain tree health.
SURVEY 48	It is protected and admired
SURVEY 49	Tree is protected from development that may threaten it. Land owners where the tree resides take custodianship and responsibility over tree's welfare.
SURVEY 50	The value of the tree is recognised. The value is not just environmental but also social, economic and ecological.
SURVEY 51	Can't be chopped down without assessment New buildings must comply with tree exclusion zones around roots and trunks
SURVEY 52	Protection registration and identification.
SURVEY 53	Maintaining trees that are valuable and enjoyable for the community as a whole. More large trees are required in parks for example to assist temperature moderation. There are many other benefits.
SURVEY 54	The tree is protected from destruction or damage. With it comes the responsibility of maintenance and joy of caring for it.
SURVEY 56	I don't know why the council are trying to define what trees should be protected
SURVEY 57	It cannot be killed by humans
SURVEY 58	That the tree should not be felled for development. This should not mean that the provision of a dodgy arborist's report would be sufficient to obtain approval to remove the tree. (Please consult some of the northern Sydney councils' regulations). That Glen Eira Council has a real commitment to saving our heritage trees through an awareness program and not continue to ignore the net destruction of trees in this municipality.
SURVEY 59	I would think that the tree will be protected from being chopped down
SURVEY 62	it will need to be cared for.
SURVEY 63	protection for tree to remain as part of the streetscape no damage or removal to be incurred against it observation as a valuable resource ongoing management
SURVEY 64	It's a celebration of all a tree provides us as humans and as part of the larger ecosystem.
SURVEY 65	Knowledge of the tree will be gathered, respect for it given, protection from damage by disease or human.
SURVEY 66	It means appreciating it, looking after it, publicize it, protect it using legal means, create a "community memory" of the tree i.e. too many people in our community today are transient, so they do not have a memory of trees/neighborhoods to cherish. Suggest giving rate relief/arborist help to ratepayers who have significant tree on their property.
SURVEY 67	we will keep the shade on hot days,, the earth has warmed up since records began,, the pollution has gotten worse,, i ve been living in glen eira for 45 years now,, and i noticed how much more concrete it has become and the traffic is awful now,, people arent relaxed going down the main shops,, all stressed,, compared to bayside ,, mental illness has increased by 200 percent,, because nature is very important,, for ones happiness and trees cool down ,, hot days,, its just going to get more congested with all the new apartments being built and more cars on the road with the pollution,, we need more parks and grass areas to offset the concrete,, and wetlands like ponds which encourage birds to come and can be very healing for the older people and people with mental illness, and a place to connect with nature,, and can be very calming,,
SURVEY 68	The trees that are listed on the Register should be the 'best of the best' of the species within Glen Eira. Trees within the Register should be used as the Benchmark for all future trees.
SURVEY 69	Protection from unlawful harm or destruction Respect for our history and environment
SURVEY 70	That the tree cannot be removed without authority. Where a tree is removed without authority a very significant penalty should apply to discourage such action. We do not want a situation where the private gain to be made by unlawful removal exceeds the penalty; this would make the whole concept totally pointless.

SURVEY 71	It would mean said trees would not be demolished as so many have been in the McKinnon/Bentleigh area due to mass development.
SURVEY 72	That there is some sort of protection for our biodiversity , neighbourhood character, wildlife, personel well being and thay take a long time to replace. You cannot replace mature trees you have to wait for them to mature over years
SURVEY 73	It would be a denial of basic property rights to deal with your own property as you see fit. Caulfield has not had such a register for 100 years so there's no need to establish one now.
SURVEY 74	yes
SURVEY 75	Council approval is required for removal if on private land, or community consultation/notice if on public land. Maybe rate payers could get a discount on their rates for maintaining a significant tree. Case in point ... On station avenue in McKinnon there was a magnificent lemon scented gum in a front yard. It got removed, presumably because in two years time they wanted to redevelop and that's the threshold for trees in the planning permit stage. Anyway, maybe if that owner had an incentive to keep the tree it would still be there providing shade and more.
SURVEY 76	That it will have more chance of surviving.
SURVEY 77	the tree is registered with GECC and cannot be removed or severally trimmed without council approval.
SURVEY 78	PROTECTION- whole neighbourhoods of trees are being removed by developers. Many streets now how little foliage at all due to multiple high rise developments.Trees should not all be cleared in this situation. Developers can then be made to both keep and respect existing mature tress and replace trees and foliage in general. Mature council trees should be protected from developers too.
SURVEY 79	that any changes or removal to the trees needs to be considered but not stop the a building or extension of a house
SURVEY 80	It means people on the ocean front cannot cut down/poison trees obstructing their view - it means those trees in particular are monitored for health of the tree and safety.
SURVEY 82	It should mean that the tree is to be saved from development, and this by strong and meaningful laws.
SURVEY 83	That the importance and value of the tree is recognised by the local community. And that it deserves to be preserved and protected. In recent years so many big, old beautiful native trees have been cut down in my area and it has been a tragedy. Especially the removal of the iron arks for the construction of the car park at Centennial Park. It should never have happened.
SURVEY 84	It would provide the community an example of that particular species as well stimulating community members to paint it, take photos of it or just enjoy looking at it.
SURVEY 85	It should provide protection for trees from developers.
SURVEY 86	That they can't be cut down without much discussion
SURVEY 87	Trees on the register, in a healthy condition, would be protected from threat of removal based on building plans, negative attitudes of neighbours or new home owners etc. I do feel their age needs to be considered as a positive factor for the beauty of our local landscape. It is tragic to see a beautiful fully established tree, cut down often by the whim of home owners or neighbours who happen not to 'like trees,' but chose to buy in that very location.
SURVEY 88	It means that the tree will effectively be the property of the Council and Community and thereby be subject to inspection and reporting, eg storm, insect and animal damage, general health and potential for special treatment including special drought management.
SURVEY 89	Pride in the neighbourhood,
SURVEY 90	I can relax knowing next time I walk past that house or in that park, a familiar giant tree, will still be there. Still there proving a gentle breeze, shade, wind block, a magpie wobble and a scent to help maintain my mental health and that of the next generation. It means our suburb can claim what trees are left have some green, yellow and purple over grey concrete.
SURVEY 91	Protection of the tree from being removed or harmed.

QUESTION 10
WOULD YOU OBJECT TO A TREE ON YOUR LAND BEING INCLUDED IN
THE REGISTER?



QUESTION 11
WOULD YOU OBJECT TO YOUR NEIGHBOUR'S TREE BEING INCLUDED
ON THE REGISTER?



ONLINE FORUM SUBMISSIONS

SUBMISSION 1

I,m not 100% sure what level of protection council is trying to achieved with the tree register. Would any tree that makes it onto the register be protected under our local law under the planning scheme or something else?

SUBMISSION 2

I support a tree register of significant trees, especially if they are protected from removal. With the rapid development of apartments in our area, far too many significant trees are being removed and the environmental effect it is having on our climate within Carnegie is significant. Along Neerim Road and around the shopping strip on hot days it is obvious and the increase in apartments and concreting has decreased the appeal of the area.

SUBMISSION 3

sorry wrong forum, back to the drawing board

SUBMISSION 4

A significant tree register is long overdue. We have lost so many beautiful trees in the past few years do to the proliferation of high density developments, where every single piece of vegetation is removed from a property. Bring this on as soon as possible.

SUBMISSION 5

think it is essential that council implements a tree register to protect significant trees. There should be a Local Law created so that offenders whom remove them are fined. All trees removed over a certain size should also require a permit prior to their removal. Surely council staff and councillors understand the many benefits and value of significant trees to the community. I was very surprised to find out a month ago that council does not have such a local law when other surrounding modern municipalities implemented this type of local law years decades ago.

SUBMISSION 6

Agree we need a significant tree register. But it needs to be accompanied by by-laws that are enforced, with significant penalties.

SUBMISSION 7

Due to the horrendous level of development which GECC does not want curb or is not able to curb our city is losing significant trees at a rapid rate - every block being prepared for redevelopment is moon raked - no attempt to save existing mature trees and incorporate them into the plans of the redevelopment. Hopefully a tree register would help to save our city from the uncaring developers!

EMAIL SUBMISSIONS

SUBMISSION 1 – 15 DECEMBER

Please find attached a submission in response to Council's consultation regarding a classified tree register. Thank you for the opportunity to comment.

Kind regards,



15 December 2017



6 Parliament Place
East Melbourne
VIC 3002

City Futures Department
City of Glen Eira
PO Box 42
Caulfield South VIC 3162

Email: conservation@nattrust.com.au
Web: www.nationaltrust.org.au

T 03 9656 9818

Re: Classified Tree Register Community Consultation

Dear Madam/Sir

The National Trust of Australia (Victoria) is the state's largest community-based heritage advocacy organisation actively working towards conserving and protecting our heritage for future generations to enjoy.

The Trust's Victorian Register of Significant Trees (the Register) recognises individual trees, avenues and important stands as valuable community assets that must be preserved. The Register has been maintained since 1982, and has classified over 2,200 significant trees, avenues and stands. The inclusion of a tree in the Register does not impose any legal obligations on property owners or occupiers, but most owners take considerable pride in the fact that one or more of their trees has been classified, and they take the responsibility of management seriously.

Trees on the Register in Victoria are increasingly covered by local government planning schemes, overlays and tree controls, but many still have no statutory protection. It is of great concern to the Trust that increasing numbers of important trees, some ancient and rare, are being lost through poor management practices, inappropriate planning and development, and incremental deletion.

The Trust therefore commends the City of Glen Eira for undertaking this consultation to inform appropriate planning mechanisms to protect trees across the municipality. Indeed, Glen Eira is known for its leafy streets, which are enjoyed by residents and visitors alike. The role of Glen Eira's urban forest is particularly significant, given that Glen Eira has a deficiency in the amount of public open space compared to other municipalities in metropolitan Melbourne.

We support well considered policies that protect the longevity of Melbourne's urban forest, in particular the protection of significant trees on public and private land; the provision of additional canopy cover to mitigate the heat island effect and provide health benefits to the community; the creation of healthier ecosystems with a greater diversity of species; the wise use and reuse of water; the multi-tiered sign off process for tree removals; the recognition that trees contribute economically and socially as well as environmentally to cities and suburbs; and the promotion of community engagement and participation. This submission provides some comments for consideration as the City of Glen Eira considers a response to community feedback.

Advice and opinions expressed by Trust members and staff are proffered in good faith on the basis that no legal liability is accepted by the Trust or the individual concerned.

Significant Tree Register

We strongly support the statutory protection of trees in the both public and private realms. Given the urban development pressures on the Glen Eira municipality, we encourage Council to prioritise a survey of trees in the municipality to inform the development of a Significant Tree Register to inform statutory controls.

We note that the City of Moonee Valley have recently contracted an arborist to review the entire municipality to identify all trees of potential significance on public and private land. This strategy of systematic identification and assessment is one that we encourage City of Glen Eira to consider. Consultation should also be undertaken with Traditional Owner groups and Aboriginal Victoria to identify trees with potential Aboriginal heritage significance. We also encourage community engagement as part of the process of identifying significant trees, through allowing members of the public to nominate trees.

Development of Local Law

We also encourage Council to pursue the protection of significant trees on public and private land under the *Local Government Act 1989* through the adoption of a multi-tiered permit process for tree removals. Requiring a permit for tree removals on public and private land recognises the significant benefit which trees provide to the community and the environment, with tree removals not only impacting individual owners, but neighbours, local amenity, and environmental values.

Neighbouring municipality, the City of Stonnington, has implemented a successful permit system through the *City of Stonnington Local Law 2008* (see Attachment 2), which requires a permit for the pruning or removal of all trees which reach the following threshold:

- trunk circumference of 180 centimetres or greater measured at its base
- total circumference of all its trunks of 180 centimetres or greater measured at its base
- trunk circumference of 140 centimetres or greater measured at 1.5 metres above its base
- total circumference of all its trunks of 140 centimetres or greater measured at 1.5 metres above its base.
- listed in Council's 'Significant Tree Register'

We commend this as a model for consideration by the City of Glen Eira and other councils.

Criteria for Assessment

The National Trust uses the following criteria to assess trees for inclusion in the Register of Significant Trees, which we consider to reflect best practice.

1. Horticultural Value

Any tree which is of horticultural or genetic value and could be an important source of propagating stock, including specimens that are particularly resistant to disease or exposure. (No sub-categories.)

2. Location or Context

Any tree which occurs in a unique location or context and so provides a contribution to the landscape, including remnant native vegetation, important landmarks, and trees which form part of an historic garden, park or town.

2.1 - Location or Context

2.2 - Historic Garden or Park

2.3 - Historic Cemetery

- 2.4 - Important Landmark
- 2.5 - Remnant Native Vegetation
- 2.6 - End of Natural Range
- 2.7 - Contribution to Landscape
- 2.8 - Historic Town
- 2.9 - Historic Planting Style

3. Rare or Localised

Any tree of a species or variety that is rare or of very localised distribution.

- 3.1 - Rare or Localised
- 3.2 - Only Known Specimen
- 3.3 - 1 to 10 Known Specimens
- 3.4 - 10 to 50 Known Specimens
- 3.5 - In the Wild
- 3.6 - End of Natural Range
- 3.7 - Disjunct Community

4. Particularly Old

Any tree that is particularly old or venerable. (No sub-categories.)

5. Outstanding Size

Any tree outstanding for its large height, trunk circumference or canopy spread.

- 5.1 - Outstanding Size
- 5.2 - Height
- 5.3 - Circumference
- 5.4 - Canopy Spread
- 5.5 - Height x Circumference
- 5.6 - Spread x Circumference
- 5.7 - Height x Circumference x Spread

6. Aesthetic Value

Any tree of outstanding aesthetic significance. (No sub-categories.)

7. Historical Value

Any tree commemorating a particular occasion (including plantings by Royalty) or having an association with an important historical event.

- 8.1 - Historical Value
- 8.2 - Cultural Group
- 8.3 - Public Feature
- 8.4 - World War 1
- 8.5 - World War 11
- 8.6 - British Royalty
- 8.7 - Non-British Royalty
- 8.8 - Visiting Dignitary
- 8.9 - Australian Public Figure
- 8.10 - Victorian Public Figure

8. Aboriginal Culture

Any tree associated with Aboriginal activities.

- 9.1 - Scarred Tree
- 9.2 - Corroboree Tree

9. Outstanding Example of Species

Any tree that is an outstanding example of its species. (No sub-categories.)

Conclusion

In conclusion, we are strongly supportive of the development of implementation of a significant tree register in the City of Glen Eira, and welcome any further opportunities to provide support for the protection Glen Eira's significant trees. We have attached relevant data from our Significant Tree Register, which can also be provided electronically. We will also continue to share any new trees registered with the municipality.

Should you have any questions about the above or require any further information, please contact [REDACTED]

Yours faithfully,

[REDACTED]

Attachment 1: National Trust Classified Trees in the City of Glen Eira

Attachment 2: Extract from *City of Stonnington Local Law 2008*

HERITAGE CITATION REPORT

Name	Picconia excelsa	File No	T11477
Address	'Grimwade House', cnr Balaclava and Orrong Roads, CAULFIELD	Significance Level	Unknown
Place Type	Tree		

**Recommended
Heritage Protection** VHR - HI - PS -

Statement of Significance

Contribution to landscape of historic garden
Rare or localised
Outstanding size

Located in the grounds of a former mansion (circa 1875) and now private school property, this is a fine example of a species uncommon in cultivation in Victoria. It is endemic to Macaronesia, occurring on the Canary Islands (Spain) and Madeira (Portugal).

A large Cedar on the north side is crowding the canopy spread.

Measurements: 02/03/1993

Spread (m): 14

Girth (m): 2

Height (m): 15

Estimated Age (yrs): 100

Condition: Good

Measurements: 28/10/2003

Spread (m): E-W 14; N-S 15

Girth (m): 2.27

Height (m): 14.8

Estimated Age (yrs): 111

Condition: Good

Access: Restricted

Classified: 11/03/1993

Picconia excelsa
Hermes No 70979

Place Citation Report

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HERITAGE CITATION REPORT

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Picconia excelsa
Hermes No 70979

Place Citation Report

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Page 3

HERITAGE CITATION REPORT

Name	Harpephyllum caffrum	File No	T11476
Address	Glen Eira Town Hall, Cnr Glen Eira and Hawthorn Road, CAULFIELD	Significance Level	Unknown
Place Type	Tree		



T11476 Harpephyllum caffrum

Recommended Heritage Protection VHR - HI - PS -

Statement of Significance

Rare or localised
Outstanding size

Located on the north-west corner of the Glen Eira Town Hall, this is a large, vigorous specimen, rare in cultivation. The Kaffir Plum is a native evergreen South African tree that grows up to 15 metres tall, and is usually found in riverine forests. The main stem is clean and straight, but the forest form often has supporting buttress roots. The bark is smooth when young, becoming rough, dark grey-brown as it grows older.

Measurements: 03/1983
Spread (m): 8
Girth (m): three branches 1.05, 0.9, 0.65
Height (m): 10.4

Harpephyllum caffrum		15-Dec-2017	11:24 AM
Hermes No 70978	Place Citation Report		Page 4

HERITAGE CITATION REPORT

Estimated Age (yrs): 60
Condition: Good

Access: Unrestricted
Classified: 28/04/1983

Recommendations

External Paint Controls
Internal Alteration Controls
Tree Controls
Fences & Outbuildings
Prohibited Uses May Be Permitted
Incorporated Plan
Aboriginal Heritage Place

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-
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Harpephyllum caffrum
Hermes No 70978 Place Citation Report

15-Dec-2017

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HERITAGE CITATION REPORT

Name	Quercus suber	File No	T11475
Address	281 Glen Eira Road, CAULFIELD	Significance Level	Unknown
Place Type	Tree		



T11475 Quercus suber

Recommended VHR - HI - PS -
Heritage Protection

Statement of Significance

Contribution to landscape.
Outstanding size
Outstanding example of species

Located in the grounds of St Marys Anglican Church (circa 1871), this prominent planting is possibly the largest Cork Oak (*Quercus suber*) of its kind in Australia.

Measurements: 02/1983
Spread (m): 19.5
Girth (m): 4
Height (m): 14
Estimated Age (yrs): 80

Quercus suber		15-Dec-2017	11:24 AM
Hermes No 70977	Place Citation Report		Page 6

HERITAGE CITATION REPORT

Condition: Good

Measurements: 25/01/2010

Spread (m): 22

Girth (m): 4.91

Height (m): 22.3

Estimated Age (yrs): 108

Condition: Good

Access: Unrestricted

Classified: 14/04/1983

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Quercus suber
Hermes No 70977

Place Citation Report

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HERITAGE CITATION REPORT

Name	Quercus suber	File No	T12073
Address	85 Narrawong Road CAULFIELD SOUTH	Significance Level	Unknown
Place Type	Tree		



T12073 Quercus suber

**Recommended
Heritage Protection** VHR - HI - PS -

Description

Physical Condition

Good

Recommended Management

MANAGEMENT ISSUES/THREATS

Footpath repair requests from Council to the owner.

Statement of Significance

Quercus suber		15-Dec-2017	11:24 AM
Hermes No 71601	Place Citation Report		Page 10

HERITAGE CITATION REPORT

Outstanding size
Aesthetic significance
Outstanding example of species

This tree is an excellent example of *Quercus suber* with excellent form and dimensions, especially in relation to canopy spread and trunk diameter. It makes a significant contribution to the urban landscape.

Measurements: 11/2003
Girth (m): 3.2
Spread (m): 11
Height (m): 9
Estimated Age (yrs): 60+
Condition: Good

Access: Unrestricted
Classified: 03/09/2004

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Quercus suber
Hermes No 71601

Place Citation Report

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HERITAGE CITATION REPORT

Name	Combretum caffrum	File No	T11485
Address	Greenmeadows Gardens, Green Street, ST KILDA EAST	Significance Level	Unknown
Place Type	Tree		



T11485 Combretum caffrum

Recommended Heritage Protection VHR - HI - PS -

Statement of Significance

Contribution to landscape of historic garden
Rare or localised

A rare specimen tree that is growing in what was once a cow paddock of Greenmeadows House estate until Council purchased the land in 1912, formed estates and developed Greenmeadows Gardens.

Measurements: 12/1982
Spread (m): 16.5
Girth (m): 2.2
Height (m): 13
Estimated Age (yrs): 70
Condition: Good

Combretum caffrum		15-Dec-2017	11:24 AM
Hermes No 70987	Place Citation Report		Page 12

HERITAGE CITATION REPORT

Access: Unrestricted
Classified: 17/02/1983

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Combretum caffrum
Hermes No 70987

Place Citation Report

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HERITAGE CITATION REPORT

Name	Eucalyptus camaldulensis	File No	T11484
Address	Greenmeadows Gardens, Green Street, ST KILDA EAST	Significance Level	Unknown
Place Type	Tree		



T11484 Eucalyptus camaldulensis

Recommended VHR - HI - PS -
Heritage Protection

Statement of Significance

Contribution to landscape of historic garden, remnant of native vegetation

This River Red Gum is a remnant of vegetation preceding urban development of the area. It is a very large specimen of great age and it is growing in what was once the grounds of Greenmeadows House until Council purchased the land in 1912.

Measurements: 02/1983
Spread (m): 26
Girth (m): 4.5
Height (m): 19.5
Estimated Age (yrs): 200+
Condition: Good

Eucalyptus camaldulensis
Hermes No 70986 Place Citation Report

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HERITAGE CITATION REPORT

Access: Unrestricted
Classified: 17/02/1983

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Eucalyptus camaldulensis
Hermes No 70986 Place Citation Report

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HERITAGE CITATION REPORT

Name	Platanus x acerifolia	File No	T11483
Address	8 Meadow Street, CAULFIELD	Significance Level	Unknown
Place Type	Tree		



T11483 Platanus x acerifolia

**Recommended
Heritage Protection** VHR - HI - PS -

Statement of Significance

Contribution to landscape.

This Plane Tree is one of the largest plane trees in Victoria and of outstanding aesthetic value. The original home was built in 1907, and it is thought the tree was planted around this time. Upon inspection in 2010, it was observed that the tree had not leafed properly due to prolonged drought.

Measurements: 02/1982
Spread (m): 25
Girth (m): 3
Height (m): 28
Estimated Age (yrs): 75
Condition: Good

Platanus x acerifolia		15-Dec-2017	11:24 AM
Hermes No 70985	Place Citation Report		Page 16

HERITAGE CITATION REPORT

Measurements: 27/01/2010
Spread (m): E-W 25; N-S 25
Girth (m): 4
Height (m): 30
Estimated Age (yrs): 107
Condition: Fair - good

Access: Restricted
Classified: 09/06/1983

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Platanus x acerifolia
Hermes No 70985

Place Citation Report

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HERITAGE CITATION REPORT

Name	Syncarpia glomulifera	File No	T11482
Address	Caulfield Park, Hawthorn Road, CAULFIELD NORTH	Significance Level	Unknown
Place Type	Tree		

Recommended Heritage Protection VHR - HI - PS -

Statement of Significance

Contribution to landscape of historic park.
Rare or localised

Located in the south west section of the park, this is a multi-stemmed upright specimen and probably a remnant of rainforest tree planting in the 1914-20. The species is uncommon in cultivation in Victoria outside the Royal Botanic Gardens. Another specimen is in Central Park, Malvern

Measurements: 12/02/1991
Spread (m): 16.9
Girth (m): 4.15
Height (m): 16.8
Estimated Age (yrs): 75
Condition: Good

Access: Unrestricted
Classified: 14/02/1991

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Syncarpia glomulifera
Hermes No 70984

Place Citation Report

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HERITAGE CITATION REPORT

Name	Choricarpia leptopetala	File No	T11481
Address	Caulfield Park, Hawthorn Road, CAULFIELD NORTH	Significance Level	Unknown
Place Type	Tree		



T11481 Choricarpia leptopetala

**Recommended
Heritage Protection** VHR - HI - PS -

Choricarpia leptopetala
Hermes No 70983 Place Citation Report

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HERITAGE CITATION REPORT

Statement of Significance

Contribution to landscape of historic park
Rare or localised

Located in the south west section of the park this species, from sub-tropical and temperate rainforest areas, is rarely cultivated in Victoria. It is possibly a remnant of rainforest tree plantings which took place during 1914-1920.

Measurements: 12/02/1991
Spread (m): 8.2
Girth (m): 1.26
Height (m): 10.1
Estimated Age (yrs): 75
Condition: Good

Access: Unrestricted
Classified: 14/02/1991

Recommendations

External Paint Controls
Internal Alteration Controls
Tree Controls
Fences & Outbuildings
Prohibited Uses May Be Permitted
Incorporated Plan
Aboriginal Heritage Place

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Choricarpia leptopetala
Hermes No 70983

Place Citation Report

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HERITAGE CITATION REPORT

Name	Cussonia spicata	File No	T11480
Address	Caulfield Park, Hawthorn Road, CAULFIELD NORTH	Significance Level	Unknown
Place Type	Tree		



T11480 Cussonia spicata

**Recommended
Heritage Protection** VHR - HI - PS -

Statement of Significance

Contribution to landscape of historic park
Rare or localised
Aesthetic value

Located at the corner of Hawthorn Road and Inkerman Street, this is a fine example of the small native African tree and provides a focal point. Since the demise of the specimen at Melbourne University, this tree is possibly the best example known in cultivation in Victoria.

Measurements: 12/02/1991
Spread (m): 9.2
Girth (m): 2.3
Height (m): 6.6
Estimated Age (yrs): 70

Cussonia spicata	15-Dec-2017	11:24 AM
Hermes No 70982	Place Citation Report	Page 21

HERITAGE CITATION REPORT

Condition: Good

Access: Unrestricted

Classified: 14/02/1991

Recommendations

External Paint Controls

-

Internal Alteration Controls

-

Tree Controls

-

Fences & Outbuildings

-

Prohibited Uses May Be Permitted

-

Incorporated Plan

-

Aboriginal Heritage Place

-

Cussonia spicata
Hermes No 70982

Place Citation Report

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HERITAGE CITATION REPORT

Name	Prunus ilicifolia	File No	T11479
Address	Caulfield Park, Hawthorn Road, CAULFIELD NORTH	Significance Level	Unknown
Place Type	Tree		



T11479 Prunus icifolia

Recommended Heritage Protection VHR - HI - PS -

Statement of Significance

Contribution to landscape of historic park.
Rare or localised
Outstanding size

Located in the south-west section, adjacent to toilet block, this tree is a large and healthy example of a species rare in cultivation in Victoria. The Holly-Leaved Cherry is an evergreen tree, producing edible cherries, with shiny and spiny leaves similar in appearance to holly. It is native to coastal California and northern Baja California as well as the desert chapparral areas of the Mojave Desert. Native Americans fermented the fruit into a drink used to get intoxicated. The tree requires sucker and epicormal growth removed from trunk, deadwooding and formative pruning. Other examples occur at Willsmere and Rosalind Park, Bendigo.

Measurements: 12/02/1991
Spread (m): 11.5

Prunus ilicifolia	15-Dec-2017	11:25 AM
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HERITAGE CITATION REPORT

Girth (m): 1.73
Height (m): 10.7
Estimated Age (yrs): 75
Condition: Good

Access: Unrestricted
Classified: 14/02/1991

Recommendations

External Paint Controls	-
Internal Alteration Controls	-
Tree Controls	-
Fences & Outbuildings	-
Prohibited Uses May Be Permitted	-
Incorporated Plan	-
Aboriginal Heritage Place	-

Prunus ilicifolia		15-Dec-2017	11:25 AM
Hermes No 70981	Place Citation Report		Page 24

HERITAGE CITATION REPORT

Name	Cryptocarya triplinervis	File No	T11478
Address	Caulfield Park, Hawthorn Road, CAULFIELD NORTH	Significance Level	Unknown
Place Type	Tree		



T11478 Cryptocarya triplinervis

Recommended VHR - HI - PS -
Heritage Protection

Statement of Significance

Cryptocarya triplinervis Hermes No 70980	Place Citation Report	15-Dec-2017	11:25 AM Page 25
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HERITAGE CITATION REPORT

Contribution to landscape of historic park.
Rare or localised

Located in the south west section of the park, this is a bushy specimen rarely planted in gardens around Victoria.
Cryptocarya triplinervis is a rainforest tree growing in tropical eastern Australia on sandy soils. It also occurs on Lord Howe Island where it is known as Blackbutt.
Caulfield Park was established in the 1890s on the site of a former swamp and major plantings occurred in the 1920s.

Measurements: 12/02/1991
Spread (m): 10.2
Girth (m): 1.4
Height (m): 11.5
Estimated Age (yrs): 75
Condition: Good

Access: Unrestricted
Classified: 14/02/1991

Recommendations

External Paint Controls
Internal Alteration Controls
Tree Controls
Fences & Outbuildings
Prohibited Uses May Be Permitted
Incorporated Plan
Aboriginal Heritage Place

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HERITAGE CITATION REPORT

Name	Quercus suber	File No	T12037
Address	Princes Park, Hawthorn Road, CAULFIELD SOUTH	Significance Level	Unknown
Place Type	Tree		



T12037 Quercus suber

Recommended VHR - HI - PS -
Heritage Protection

Statement of Significance

Contribution to landscape
Aesthetic significance

This stand alone specimen, centrally located in Princes Park, compares favourably with other specimens on the Register. This tree has excellent form, however it does have a fissure in the bark on the northern side.

Measurements: 30/11/2001
Spread (m): E-W 18.5; N-S 19.25
Girth (m): 3.43 at 1m
Height (m): 13.25
Estimated Age (yrs): 80
Condition: Good

Quercus suber
Hermes No 71538

Place Citation Report

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11:25 AM
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HERITAGE CITATION REPORT

Measurements: 12/04/2010
Spread (m): E-W 18; N-S 16
Girth (m): 3.5
Height (m): 15
Estimated Age (yrs): 90
Condition: Good

Access: Unrestricted
Classified: 05/12/2001

Recommendations

External Paint Controls
Internal Alteration Controls
Tree Controls
Fences & Outbuildings
Prohibited Uses May Be Permitted
Incorporated Plan
Aboriginal Heritage Place

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Quercus suber
Hermes No 71538

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717. Spoil from Building Sites

- (1) An owner or occupier of land or a building contractor responsible for Building Activity on that land must not allow a Motor Vehicle to leave the land on which building works are being carried out and enter an adjoining Road unless the wheels and tyres of that Motor Vehicle are clean and free from soil, earth, clay or other debris.
- (2) An owner or occupier and building contractor responsible for Building Activity on that land who allows by consent, neglect, omission or direction the matters in sub-Clause (1) to occur is guilty of an offence.

718. Building Material

A person must not, without a Permit, place any building material, rubble, plant, equipment or portable toilet on any Road or Council Land.

Division 4 - Protection Of Trees

719. Tree Protection

- (1) Unless in accordance with a Permit a person must not:
 - (a) remove, damage, kill or destroy a Significant Tree;
 - (b) carry out any works (including but not limited to trenching, digging, compaction, excavation, fill and storage of materials and equipment) within the Protected Root Zone of a Significant Tree;
 - (c) prune, cut or trim a Significant Tree; or
 - (d) direct, authorise or allow any of the above.

Note: See Figures 3 (below).
- (2) Sub-Clause (1) does not apply to:
 - (a) a person whose actions are authorised under a planning permit under the Planning Scheme;
 - (b) a person whose actions are required by any other legislation or by any other statutory authority; or
 - (c) a person acting in accordance with an instruction or direction from an Authorised Officer.
- (3) If a tree is interfered with in any of the circumstances specified in breach of sub-Clause (1) (having regard to sub-Clause (2)), the owner of land on which the tree is located is guilty of an offence, whether or not the person who actually interfered with the tree is identified or prosecuted, unless the owner can prove that the interference was undertaken by another party without the knowledge of the owner.
- (4) A person must not, without a Permit, prune, cut or trim a Significant Tree which is overhanging property owned or occupied by that person.

- (5) In deciding whether to grant a Permit under this Clause the Council must take into consideration, to the extent it considers appropriate:
- (a) whether the tree is listed in the Significant Tree Register;
 - (b) the condition of the tree, i.e. health and structural integrity;
 - (c) whether the proposed action is to be undertaken for reasons of health or safety;
 - (d) whether the tree is causing property damage;
 - (e) the effect of the proposed action on the aesthetics of the neighbourhood; and
 - (f) any other matter relevant to the circumstances of the application which is drawn to the Council's attention or of which the Council is aware.

Figure 1: Diagram illustrating how to measure a circumference of the base of different shaped trees.

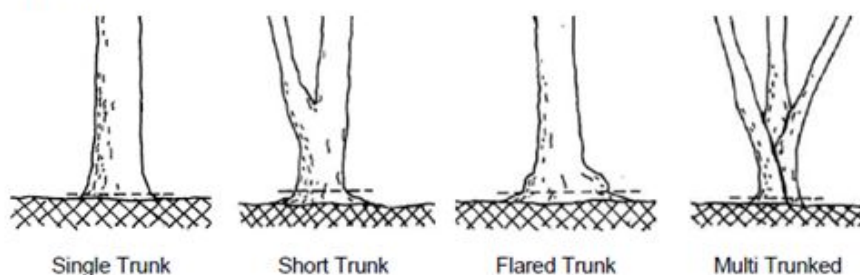


Figure 2 : Diagram illustrating where and how to measure the circumference at 1.5 metres above ground level.

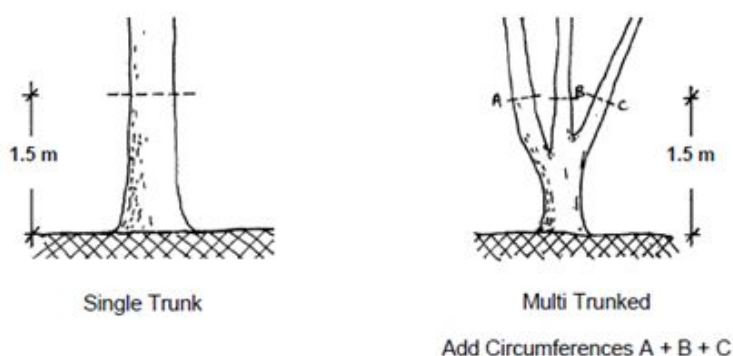
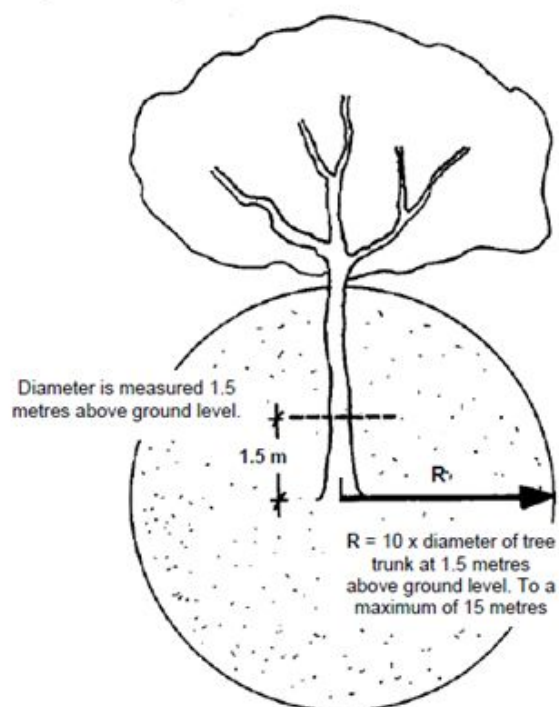



Figure 3 : Diagram illustrating how to determine the **Protected Root Zone**.



Explanatory Note for Figure 3

 Represents the Protected Root Zone. Works are not allowed without a permit in the Protected Root Zone.

SUBMISSION 2 - 17 DECEMBER

I'm not well enough to do a detailed response to your many questions but I sincerely hope you find some great suggestions on how to impliment this much- needed scheme!

The fact that other shires have them reveals an obvious short-coming when we know these natural wonders should not be taken for granted & constantly cleared to make way for so-called progress.

They give us our oxygen & greatly reduce summer temps when shading roads & dwellings- in fact their value has been quantified ,their economic value is 000s of\$! so we residents should not have to do the work of justifying the need for a register!

The sorts of trees on "private" & public land needing protection is a big issue but the very old gum at the rear of 89 Kambrook rd which is hundreds of years old, is one superb specimen! The 2 properties are up for sale, with plans to build ?9 units& underground parking. The fact I've been told that the trees may be left but so root-damaged that death occurs later & the expense of removal is left for future buyers!

THIS TREE MUST BE INSPECTED (easily seen above houses in kambrook rd) & A WAY TO TRULY SAVE IT BE DESIGNED INTO THE PLANNING SCHEME. I have watched it endure severe storms for 11 yrs & never drop a limb.

It would be a shame also to loose the triangle of about 14mixed natives on the Glasshouse/monash carpark corner nearest station. These trees are badly needed to service the native birds in the area, esp now Probuild has UNFORTUNATELY started cutting down the MANY terrific established, hardy shade trees around the perimeter of the old car park they have started building stage 2 on. Excluding this small but important corner from demolition would be a nice guesture of generosity on their part, not to see every sq metre in \$\$ terms. But maybe council COULD SAVE THEM!?! & not always seem to be under the developers' thumb?

I know there are MANY other wonderful specimens in the shire that I trust others will write to you to ask for protection of..we HATE seeing them cut down!..even the dozen or so in Hammond Care's carpark, pre new caulfield hospital buildings- NOT ONE LEFT TO BE DESIGNED AROUND! FRankly this is outmoded thinking when we then install air conditioners& attempt to make the buildings somehow psychologically & emotionally satisfying!

I hope these thoughts will be added to the responses you receive & the weight of public opinion that our few remaining trees are ALL important
TREES ARE VITAL FOR LIFE EVERYWHERE!
yours in hope , [REDACTED]

SUBMISSION 3 - 17 DECEMBER

Classified Tree Register Submission Dec 2017

I am very in favour of a tree register. We moved to Glen Eira (25 years ago) partly because of the green environment and beautiful giant gums. With very little control over tree removal, unlike other still green suburbs, apartments and massive houses have seen the sad destruction of many established trees.

I do not understand how you can still cut down massive oak or gum trees, and leave nothing but a dusty dirt block to build a massive concrete "home". The leafy suburbs are usually the most expensive to live in and if we keep the chainsaws warm we will end up in concrete ghettos.

I would like the age of the tree, and not just the girth of the tree taken into consideration. Trees that add to neighbourhood character, often being admired from several streets away should also be given respect and supported to thrive.

Some trees are markers to historical events in Glen Eira. This history should be shared and provide a sense of familiarity or home to residents. The gum tree next to McKinnon station was an example of this until the crossing was removed. Although the tree remains, we cannot see and enjoy its trunk and ghostly branches as we arrive and depart McKinnon. Large (Norfolk) pine trees also provide beacons of the familiar. Sadly there are not many left.

With the massive increase in residents due to the explosion of apartment developments we need to save what trees are left, and move quickly. We need the trees to clean and cool our air, prevent water runoff and provide a safe home for our magpies, parrots, cockatoos and other birdlife/wildlife.

I am walking in our streets every day and I feel a connection to the trees. The beautiful canopies and leaves swaying in the breeze reduce my stress and have a positive effect on the people around me. I am very upset, often to the point of tears when a familiar tree is lopped to the ground, usually without warning. The green canopy gone, vanished, along with the filtered shade and wobble of the regular magpie.

Other trees that lean to their side or stumble to the ground due to Mother Nature provide an opportunity for young children to climb and have tremendous adventures in our parks as well. Another large gum in the middle of Allnutt Park has been there longer than any of us and provides a sense of strength to all who visit the park. The large pine tree on the Wheatley Road side of the park has stayed strong, whilst many a young child have climbed her and shouted with achievement as they reached the top.

There was a beautiful Poplar? Within the car park of Bentleigh library, this has been removed and replaced with asphalt. This tree provided great shade for many cars during our hot summers, whilst we were in the library. The tree register should maintain the trees in car parks as well as residential blocks and parks. The large gum at the rear of Ben's bookshop (Centre Road) is another example of great beauty that could be enhanced rather than removed. There is an oak/elm tree in the car park behind the Salvation Army building in Bentleigh. We all hope to be able to park under her for shade and pause just a moment to get out of the busyness of shopping.

Let's not forget the beautiful purple jacaranda trees either. Large Liquidambars and Silky oak Grevillea providing the yellow and orange to our streetscape. The huge Magnolia trees and their huge creamy flowers are magnificent.

Council should also discuss possible restrictions on removing well established hedges from private property.

We can never substitute these trees with “a replacement tree”. Above all else we need to save the old Eucalyptus, the lemon scented, the ghost gum, the red gum etc. The gums along the Elster Creek Canal MUST be protected.

I wish to thank Council for considering a Classified Tree Register, and inviting the community for feedback. However hope further discussion and submissions can be called for later in 2018. Many residents are distracted with Christmas and holiday arrangements during December. We do not have time to look up names and past user names and enter lots of explanation. This does not encourage a true process of consultation from ratepayers, and quite frankly is very disappointing. If you are serious about feedback I suggest you run the questions again after January in 2018.

Yours sincerely



Glen Eira Resident

SUBMISSION 4 - 18 DECEMBER

Hi,

I wish to thank the council for giving Ratepayers an opportunity to have their say re a Tree Register. Unfortunately we missed the closing date by a day but would like to state that we are very supportive of the need to preserve mature trees on private land as well as council land.. We were sad to see that you had only 7 responses, six were supportive which was great . There have been 66 planning applications since 17th November which means most of those that are approved the owners will be clearing the land completely removing all mature greenery which very rarely gets replaced. Council advocates taking care of the environment but most Developers have no regard whatsoever nor do most new owners as we have observed.

We live in a street which has 25 properties , 12 are single storeys & 17 are double storeys including 3 dual residences, we feel very hemmed in. Only one Dual property has nice mature trees & shrubs planted by the original builder.. Only for the council planting trees on nature strips our streets would be extremely bare & uninteresting, we appreciate Council for doing so.

Thankyou for your attention.

Sincerely

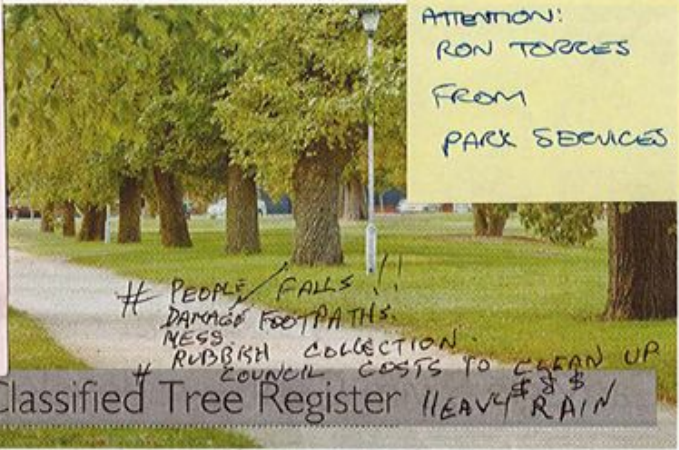
[REDACTED]
[REDACTED] Bentleigh East

Thankyou

SUBMISSION 5 - DECEMBER

DEC 2017 Vol 233

YOU ARE SENSITIVE
PARTICULAR NEEDS
? TREES THAT ARE
INSIDE YOUR BEDROOM
INDOOR, HAVE THEM
MOVED.
7. ALLERGY + HAY FEVER
N HEALTH SERIES,
POLLEN



ATTENTION:
RON TORRES
FROM
PARK SERVICES

Have your say on a Classified Tree Register

PEOPLE FALLS !!
DAMAGE FOOTPATHS
MESS
RUBBISH COLLECTION
COUNCIL COSTS TO CLEAN UP
HEAVY RAIN

Have your say on a Classified Tree Register

council is currently considering the
implementation of a Classified Tree
Register, and we want your views.
The Register could contain a list of
trees within the municipality that are
considered significant and warrant
protection. These trees may be on public
or privately-owned land.
This commitment in the Glen Eira Council
Local Community Plan 2017-2021 is to
consult with the community on the
implementation of a Register.
We are asking the community the
following questions to determine
whether a Classified Tree Register should
be implemented and, if so, what type of

trees should be included.

- Should Council protect significant
trees in Glen Eira? NATIVE
- What do you consider to be a
'significant' tree? LOW POLLEN LEVEL
- Should Council protect significant
trees through a Tree Register? If not,
what other control should be used?
PARKS / GARDEN DEPT
- What do you believe the purpose of
a Tree Register should be?
- Should Council protect Council-
owned trees as well as private? NO
- What type of trees should be
protected (eg. indigenous)?
NOT "PLANE TREES
HIGH MAINTENANCE"

- How should a tree be assessed as
being worthy of protection? DANGER
ROOT PATHS, MESS
- What does it mean having a tree on
the Tree Register? PARKS / GARDENS
DEPT
- Would you object to a tree on your
land being included on the Tree
Register? YES
- Would you object to your
neighbour's tree being included on
the Tree Register? NO

To provide your feedback, visit
www.glenaira.vic.gov.au/tree-register

The opportunity to provide feedback is
available until Sunday 17 December 2017.

FACEBOOK SUBMISSIONS

SUBMISSION 1 - 1 DECEMBER

No interest I - witnessed what the did to the well established cypress pine trees that used to border McKinnon oval. Healthy trees cut down for no advertised reason.

SUBMISSION 2 - 2 DECEMBER

And took all the shade too.

SUBMISSION 3 - 3 DECEMBER

Didn't stop the State Government removing rare Gums in Murumbeena to put sky rail through Where were the Greenies. Very silent

SUBMISSION 4 - 3 DECEMBER

And all the trees at the back of Caulfield Hospital. Huge old gums. Gone

SUBMISSION 5 - 4 DECEMBER

Bit late, don't you think? You stood by and did absolutely nothing when the LXRA chopped down significant trees that weren't even in the path of Skyrail - remember Boyd? Pathetic and weak.

SUBMISSION 6 - 4 DECEMBER

Very tired of councils wanting to change this and that. I think they want to look as if they are busy in the office.

SUBMISSION 7 - 4 DECEMBER

Why would city of Glen Eira be interested in keeping anything historical . We hve witnessed the demolition of countless homes to be replaced by soulless apartment buildings. I know, may be a register of brothels and nail bars !!

SUBMISSION 8 - 4 DECEMBER

Absolute farce!! You stood back and did nothing when the LXRA chopped down significant red river gums in murrumbeena that were not EVEN in the path of the Skyrail!!!!

SUBMISSION 9 - 6 DECEMBER

too busy with rainbow flags...

SUBMISSION 10 - 6 DECEMBER

Of course they should

SUBMISSION 11 - 6 DECEMBER

It's great how you all whinge about trees and yet are happy when a private developer chops down trees to build ugly, energy inefficient apartments. It's so easy to cherry pick an issue and then blame people who care about environment and social issues.

SUBMISSION 12 - 6 DECEMBER

What's the bloody point!!! Everything is to be demolished, trees, houses... Bloody greedy council, continuously approving demolition of beautiful homes with character in favour of horrible apartment blocks, because they're absolutely lacking in the area, it's all about rates and how much \$\$\$ you can pocket!!!

SUBMISSION 13

Disgraceful & disappointing.

SUBMISSION 14 – 7 DECEMBER

None of these people in glen eira should be paid they talk nonsense and do nothing!!!

SUBMISSION 15 – 9 DECEMBER

I believe we have one in the SurfCoast shire.

SUBMISSION 16 – 10 DECEMBER

And stop planting bloody plane trees please

SUBMISSION 17 – 12 DECEMBER

Carnegie has being destroyed

SUBMISSION 18 – 14 DECEMBER

Nothing more left of our 'Village' that I chose to move to 16 years ago.

SUBMISSION 19 – 14 DECEMBER

Tag I wish I hadn't moved in 5 years ago! Can't wait to move out!

SUBMISSION 20 – 12 DECEMBER

Hurry up Just get on with the register already Trees are being lost every week

SUBMISSION 21 – 13 DECEMBER

Yes great idea-- Trees are so important..

SUBMISSION 22 – 14 DECEMBER

Yes bayside protects trees

SUBMISSION 23 – 14 DECEMBER

When are we getting CC tv to help protect us in Glen Eira when shopping, in car parks etc???

SUBMISSION 24 – 15 DECEMBER

As long as they don't pull them down, protect the trees please.

SUBMISSION 25 – 16 DECEMBER

If you value nature create more open spaces and plant more trees

SUBMISSION 26 – 16 DECEMBER

Yes!!

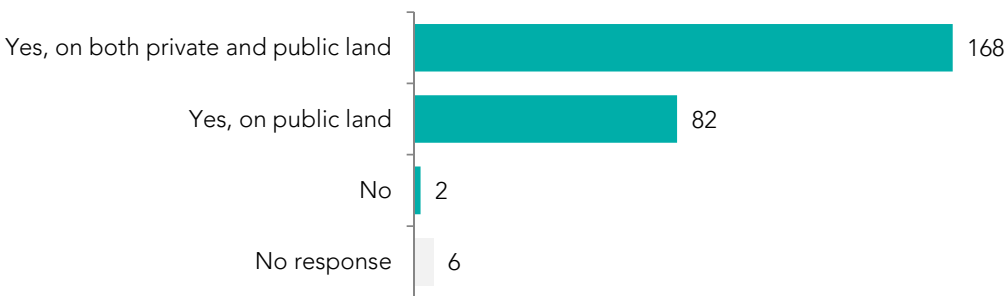
COMMUNITY VOICE CONSULTATION SUMMARY ON TREE PROTECTION

This section sought views on tree protection in Glen Eira, whether or not tree protection controls should be implemented, and where (on public or private land or both). It asked for views on what attributes would make a tree (on public and private land) worthy of protection, and for ideas on how an appeals process might be conducted should there be disagreement on a decision by Council.

- The overall view of Community Voice was that Council should protect at least public trees in Glen Eira. 96.9% of respondents (250) thought Council should protect trees on either public land only or both public and private land. The largest group of (168) respondents, (65.1%) was in favour of protection on both private and public land.
- The attributes considered most worthy of protecting a tree were similar for public and private trees; rare and localised species attracting the largest number of 'high' ratings .
- Respondents suggested a range of considerations that should be considered in an appeals process, including characteristics of individual trees (environmental contribution and benefit and safety issues), where they are located (public/private land), who should make an appeals decision (a panel, an independent arbitrator, the elected Council), how and the involvement of the local community. Almost all comments related to the development of an appeals process with very few suggesting that such a process should not be implemented.

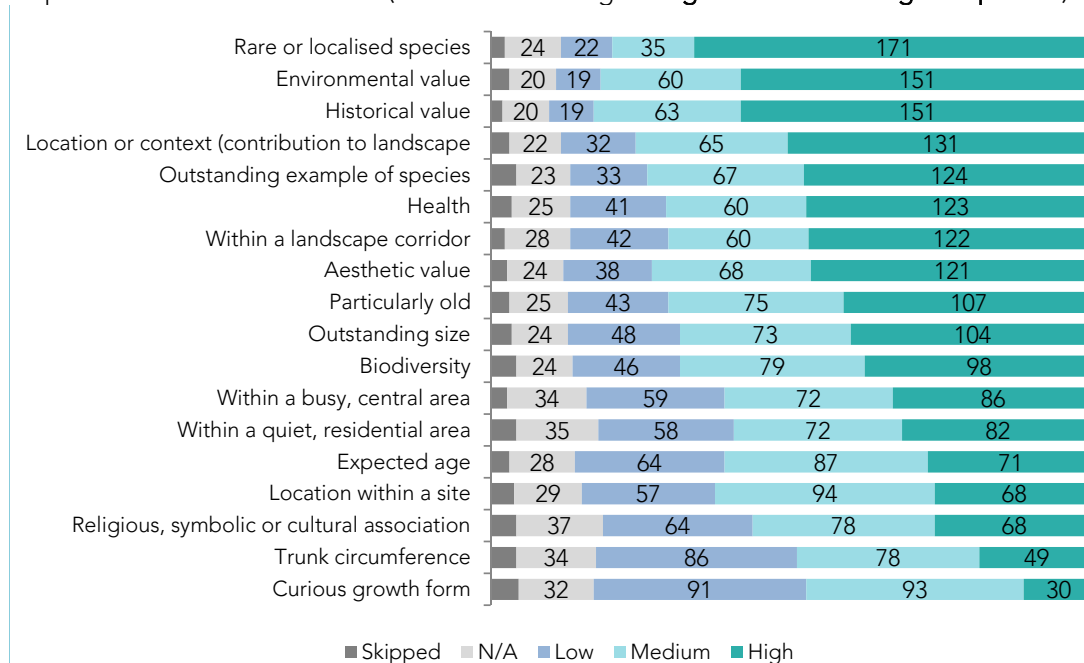
Q1.1 SHOULD COUNCIL PROTECT TREES IN GLEN EIRA?

For this question, respondents could select one option only. As shown below, 'Yes, on both private and public land' was selected by 168 (65.1%) of respondents. 31.8% of respondents were in favour of tree protection on public land only.



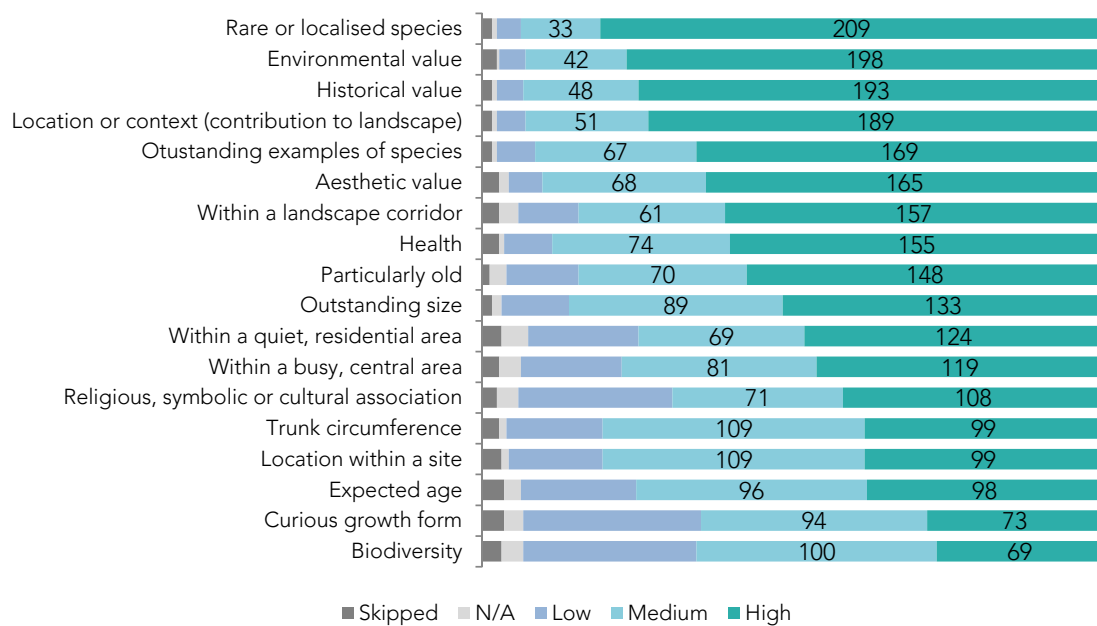
Q1.2 WHAT ATTRIBUTES WOULD MAKE A TREE WORTHY OF PROTECTION ON PRIVATE LAND?

For this question, respondents were asked to rate a series of attributes as high, medium, low or not applicable for *private* land. The graph below shows the distribution of these responses across each attribute (ordered according to **largest number of 'high' responses**)



Q1.3 WHAT ATTRIBUTES WOULD MAKE A TREE WORTHY OF PROTECTION ON PUBLIC LAND?

For this question, respondents were asked to rate a series of attributes as high, medium, low or not applicable for *public* land. The graph below shows the distribution of these responses across each attribute (ordered according to **largest number of 'high' responses**)



Q1.4 IF A RESIDENT OR GROUP DISAGREES WITH COUNCIL'S DECISION TO EITHER RETAIN OR ALLOW REMOVAL OF A TREE, HOW SHOULD AN APPEALS PROCESS BE CONDUCTED AND WHAT SHOULD BE CONSIDERED?

A total of 215 respondents provided a response to this question. The table below sets out themes and key points raised. See the Appendix section of this report for the full list of responses.

THEME	POINTS RAISED	No.
An appeals process should consider the characteristics of the tree and its location or placement	<ul style="list-style-type: none"> Environmental impact, health, history, size, type of tree, biodiversity of environment, cultural significance all important to consider in an appeal Can the tree be re-located to another site? The safety of the tree and the risks posed to people and homes should be considered There should be different considerations for trees on public vs private land Only trees on public land should be part of any protection regime (and hence part of any appeal regime) 	50
Community involvement in decision making	<ul style="list-style-type: none"> Appeals should be decided by a vote of residents in the street A random survey of surrounding streets should decide the issue All appeals should include community consultation Appeals should involve a submissions process Notification should be placed on public trees subject to an appeal, with community input invited Letterbox locally to notify residents in a set radius of a tree 	30
Scope of an appeals process	<ul style="list-style-type: none"> There should be a well document policy and approach to tree management Any appeals process should be consistent with a municipality-wide greening/environmental plan An appeals process should be underpinned by differentiated treatment of public/private trees Private trees should be out of scope Council should have a publically available protected tree register State government guidelines should be followed Council's default position should be tree protection – this should be the underlying intention of an appeals process 	28
A panel/committee should decide on an appeal	<ul style="list-style-type: none"> Appeals should be heard by an independent expert panel Panel appointed by Council Committee formed of residents and Council staff Group of interested persons A panel should hear appeals on public tree retention/removal Panel of elected councillors plus experts 	26
The role of an independent decision maker/VCAT (a mix of views)	<ul style="list-style-type: none"> Appeal process should not be council-led VCAT should hear appeals in the first instance VCAT should hear appeals that cannot be resolved after some kind of council review An independent body (not necessarily VCAT) is needed VCAT should be avoided 	26

THEME	POINTS RAISED	No.
	<ul style="list-style-type: none"> The process should be managed within Glen Eira Council VCAT should hear appeals on decisions only about trees on public land 	
Quality and conduct of the appeals process	<ul style="list-style-type: none"> Process should be short/timely/efficient Process should not result in substantial costs Process should be ethical and conducted transparently Process should be public and widely communicated Process should have clearly defined, transparent rules 	24
Other considerations that should be part of decision making	<ul style="list-style-type: none"> An appeals process should be comprehensive and consider all matters relevant to a situation Benefits to community vs risks Appeals process should reference a set of established criteria but also be circumstance dependent (case by case) 	23
Expert knowledge	<ul style="list-style-type: none"> Soliciting an independent expert's advice should be part of the process Expert advice should include traditional custodians Expert advice should decide/determine the appeal Valuation of a tree, as determined by an independent arborist/environmental expert, should be an important factor in the appeal 	21
Initiating an appeal	<ul style="list-style-type: none"> Appeals should be initiated by filling out an application form, completing an online form/ requesting a review in writing An appeals should follow council setting out and publishing reasons, a resident/group making a submission (following guidelines) if they disagree Concerns should be lodged via the website 	16
An appeals process should consider the views of stakeholders	<ul style="list-style-type: none"> The arguments put forward by stakeholders should be considered Particularly important for trees on private land More weight should be given to owner views depending on whether the tree is located on private property Owners' intentions for the land should be considered Process should offer equal hearing to surrounding residents as well as owners/developers 	13
When decisions are made (with or without approval) for a tree removal	<ul style="list-style-type: none"> Tree removals should be balanced by tree replacement If a tree cannot be protected, some kind of environmental surcharge or addition should be part of an appeal settlement As long as a tree is replaced on private property, tree removal should be allowed (and not subject to an appeals process) 	11
Deciding on an appeal should be via negotiation	<ul style="list-style-type: none"> Parties should meet to discuss/reach an agreement via negotiation Face-to-face discussion between Council staff/interested residents and stakeholders 	11
Other	<ul style="list-style-type: none"> Same process as other councils 	11

THEME	POINTS RAISED	No.
	<ul style="list-style-type: none"> Process across local governments should be centralised Umpires decision 	
Involvement of the elected Council	<ul style="list-style-type: none"> Councillors should review decisions of Council staff Appeals should be a Council decision Appeals should be heard at Council meetings Appeals where there is significant community concern should be held at councillor meetings 	7
Parties involved in an appeal should have to/be able to	<ul style="list-style-type: none"> Appellants should be able to present additional information The onus for presenting evidence should be on those appealing Appellants should have to complete documentation and provide a case 	6
General support for an appeals process	<ul style="list-style-type: none"> Support for an appeals process 	6
Appeals should follow the same process as a planning application	<ul style="list-style-type: none"> Standard appeals process consistent with planning applications (submissions, objections, panel hearing threshold for councillor involvement) 	5
Who should be able to make an appeal	<ul style="list-style-type: none"> Single residents should not be able to make an appeal Should be a limit on the number of appeals an individual is able to make on a decision Should be different requirements involved depending on who is appealing (resident, commercial developer) 	3

ILLUSTRATIVE QUOTES

"Initially there would need to be a survey identifying significant trees. If a land owner has a tree designated as significant, they would have to advise Council that they want to cut it down. Once the initial decision is taken, residents could have an advertised period in which to lodge an appeal to Council requesting that the wider context (about that particular tree) is considered." **(Female, 60-69 years, Carnegie)**

"An arborists' report should be produced by an independent body to determine the tree's health and value. The impact on the resident or group should be strongly considered as I do believe it can be unfair to force an owner to do something quite specific on the land they own and are responsible for maintaining. An independent body should oversee an appeal, but I would hope this could avoid VCAT, which would seem excessive." **(Female, 25-34 years, Elsternwick)**

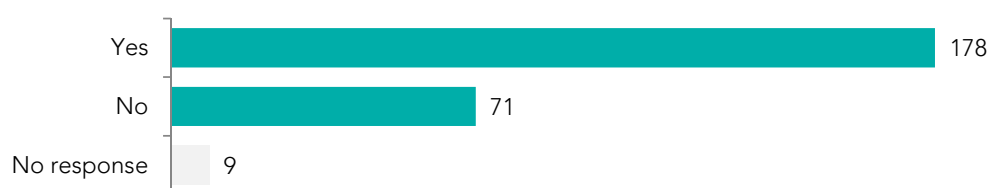
"I feel that if a tree is on private land, it would have to be of extraordinary heritage value to overrule the rights of the person who owns the land. An ideal appeals process would be efficient - that is, once a decision is made by Council, you would have 30 days to lodge an appeal. The people appealing should have to present evidence outlining why the Council decision is incorrect, and that evidence should be presented to Council and one to two expert assessors with regard to the tree's significance. The decision at that point could either be changed or retained. No further appeals should be able to be made after this process - seems insane to spend months trying to decide the disposition of a tree." **(Female, 25-34 years, Carnegie)**

"If the dispute is with council, an appeals body should have some level of independence

from council. The question would be whose expertise is deemed important for appeals' body members, and how formal the process should be. The body could consider the effect of the decision on the tree and its local environment, on the development of a site and the alternatives to removal." (Male, 50-59 years, Elsternwick)

Q1.5 SHOULD A TREE BE PROTECTED IF ITS LOCATION IS POSSIBLY PREVENTING THE DEVELOPMENT OF A SITE?

For this question, respondents could select yes or no. As shown in the graph below, 'yes' was selected by 68.9% (178) of survey respondents.



A number of respondents provided commentary on this question in the following open-ended question 1.6.

Q1.6 DO YOU HAVE ANY FURTHER COMMENTS TO MAKE ABOUT PROTECTING TREES IN GLEN EIRA?

A total of 170 respondents provided a further comment to this question. The table below sets out themes and key points raised. See the Appendix section of this report for the full list of responses.

THEME	POINTS RAISED	No.
Context and trade-offs for the protection of a tree in a development site	<ul style="list-style-type: none"> Assessment should proceed on a case-by-case basis, considering a range of variables Small residential renovations shouldn't be restricted by vegetation Depends on whether the development is public or private and residential or commercial Depends on the street/residential area Needs to be subject to a set of considerations/ policy 	31
Certain trees should be protected, others should not	<ul style="list-style-type: none"> Only significant trees should be protected Trees shouldn't be protected if they interfere with neighbouring properties Introduced species, trees that are unsafe should not be protected Native species important to local biodiversity should be prioritised Old trees critical to history of place Mature trees cannot be easily replaced, critically important to 	22

THEME	POINTS RAISED	No.
	preserve	
The planning, policy and community education challenge in Glen Eira	<ul style="list-style-type: none"> · Council needs a policy on trees and how they fit into the streetscape · Council should look at National Trust criteria for tree protection for policy direction · Adopt a tree succession plan · Tree targets for each area · Council libraries should inform people about local trees · Promote biodiversity and landscape corridors · Set up a sponsoring regime for significant trees 	21
Tree protection overall	<ul style="list-style-type: none"> · No need to protect trees, costly and not worthwhile · Trees should be protected, good idea, should be supported 	19
The contribution of trees to community and environment	<ul style="list-style-type: none"> · Trees critical for combating climate change, preserving biodiversity, community wellbeing, the look and feel of neighbourhoods and places 	17
Tree replacement for tree loss	<ul style="list-style-type: none"> · Tree loss should be balanced with tree replacement · Additional tree planting should be a mandatory requirement · Equivalent trees should be planted for trees lost 	17
Concerns about previous question/s	<ul style="list-style-type: none"> · Concern about the lack of capacity to qualify answer, question 1.5 not a yes/no issue · All depends on context, situation 	14
Observations on the direction of development	<ul style="list-style-type: none"> · Current development in Glen Eira is indiscriminate · Council not doing enough to manage development and tree loss · Green space is being lost 	13
Should be other requirements for developers	<ul style="list-style-type: none"> · Standard amount of green space required per dwelling · Trees should have to be replanted · Development plans should be altered around developments · Trees should have to be included in large developments 	12
No comments	<ul style="list-style-type: none"> · No, no comment 	12
Trees on private land	<ul style="list-style-type: none"> · Trees on private land should not be a concern of Council · Owners of private land should have the right to decide the outcomes of their own trees · Owners should be able to remove diseased or damaged trees without having to apply for permits · Trees on private land have benefits that are community-wide · Any new requirements for private tree protection would have impacts on land use/ land use options, cause people not to buy in Glen Eira · Tree preservation should be a partnership between public and private owners – private and public part of the same environment 	12
Tree loss in Glen Eira	<ul style="list-style-type: none"> · Observations of tree loss generally · Tree loss in particular locations 	11
Potential for creative combination of trees and developments	<ul style="list-style-type: none"> · Innovative design that incorporates trees in development should be highlighted and encouraged 	6
Council decisions on trees	<ul style="list-style-type: none"> · New trees being planted are introduced species 	6

THEME	POINTS RAISED	No.
	<ul style="list-style-type: none"> · Planting large trees under power lines · Old trees being replaced with poor varieties · Maintenance of trees not satisfactory 	

ILLUSTRATIVE QUOTES

"I always feel angry when I notice a big old gum or the like has been cut down. As I know these trees cannot be replaced. The once giant tree that made for a landmark in my area has gone and it makes me sad to think of all the history lost and that I won't be able to enjoy the beauty of the tree anymore." (Female, 25-34 years, Bentleigh East)

"The tree should be protected only when it is significant and it's removal would have a significant impact on the wider environment. This should be taken into account during planning permission discusses." (Male, 35-49 years, Bentleigh)

"The libraries within Glen Eira could better inform the communities they serve about the local trees in our parks and gardens, their names, their uses for local fauna, the history of different plantings; for example the flora in Koornang Park has changed in recent years, there's no information about why the change, what plants have we got there now and why were they chosen." (Female, 60-69 years, Carnegie)

"The above question is not a clear cut "yes" or "no". If the tree/s are on the boundary and have significance whether it be historical or other valid reason, then where possible, development should be designed to incorporate and protect those trees. Where trees are set well within the boundaries and there is a potential to severely limit and impact development prospects then it might be deemed unreasonable to protect the tree/s. There is certain criteria that needs to be met, including the position and location of the trees as well age, history, species, aesthetics etc before deciding if a tree should be protected or not. There needs to be balance between the development of the block and the retention of trees with an emphasis on the latter in quieter residential areas." (Female, 50-59 years, Murrumbeena)

9.8 INTEGRATED TRANSPORT STRATEGY - 2018-19 PILOT PROJECTS

Author: Melodie Silva, Coordinator City Advocacy and Place Engagement

Trim No: 18/1211464

Attachments: 1. Shortlisted Pedestrian Safe Neighbourhoods – Safe School Zone Pilot options
2. Shortlisted Corridor Improvement - Safe Cycling Corridor Pilot options

PURPOSE AND SUMMARY

The purpose of this report is for Council to endorse the commencement of planning and implementation of the *Integrated Transport Strategy* pilot projects for 2018-19 financial year:

1. Pedestrian safe neighbourhood (Safe School Zone) pilot, and;
2. Corridor improvement (Safe Cycling corridor) pilot.

RECOMMENDATION

That Council endorses the commencement of planning and implementation of the following Integrated Transport Strategy pilot projects for 2018-19 financial year:

- a) Coatesville Primary School Pedestrian Safe Neighbourhood Pilot; and
- b) Inkerman Road Safe Cycling Corridor Pilot.

BACKGROUND

On 12 June 2018, Council resolved to adopt the *Integrated Transport Strategy (ITS)*. The *ITS* will act as a high-level strategic document to provide a cohesive transport framework that integrates with the land use planning framework and the collective vision set by Council's *structure planning* program.

Importantly, the *Strategy* will also be used to guide improvement decisions for the transport system within the City of Glen Eira, and meet the municipality's need to plan for growth and change.

Like many inner-city areas, Glen Eira is now reaching a critical tipping point, where the existing road network can no longer provide an easy, smooth run for vehicles that have historically made driving the more attractive option.

In addition, Glen Eira is one of the highest commuting Councils in the State with approximately 80 per cent of our residents working outside Glen Eira and 66 per cent commuting to work by car. It is clear that many of our residents are regularly stuck in traffic, which can be unproductive, frustrating and stressful.

If the current rate of car commuting is applied to the projected growth in the working population, it is expected that 61,200 of Glen Eira's residents will commute by car in 2031, which is an additional 8,400 residents commuting by car compared to 2016 figures (*Glen Eira Transport Data Review*, SGS 2018).

Put simply, an increase of vehicles on our fixed road network will lead to an increase of congestion and parking concerns.

A goal has been established in the ITS to 'strive for a 50:50 mode share of car and non-car trips by 2031'. To achieve this goal, the ITS identifies ways to reduce car use by transitioning

980 private vehicle commuters onto other modes every year for the next 15 years (to account for the projected population growth).

ISSUES AND DISCUSSION

The *Glen Eira Council and Community Plan 2017-2021* outlines the following commitments, under *Theme Two: Accessible And Well Connected*:

Our 2018–19 Commitments

We will develop pilot projects in line with our new Integrated Transport Strategy, with a focus on creating safer and walkable neighbourhoods.

Measurement

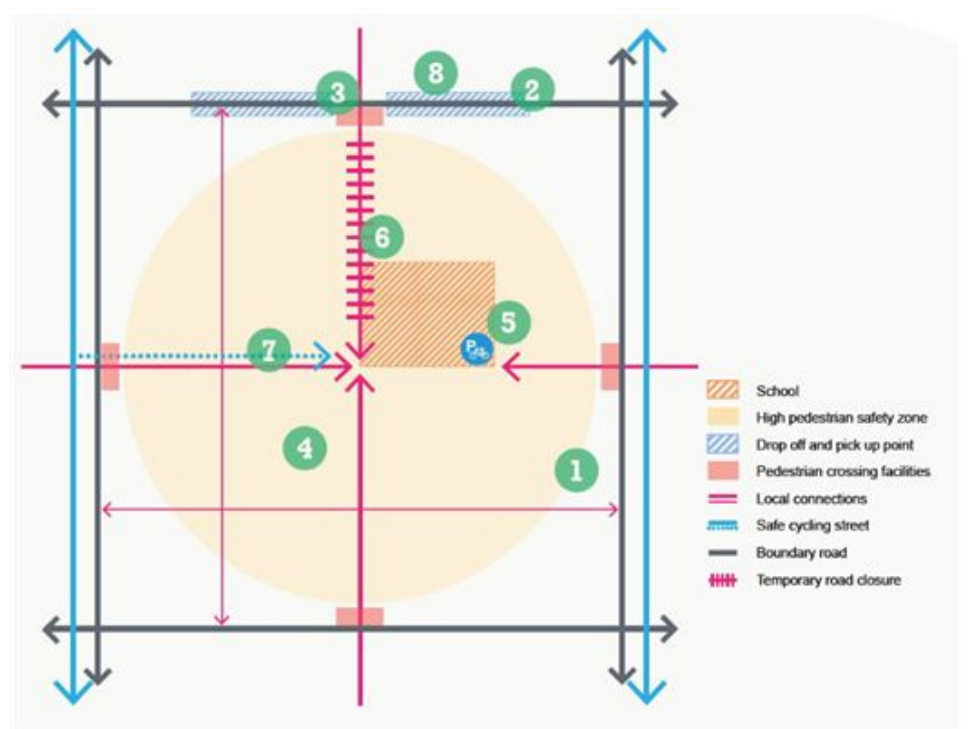
- Pilot one pedestrian safe neighbourhood project.
- Pilot one corridor improvement for safe cycling project.

2018–19 Pilot Initiatives

The ITS sets out a range of pilot projects to address the increasing congestion and parking concerns facing the Glen Eira community and wider Melbourne. Options for pilot projects that are proposed to be undertaken in 2018-19 financial year, in line with *Community Plan* commitments, are explored further in this report.

A pilot project is a way for the Council to test new and innovative transport ideas. By undertaking detailed data collection and analysis, involving the community and taking away key learnings – these pilot projects will become increasingly valuable as Council continues to ensure the high quality of liveability our residents expect in times of challenging pressures.

Pedestrian Safe Neighbourhood Pilot – Safe School Zone



What are safe school zones?

Safe school zones have a strong focus on accessibility and safety for all users. These zones should provide for a range of safe travel options while not impacting on the amenity of nearby residents.

The objective:

- Provide an environment that encourages active and independent travel.
- Ensure existing and future amenity of the area when designing movement around a school zone is protected and enhanced.

The action:

Work with a local school and neighbourhood to develop new ways to encourage behavioural changes and reduce the reliance on car-based transport.

Implementing a safe school zone will promote accessibility and safety for all users and drive behavioural change within the school community, towards making riding and walking to school normal for all children once again.

Approach to implementation:

1. Shortlist Precincts

WE ARE HERE

Officers have identified four possible safe school neighbourhood pilots. These have been compiled based on a variety of factors including recent traffic and parking issues, geographical location and locations that have clear identifiable opportunities.

2. Selection of Safe School Neighbourhood to pilot

Council decides on location to commence pilot program. Officers prepare communication and engagement strategy and commence required preliminary works (feature survey, consultancy appointment) and data collection.

3. Write to precinct

Council writes to the precinct informing that their neighbourhood has been identified for a Safe School Neighbourhood pilot program and call for expressions of interest for a community reference group.

4. Commence data collection

Data collection is integral to understanding both the current system and having the ability to measure the successes of the pilot. Types of data to be collected would include:

Quantitative	<p>Vehicle volumes and speeds</p> <p>Pedestrian and bicycle counts</p> <p>School arrival mode %</p> <p>Rat running numbers</p> <p>Resident complaints</p>
Qualitative	<p>How great is your neighbourhood</p> <p>Perceptions of safety for walking and cycling</p>

5. Issues and Opportunities paper

Using the data collected, officers will then work with the neighbourhood through a detailed engagement process to prepare an issues and opportunities paper. At this stage a shared vision for goals, outcomes and metrics would be determined to help guide the project and measure successes.

6. Design Workshop (Councillors and Reference Group)

Workshops are held with community reference group and preliminary designs are produced to be further workshopped with Councillors.

7. Draft Precinct Plan

A draft precinct plan is then produced using data collected and involvement from wider stakeholder group, community reference group and Councillors. Any third party approvals (e.g. from VicRoads are obtained)

8. Final Design

A final design is completed and produced for Council endorsement. This will include a staged construction programme for implementation of the precinct plan.

9. Construct (Implement)

Works are undertaken to implement the precinct plan design.

10. Measuring Success

After completion of construction and allowing the neighbourhood to settle and develop their new movement and behaviour patterns, officers will evaluate and report the successes of the program by measuring key data against the baseline determined at the early stages of the project.

What does success look like?

Goals and objectives for the precinct will be determined in partnership with the community this will include a set based of measurable goals and community endorsed outcomes.

Pilot location options:

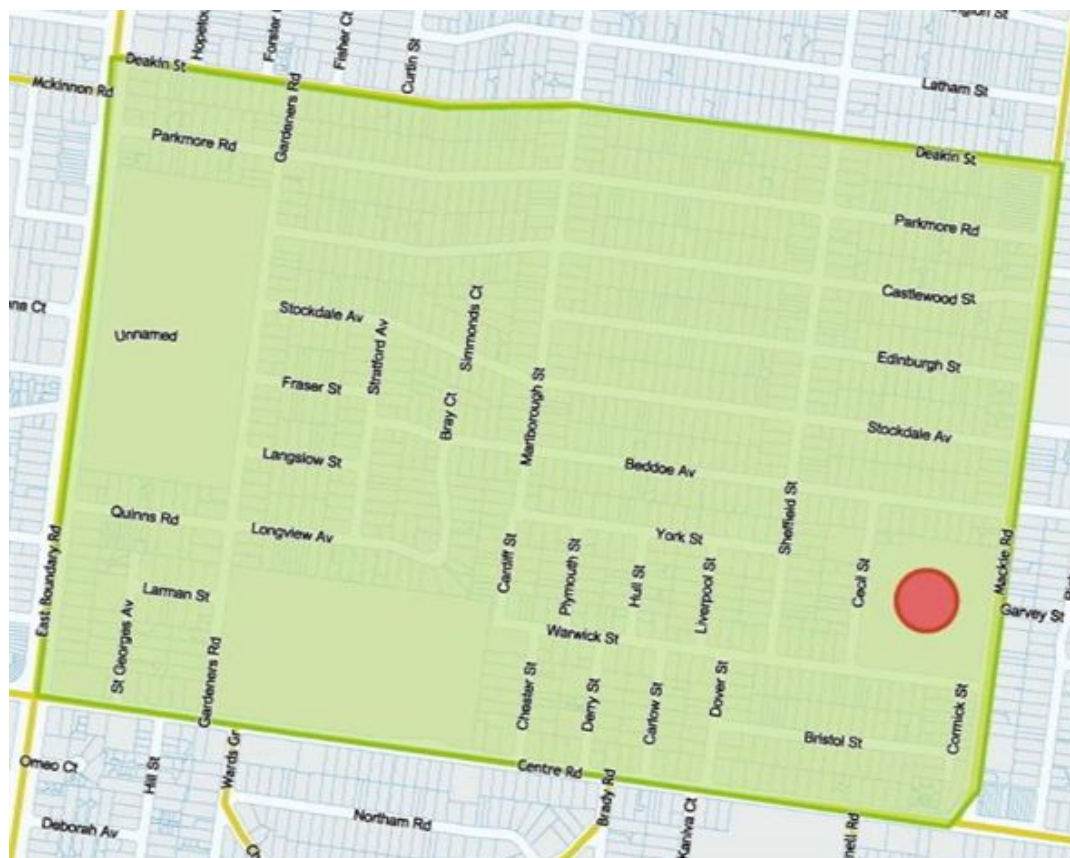
Officers have identified 4 potential locations to pilot a Pedestrian safe neighbourhood (Safe School Zone). These have been selected based on a range of factors including recent traffic and parking issues, geographical location, locations that have clear identifiable opportunities and schools that have shown an interest in participating in previous safe school initiatives.

	<u>Location</u>	<u>School</u>	
<u>1.</u>	Ormond	St Kevin's Primary School Ormond Primary School	
<u>2.</u>	Bentleigh East	Coatesville Primary School	(Recommended Option)
<u>3.</u>	Elsternwick	Leibler Yavneh College	
<u>4.</u>	Carnegie	Carnegie Primary School	

(Refer to **Attachment 1** for further analysis of the above catchment areas)

The Bentleigh East precinct is the recommended location for Council's first pilot due to:

- Feedback received from residents and the school community about challenges associated with school movements in the area.
- Data that has already been collected as part of existing Council work plans.
- Existing traffic and movement issues that need to be solved. It is important that the boundary for this pilot is consistent with Council's *Integrated Transport Strategy* where the zone is bounded by premium transport corridors (Efficient driving route/Express public transport route — East Boundary Road, Safe cycling streets — Mackie Road and Deakin Street, Great walking and shopping street — Centre Road).
- The school having a proactive approach to active transport.
- The ability to utilise community feedback received as part of East Village project.
- The East Village Community Reference Group has expressed that traffic and movement concerns in the wider area should be addressed before any activity at the East Village site commences.



Corridor Improvement Pilot – Safe Cycling Corridor



What is a safe cycling corridor?

A safe cycling corridor is a road or street that aims to enable cycling as a viable transport mode choice. Such corridors foster a safe environment for people of all abilities to cycle safely between destinations.

Design guidelines

- cycle lanes should be separated, safe paths;
- continuation of all bike lanes through intersections;
- minimising car movements across bike lanes at traffic signals;
- consistently reduce vehicle speeds along roads;
- ensuring lighting is of a high standard along full length of the streets;
- exploring the reinstatement of lost street parking where appropriate.

The Action:

Plan and design a pilot cycle corridor improvement project with a protected cycleway to encourage an increase in cycling. While cycling and walking may not be a viable option for commuting for many Glen Eira residents, there are opportunities for short car trips to be swapped for walking and cycling options. It is important to provide a safe and inviting environment for cyclists of all ages and abilities to ensure active transport is an easy and convenient part of our daily lives.

Approach to implementation:**1. Shortlist Corridors**

All safe cycling streets have been identified within the recently adopted Integrated Transport Strategy.

Officers have selected corridors that would be well suited as the safe cycling pilot, based on a variety of factors including geographical links, potential increases in ridership and precinct location.

2. Selection of Safe Cycling Corridor pilot

Council decides on location to commence pilot program. Officers prepare communication and engagement strategy and commence required preliminary works (feature survey, consultancy appointment) and data collection parameters and metrics.

3. Commence data collection

Data collection is integral to understanding both the current system and having the ability to measure the successes of the pilot. Types of data to be collected would include:

Quantitative	<i>Parking bay quantity and occupancy Vehicle volumes and travel time Bicycle counts</i>
Qualitative	<i>Perceptions of safety of cycling</i>

4. Issues & Opportunities paper

Using the data collected, officers will then develop an issues and opportunities paper. At this stage a shared vision for goals, outcomes and metrics would be determined to help guide the project and measure successes.

5. Design Process (Councillors and Reference Group)

Officers will then develop corridor draft plan with preliminary design to be further workshopped with Councillors, this would include any changes to street that are required including changes to car parking and line marking.

6. Draft Corridor Plan

A draft corridor plan is then produced using data collected and involvement from wider stakeholder group, and Councillors. Any third party approvals (e.g. from VicRoads are obtained)

7. Final Design

A final design is completed and produced for Council endorsement. This will include a staged construction programme for implementation of the precinct plan.

8. Construct (Implement)

Works are undertaken to implement the precinct plan design.

9. Measuring Success

After completion of construction and allowing the neighbourhood to settle and develop their new movement and behaviour patterns, officers will evaluate and report the successes of the program by measuring key data against the baseline determined at the early stages of the project.

Pilot Location Options:

Officers have identified three potential corridors to pilot a Safe Cycling corridor. These corridors have been identified in Council's *Integrated Transport Strategy* selected based on a number of factors including the opportunity to create high quality connections through the municipality, link with schools and destinations and provide wider connectivity to the Melbourne cycling network.

<u>Location</u>		
<u>1.</u>	Inkerman Road	East-West Corridor
<u>2.</u>	Rosstown Rail Trail	East-West Corridor
<u>3.</u>	Frankston Rail Trail	North-South Corridor

(Recommended)

(Refer to **Attachment 2** for further analysis of the above corridors)

The corridor identified as the Inkerman Road corridor is the recommended pilot for the following reasons:

- The corridor provides significant east – west cycling connectivity in an area that currently lacks a high quality connection.
- The corridor would connect the new 'elevated rail' shared user path – Caulfield Station Activity Centre and Port Phillip/St Kilda Road.
- It allows for safer, high quality connections to Melbourne (largest trip generator for cycling trips in Melbourne).

- It is expected the north western neighbourhoods of Glen Eira have a greater propensity to transition into cycling based road trips due to their proximity to the city and established cycling networks.
- City of Port Phillip and VicRoads also identify Inkerman Road as a strategic cycling corridor and this corridor aligns with the strategic work being undertaken by Port Phillip Council, presenting opportunities for regional collaboration (Inkerman Road cycling corridor).



FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

Council's 2018-19 *Annual Budget* provides an allocation of \$300,000 in the Capital Works Program for the design of *Integrated Transport Strategy* neighbourhood and corridor pilots.

POLICY AND LEGISLATIVE IMPLICATIONS

N/A

COMMUNICATION AND ENGAGEMENT

Comprehensive community consultation, engagement and involvement is planned through all phases of the pilot programs. Officers will prepare communication strategies following approval of the pilot projects.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme Two: Accessible and Well Connected

A City that is easy to move around, full of safe travel options and walkable neighbourhoods.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Council's Integrated Transport Strategy sets out a range of pilot projects to address the increasing congestion and parking concerns facing the Glen Eira community and wider Melbourne.

The pilot projects outlined in this report are in line with *Community Plan* commitments and are a great way for Council to test new and innovative transport ideas. By undertaking detailed data collection and analysis, involving the community, and taking away key learnings. These pilot projects will become increasingly valuable as Council continues to ensure the high quality of liveability our residents expect in times of challenging pressures.

SAFE SCHOOL ZONE PILOT

Pedestrian-safe neighbourhoods

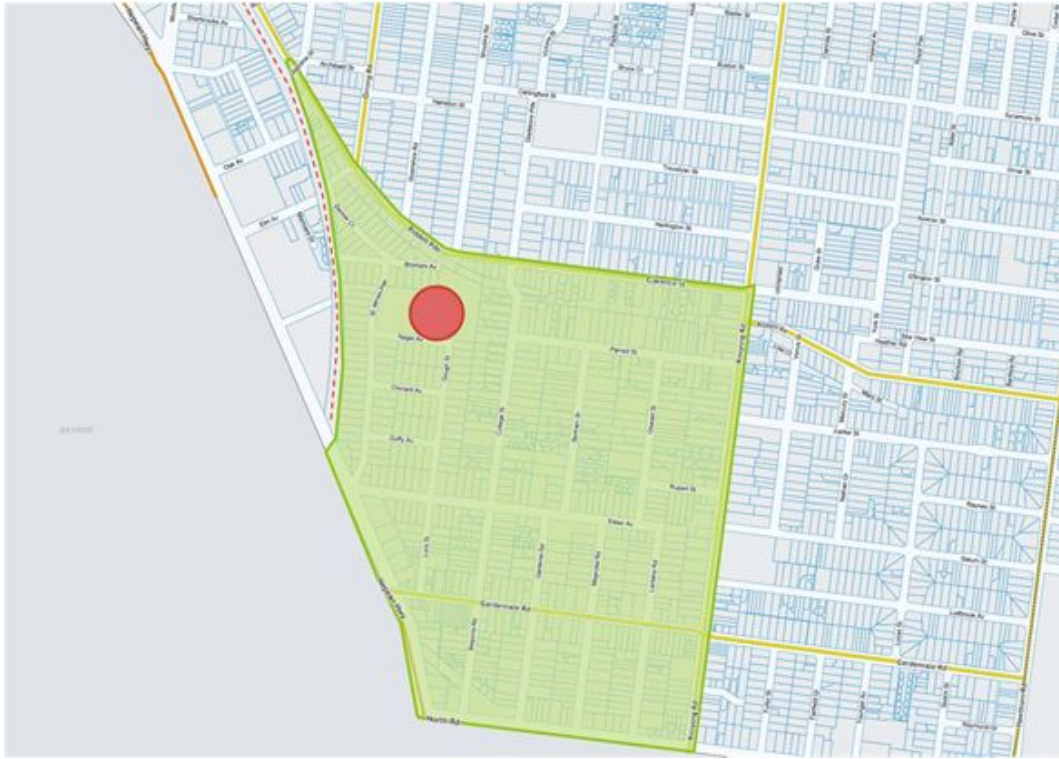
GLEN EIRA CITY COUNCIL — SEPTEMBER 2018



GLEN EIRA
CITY COUNCIL

Shortlisted Pedestrian Safe Neighbourhood (Safe School Zone) pilot options:

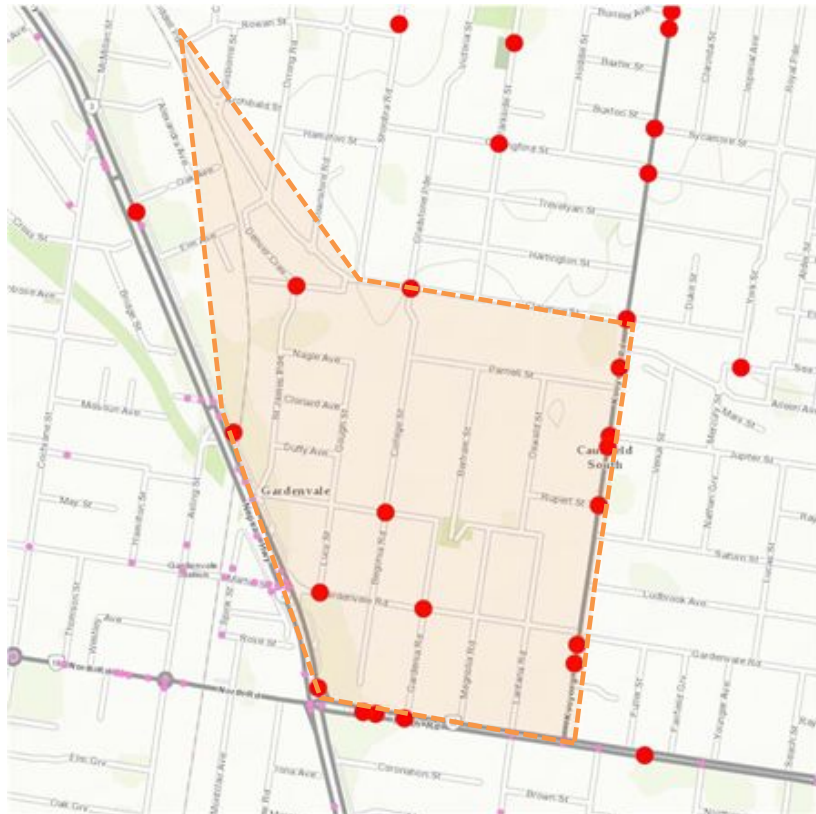
1. Suburb : Elsternwick
School : Leibler Yavbeh College



Opportunities	Constraints
Collection of high quality data as part of the master planning process for Elsternwick Urban Renewal	Rail corridor and pedestrian permeability
Existing traffic and movement issues that need to be solved	Traffic is currently constrained.
Walking distance to key destinations including activity centre and train station	
Interfaces with proposed corridor pilot #2 (further detailed in report)	

Crash Stats - Fatal and injury crashes on roads during the latest five year reporting period:

- Catchment total: 20
- Within catchment (internal non-arterial roads) : 5



2. Suburb : Ormond
School : St Kevin's Primary & Ormond Primary



Opportunities	Constraints
Precinct experiences current rat running issues	North Road is a VicRoads managed road and may provide difficulty
Most residents live within walking distance to key destinations including activity centre and train station	Recent removal of the level crossing and train trench has created a barrier along the eastern edge of the precinct
There are two schools within close proximity to precinct, this increases the ability to see greater numbers of travel behaviour changes	

Crash Stats - Fatal and injury crashes on roads during the latest five year reporting period:

- Catchment total: 34
- Within catchment (internal non-arterial roads) : 6



3. Suburb : Carnegie
School : Carnegie Primary School



Opportunities	Constraints
High quality connection to Carnegie activity centre and train stations and tram stop	The Future Carnegie Swim centre redevelopment poses uncertainty and future changes to the area, this work would not be able to take these into account
Precinct experiences current rat running issues	Large in area and school is tucked away into top corner.
Existing parking issues within the precinct as highlighted by Councils parking and enforcement team	

Crash Stats - Fatal and injury crashes on roads during the latest five year reporting period:

- Catchment total: 63
- Within catchment (internal non-arterial roads) : 3



4. Suburb : Bentleigh East
School : Coatesville Primary School



Opportunities	Constraints
Data has recently been collected as part of the Traffic Engineer teams work plans	Situated within the Bus only precinct travel behaviours may be harder to change as parents may have little options alternative to the car
Existing traffic and movement issues that need to be solved	Traffic is currently constrained on most roads
School movement creates many issues for Council and residents in this area.	

Crash Stats - Fatal and injury crashes on roads during the latest five year reporting period:

- Catchment total: 33
- Within catchment (internal non-arterial roads) : 5



SAFE CYCLING CORRIDOR PILOT

Corridor improvement

GLEN EIRA CITY COUNCIL — SEPTEMBER 2018



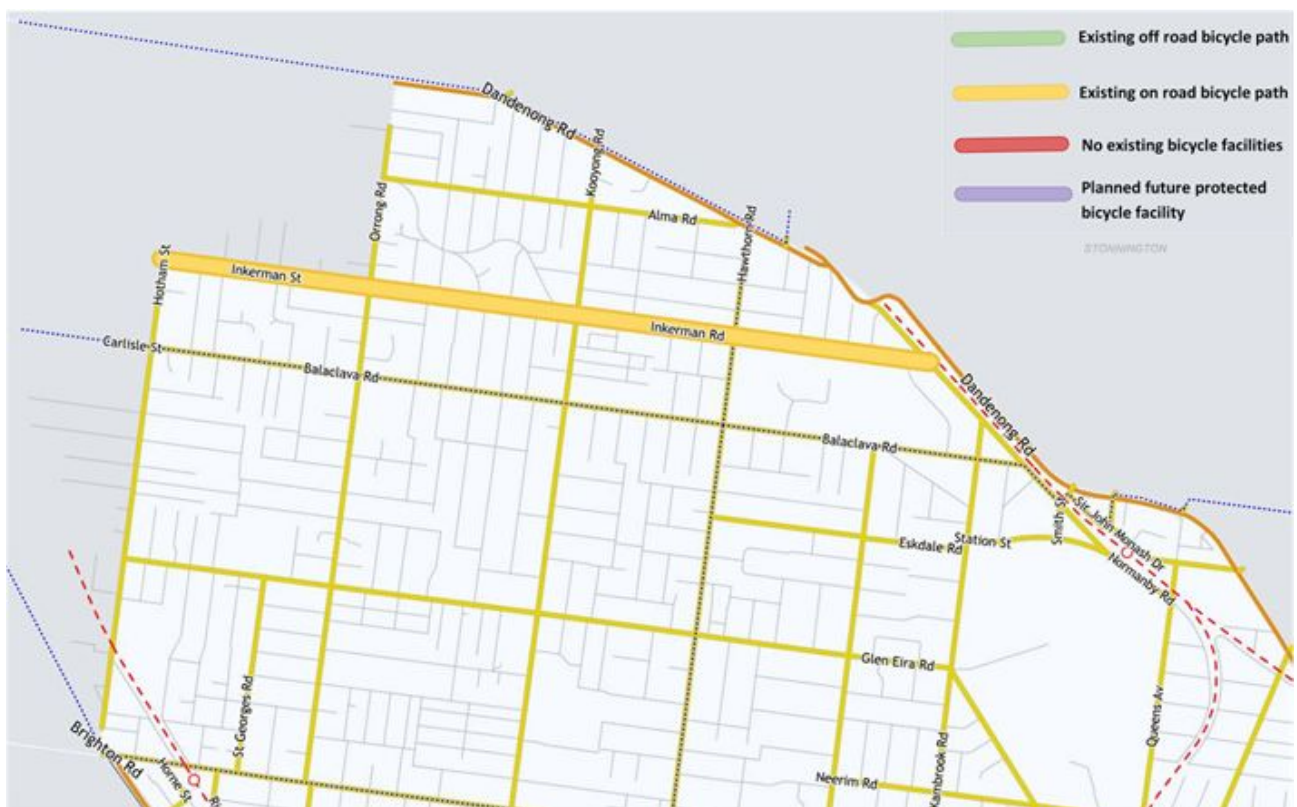
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Shortlisted Corridor Improvement - Safe Cycling corridor pilot options:

1. Inkerman Road Corridor Pilot - Recommended

The corridor identified as the Inkerman Road corridor is the recommended pilot for the following reasons:

- The corridor provides significant east – west cycling connectivity in an area that currently lacks a high quality connection
- The corridor would connect the new 'Skyrail' shared user path – Caulfield Station Activity Centre and Port Phillip / St Kilda Road
- Allowing for safer high quality connections to Melbourne (largest trip generator for cycling trips in Melbourne)
- It is expected the north western neighbourhoods of Glen Eira have a greater propensity to transition into bike based road trips due to their proximity to the city and established cycling networks,
- City of Port Phillip and VicRoads also identify Inkerman Road as a strategic cycling corridor and aligns with the Strategic work being undertaken by Port Phillip Council presenting opportunities for regional collaboration (Inkerman Road cycling corridor)



2. Rosstown Rail Trail Corridor Pilot

The corridor identified as the Rosstown Rail Trail is the second recommended option pilot for the following reasons:

- The corridor provides significant east – west cycling connectivity in an area that currently lacks a high quality connection
- The corridor would connect the existing components of the Rosstown Rail trail between Elsternwick and the East Village area.
- As identified within the Integrated Transport Strategy the bus only precinct in East Bentleigh severely suffer a lack of non-car transport options.



3. Frankston Line Rail Trail Corridor Pilot

The corridor identified as the Frankston Line Rail Trail is an option pilot for the following reasons:

- The corridor provides significant North – South cycling connectivity in an area that currently lacks a high quality connection
- The corridor would connect the existing components of the Frankston Line Rail trail between the activity centres along the train to Caulfield Station precinct.
- Implementation to connect the ‘missing links’ in this corridor could pre-empt or undermine advocacy for Neerim Road & Glen Huntly Road level crossing removals and the strategic work being undertaken as part of the Caulfield Precinct Structure Plan.



Closing note

It is noted that all options and corridors will need some reallocation of road space to create a safe protected cycling street, as identified within Councils Integrated Transport Strategy. Officers have not undertaken a detailed analysis of what this would look like in each option but it is expected this could include:

- Removal of on street car parking
- Removal of low quality kerb side vegetation
- Reallocation of trafficable lanes

Ultimately Council must decide how to allocate road space and for what user to achieve its mobility goals

Whilst acknowledging there is need to change our current travel behaviours, it is important to note that vehicles will remain (for the foreseeable future) as the predominant means by which our residents access goods, services, employment and recreation. As such we need to carefully plan for all users and undertake comprehensive engagement with all affected stakeholders on all new projects and pilots.

9.9 TENNIS STRATEGY FOR ADOPTION

Author: Andrew Barden, Manager Recreation and Open Space

Trim No: 18/1227992

Attachments: 1. Draft Tennis Strategy

PURPOSE AND SUMMARY

To provide an overview of the community consultation and present the Tennis Strategy to Council for adoption.

RECOMMENDATION

That Council:

1. adopts the draft Tennis Strategy; and
2. notes the consultation process and feedback received.

BACKGROUND

At the Ordinary Council Meeting on 7 February 2017, Council authorised officers to prepare a Tennis Strategy for Glen Eira.

A report outlining key issues, including a *Background Information and Proposed Future Directions* paper, was endorsed by Council for community consultation in 12 December 2017.

The paper proposed a number of collaborative actions aimed at creating welcoming, sustainable and quality tennis facilities. Key consultation actions included:

- A tennis forum with clubs and Tennis Victoria on Monday 18 December 2017
- Notifying all Glen Eira tennis clubs, including those on private land
- Meeting with Tennis Victoria representatives
- A 'Have Your Say' online portal

This engagement period gathered the views of clubs, Tennis Victoria and the wider community. The following snapshot provides an overview of this engagement:

- The online forum received 242 unique visits
- 130 people downloaded the *Tennis Directions* document
- 19 people downloaded the Tennis Vic – Guide to Facility Development document
- 14 people downloaded the Forum Presentation 18 Dec 2017 document
- 9 people downloaded the Tennis Vic – Places to Play Strategy document
- 2 community emails were received
- 6 club/industry emails were received

Following this consultation, a draft Tennis Strategy was presented to Council at the Assembly Meeting of 10 July 2018. Council endorsed the distribution of the Draft Tennis Strategy to tennis clubs for further comment.

This report presents the findings of this consultation and seeks adoption of the Strategy.

ISSUES AND DISCUSSION

Club Consultation

Club consultation on the draft Strategy was undertaken between 24 July and 26 August 2018 and included:

- Individual emails to all Glen Eira Tennis Clubs highlighting specific action items within the Strategy which were most relevant to their club;
- Meeting with Tennis Victoria; and
- Offer to meet with tennis clubs if requested.

Feedback and Comment

As part of the consultation officers received 5 emails (Attachment 1) and attended 2 meetings.

Meetings

Officers met with two Tennis Victoria representatives who stated strong support of the approach taken to develop this Strategy, and commended officers on the work undertaken to date. They also provided updated participation and membership numbers and refreshed information regarding state and national trends.

Officers also met with one club where a range of issues were discussed, however no specific feedback on the draft Strategy was provided. The club was supportive of the actions and intent of the Strategy.

Emails

All emails received were generally supportive of the direction and recommendations proposed. Key feedback themes are summarised below along with officer comments which provides a response or explanation.

Theme - Infrastructure

That there is recognition of legacy issues that requires many clubs to immediately address infrastructure issues. The club that raised this issue would like Council to contribute 50% of replacement costs to existing infrastructure.

Officer comments

Clubs have long been responsible for maintaining and replacing infrastructure under their leasing arrangements. Many of the maintenance issues clubs currently face are a result of inadequate asset management over a long period of time.

Assistance with emergency repairs may provide temporary relief, but will not address circumstances that have led to clubs not being in a position to maintain their facilities. Part of any emergency works will be an undertaking by the club to work with Council and Tennis Victoria to address operational shortcomings to ensure they can adequately contribute to the future long term maintenance and upkeep of facilities.

Funding for infrastructure is proposed through Action 1.1 of the Tennis Strategy. This will have a focus on projects that can build club capacity, usage and long term sustainable management of assets.

Officers will inform tennis clubs of any State or Federal funding grants that are announced for clubs to apply for independently for infrastructure upgrades, such as:

- *Tennis Pavilions*
- *Court Lighting*
- *Court Resurfacing*

Theme - Open Space Contribution Funding

Ensure that a fair portion of the 5% Public Open Space levy paid by developers is allocated to tennis.

Officer comments

Public open space contributions are not a discretionary fund. The contribution levies are set out in the schedule in Clause 52.01 in the Glen Eira Planning Scheme and are aligned to the projects outlined in Council's Open Space Strategy.

Action 1.1 of the Tennis Strategy outlines Council consideration for infrastructure projects and will be assessed on an individual club basis.

Theme - Maintenance Requests

One club suggested they would like Council to take over general maintenance and upkeep of clubhouse structures and parking areas.

Officer comments

There is no proposal to take over general maintenance of tennis facilities under the current lease and club management conditions. The key focus of the Strategy is to improve the operational sustainability of clubs to ensure facilities are at an appropriate standard to facilitate tennis opportunities.

Theme - Volunteers

One club noted that it is an increasingly difficult task to recruit new volunteer committee members.

Officer comments

The Strategy proposes a number of actions to reduce the workload of club volunteers; these include providing a club contact from Recreation and Open Space team to assist in non-lease related matters such as club development, promotion and funding and streamlining the reporting requirement for clubs.

Additionally there is the opportunity to explore a range of facility management options to provide sustainable, accessible and appropriate facilities.

Theme - Funding Requirements

One club was concerned with qualifications for assistance in relation to Action 1.1.

Officer comments

Action 1.1 proposes an infrastructure funding program for clubs. The intention of this program would be to support clubs to make capital improvements which can support growth, participation and community benefit. It would not be to provide capital replacement. It is reasonable that clubs that do not meet lease requirements will not be considered.

This approach is consistent with the aim of creating stronger, accessible and sustainable local clubs. Specific funding guidelines will be developed once the Strategy is endorsed.

Theme - Signage

Some clubs suggested more prominent road signage and in park information (with contact/website details) would greatly assist.

Officer comments

Action 1.3 Develop signage guidelines to assist in the identification and promotion of tennis opportunities.

Theme - Hit Up Wall

Club at Glen Huntly Park would like a tennis hit up wall to replace one that was removed in 2014 due to being structurally unsafe.

Officer comments

A new tennis hit up wall is provided at Booran Reserve and is located in a more visible location. Future planning at Glen Huntly Park may consider casual sports areas.

Theme - Membership Numbers

It was noted there is some discrepancy in the membership figures.

Officer comments

There is no consistent measure of club numbers and membership categories e.g. social, coaching membership, junior, family, etc. Clubs have been provided opportunity to comment on their membership numbers throughout the process.

In the future it is hoped that the Tennis Victoria affiliation will be able to provide consistent data.

Theme - Tennis Pavilions

One club would like tennis pavilions listed in the Glen Eira Pavilion Strategy.

Officer Comment

Tennis pavilions are exclusive use facilities, which clubs utilise to run tennis programs and generate additional funds (i.e. bookings, external programs). They do not generally have broader community use.

Consistent with Actions 1.5 and 1.9, tennis pavilion related capital bids could be considered by Council where there is additional community benefit or as part of broader recreation and leisure planning. Any pavilion projects would need to demonstrate additional flexibility, community users and/or shared use elements.

As outlined in Council's Pavilion Redevelopment Strategy, the long term priority of pavilion investment is towards improvement or upgrades that relate to increased participation, improved access and or providing opportunities for additional external users.

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

The implementation of some recommendations in the Tennis Strategy will require an additional staffing resource which is allowed for in the 2018/19 budget.

Consistent with the Tennis Strategy, officers will make applications under Sport & Recreation Victoria's (SRV) Community Sports Infrastructure funding programs where appropriate, including:

- Major facilities grant; and
- Minor facilities.

POLICY AND LEGISLATIVE IMPLICATIONS

A selection of actions may require a change to existing policy or position. These will be reported to a future Council meeting for further discussion.

- Action 1.10 – Seek to gain planning exemptions under Planning Scheme Clause 62.02-1.
- Action 1.11 – Review the existing partial rate exemption scheme under the Cultural and Recreational Lands Act 1963. Council will need to authorise any change to the current scheme.
- Action 1.15 – Review Council's existing Community Lease Policy.

COMMUNICATION AND ENGAGEMENT

Not applicable.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme One: Liveable and Well Designed

A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The Tennis Strategy will provide Council and the community with a range of pragmatic and collaborative actions aimed at supporting, developing and planning for tennis in Glen Eira.

It aligns with Tennis Australia's four key pillars of successful tennis facilities aimed at creating vibrant, social, welcoming, inclusive, innovative and sustainable community focused community assets.

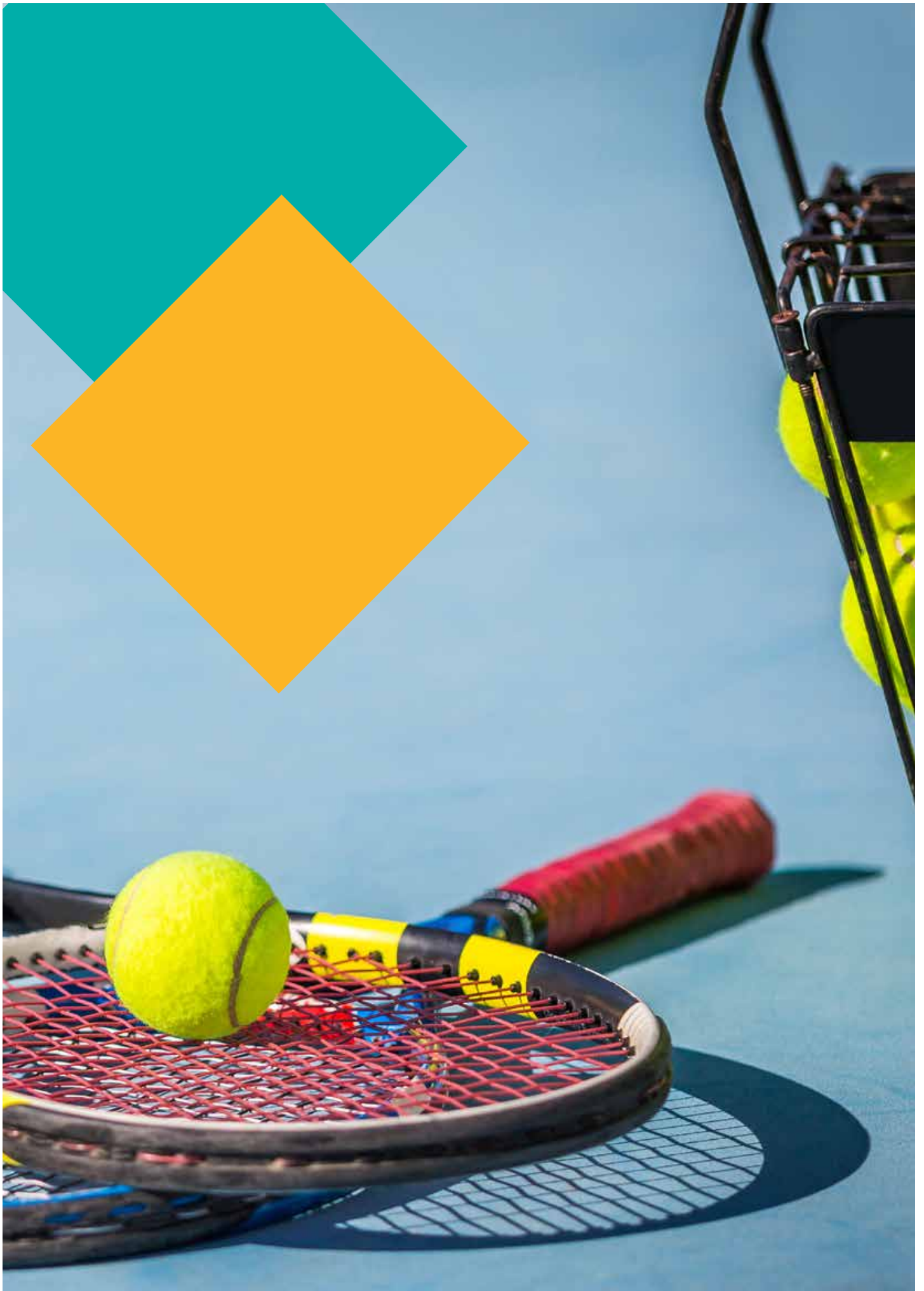


GLEN EIRA
CITY COUNCIL

BENTLEIGH
BENTLEIGH EAST
BRIGHTON EAST
CARNEGIE
CAULFIELD
ELSTERNWICK
GARDENVALE
GLEN HUNTLY
MCKINNON
MURRUMBEENA
ORMOND
ST KILDA EAST

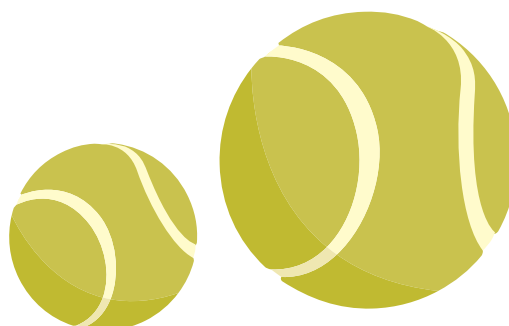
DRAFT TENNIS STRATEGY





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EXECUTIVE SUMMARY

Context

The *Glen Eira Tennis Strategy* provides Council, tennis clubs and the community with a clear understanding of current tennis facilities, participation, trends and challenges. It provides clear and pragmatic actions geared towards improving the long-term sustainability of clubs, increasing participation and creating vibrant local clubs.

Development of the *Glen Eira Tennis Strategy* has included condition audits of all Council tennis facilities, benchmarking with best practice facilities and engagement with the local community, tennis clubs and Tennis Victoria.

The *Strategy* aligns with Tennis Victoria's *Places to Play* vision which seeks to provide a range of opportunities from membership and competition, through to flexible facilities, pay-to-play opportunities and hit-up walls in our parks.

People/participation

Across organised sport there is a general trend towards casual, occasional and social participation. For traditional membership focused tennis clubs, this requires a shift towards flexible membership models, casual court access and social opportunities.

The promotion of tennis facilities is a key action of the *Strategy*; one that will be collaboratively driven by local clubs, Council and Tennis Victoria. The range of promotion extends from joint marketing events, leveraging Council and Tennis Victoria's media channels and improved club information and signage.

Facilities/management

The condition of tennis facilities is varied, with a number of them in need of replacement or significant work to bring them to a standard commensurate with community expectations. These shortfalls can limit the ability to run programs, promotions or facilitate other activities. Proposed funding support for capital projects has a priority towards participation, accessibility and community benefit.

Club development will be provided to ensure robust business planning, appropriate governance structures are in place and that commercial arrangements adequately contribute to the long-term financial and infrastructure sustainability.

Direction/actions

Key actions of this *Strategy* include:

- Explore a funding program for tennis clubs seeking to undertake projects that will improve accessibility, participation and community benefit.
- Ensure tennis facilities are considered as part of future land use planning to ensure broader community benefit and other opportunities.
- Collaborate with Tennis Victoria to promote, develop and support tennis participation in Glen Eira.
- Review the appropriateness and sustainability of clubs governance arrangements and third party commercial arrangements to ensure contributions are appropriate, meet governance requirements and are monitored appropriately.

Implementation of these actions will require ongoing involvement, input and collaboration of local tennis clubs, Tennis Victoria and other key stakeholders.



I. STRATEGIC CONTEXT

I.1 Glen Eira City Council

The *Glen Eira Council and Community Plan 2017–2021* sets a vision for the City of Glen Eira and identifies our goals and aspirations for the next four years.

The *Community Plan* is the strategic framework for all Council plans and activities. Relevant themes of the plan include:

- Liveable and well designed — a well planned city that is a great place to be; and
- Safe, healthy and inclusive — a strong and safe community that brings people together and enhances health and wellbeing.

Our residents will have access to the services, activities and infrastructure that make it easy for them to stay healthy and get involved in community life. We will support local community groups, organisations and networks that play an important role in providing opportunities and settings for people to connect.

The aim of the *Tennis Strategy* is to build stronger, accessible and sustainable local clubs.

I.2 Tennis Victoria

Tennis Victoria's *Places to Play Key Directions 2020* document aims to support the transition of tennis venues into vibrant, social, welcoming, inclusive, innovative, sustainable and customer focused community assets. Helping people to be physically active and socially connected make for stronger communities.

Council supports the *Places to Play* vision which ranges from member-based clubs and competition, through to flexible facilities, hit-up walls and pay-to-play opportunities.

The actions proposed in the *Tennis Strategy* align with Tennis Australia's four key pillars of successful tennis facilities outlined below.

Tennis Australia's Four Pillars of Successful Tennis Venues			
Accessibility	Community benefit	Sustainability	Accountability
<ul style="list-style-type: none">• Provide community access to courts.• Offer flexible programs, playing options and scheduling.• Provide fair and equitable pricing options.	<ul style="list-style-type: none">• Deliver quality community programs.• Engage at all levels and with all sectors of the community.• Provide opportunity for social interaction.	<ul style="list-style-type: none">• Implement business model and practices to achieve financial sustainability.• Keep well managed and maintained buildings, grounds and court infrastructure.• Put plans in place for the future.	<ul style="list-style-type: none">• Deliver and support national programs.• Work with the tennis community to deliver agreed outcomes.• Report regularly and consistently.

2. TENNIS FACILITIES

2.1 Distribution of Tennis Facilities

The industry recognised benchmark for the provision of tennis courts is one per 2,000 people. Benchmarking suggests that Glen Eira currently has an oversupply of tennis courts, and there is still expected to be an oversupply of up to four courts in 2026. The current forecast population is 153,232 and this is expected to rise to 180,626 by 2036.

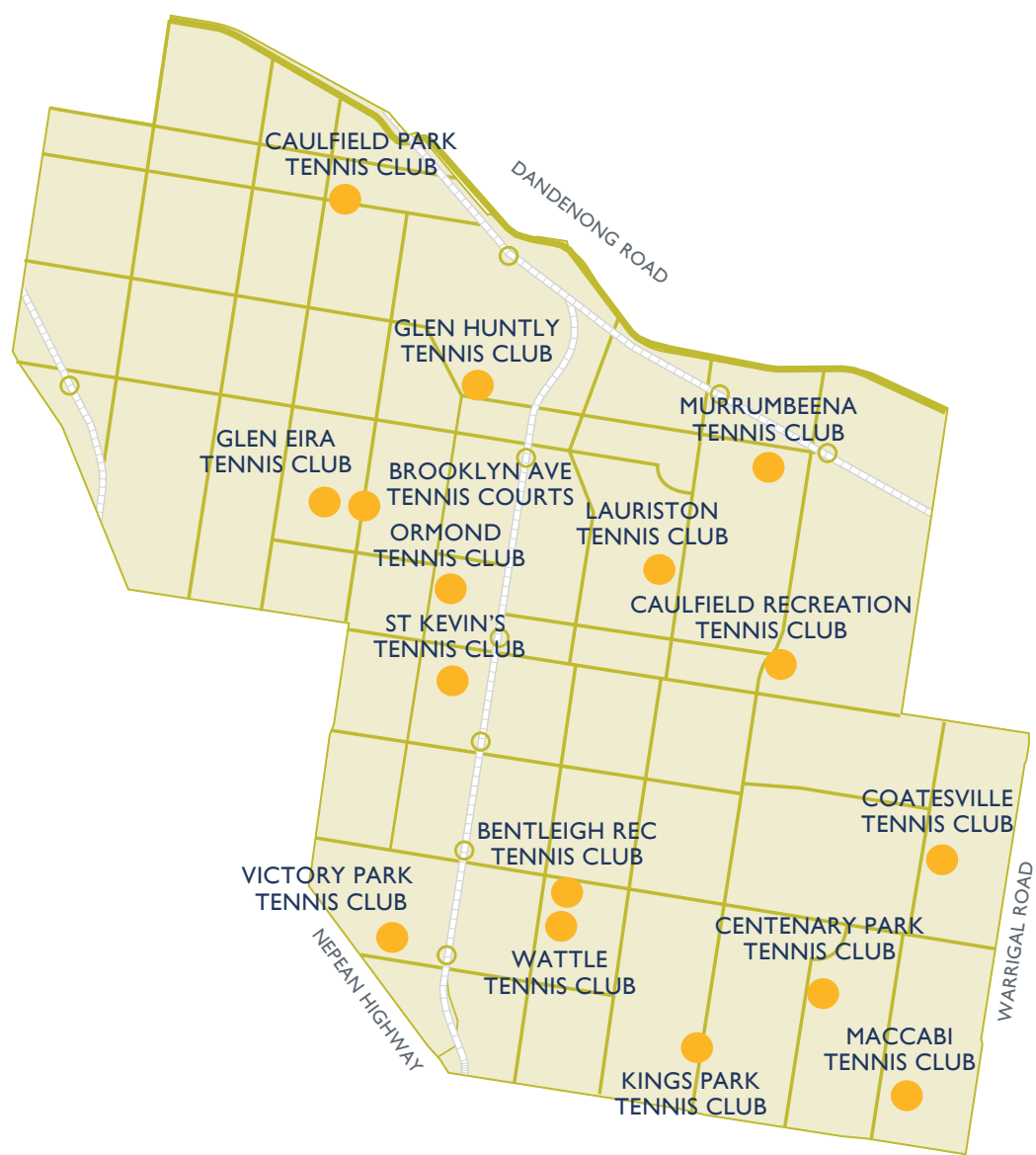
Table one — distribution by suburb

Suburb	Courts	Current population (forecast.id)	Population per court
Bentleigh	12	18,226	1,519
Bentleigh East	27	29,423	1,090
Carnegie	8	18,938	2,367
Caulfield	0	6,076	-
Caulfield East/North	5	18,989	3,797
Caulfield South	6	12,691	2,115
Elsternwick/Gardenvale	0	12,327	-
Glen Huntly	4	5,540	1,385
McKinnon	0	6,825	-
Murrumbeena	11	10,682	987
Ormond	8	8,932	1116
St Kilda East	0	4,403	-

The table does not take into account the current availability of the additional 19 courts at churches and privately owned sites. Larger tennis centres located in proximity to municipal boundaries, include Elsternwick Park (eight courts) and Dendy Park (19 courts).



Map one — distribution of Council tennis clubs.



2.2 Facility conditions

The condition of all Glen Eira tennis facilities has been audited independently. This included an assessment of court surfaces, fencing, lighting and compliance. In accordance with the current exclusive use leasing arrangements, tenant clubs are responsible for the maintenance of all tennis court and building infrastructure.

The condition of tennis facilities is varied, however generally conditions fall below the standard commensurate with community expectations. This can limit the ability of clubs to facilitate other activities or programs.

2.2.1 Court surface condition

There are 67 red porous courts, four clay courts and 10 hard courts. Thirteen clubs exclusively have red porous courts (en tout cas), one club hard court and one clay. Of the 15 club court surfaces, three were rated good or very good condition, nine were moderate, and three were rated poor or very poor. Poor or moderate ratings included uneven surfaces, exposed base material, weeds and/or leaf litter. Red porous courts are both costly and time consuming to maintain and require careful management — however they are a preference of many members.

2.2.2 Other court infrastructure

	Good or very good	Moderate	Poor or very poor	Issues
Line marking	2	10	3	Rusted, raised or missing sections of line.
Draining	4	6	5	Blocked pits, covered, leaf litter or missing drains.
Net posts	2	6	7	Leaning, poor base, broken or low nets.
Fencing	7	-	8	Curled mesh, rust, leaning poles, gaps or compromised by trees or shrubs.

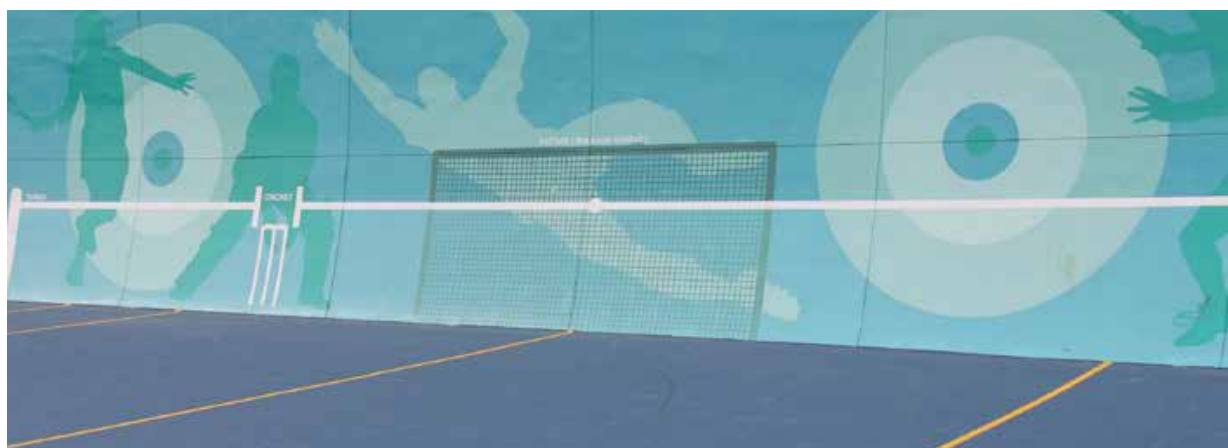
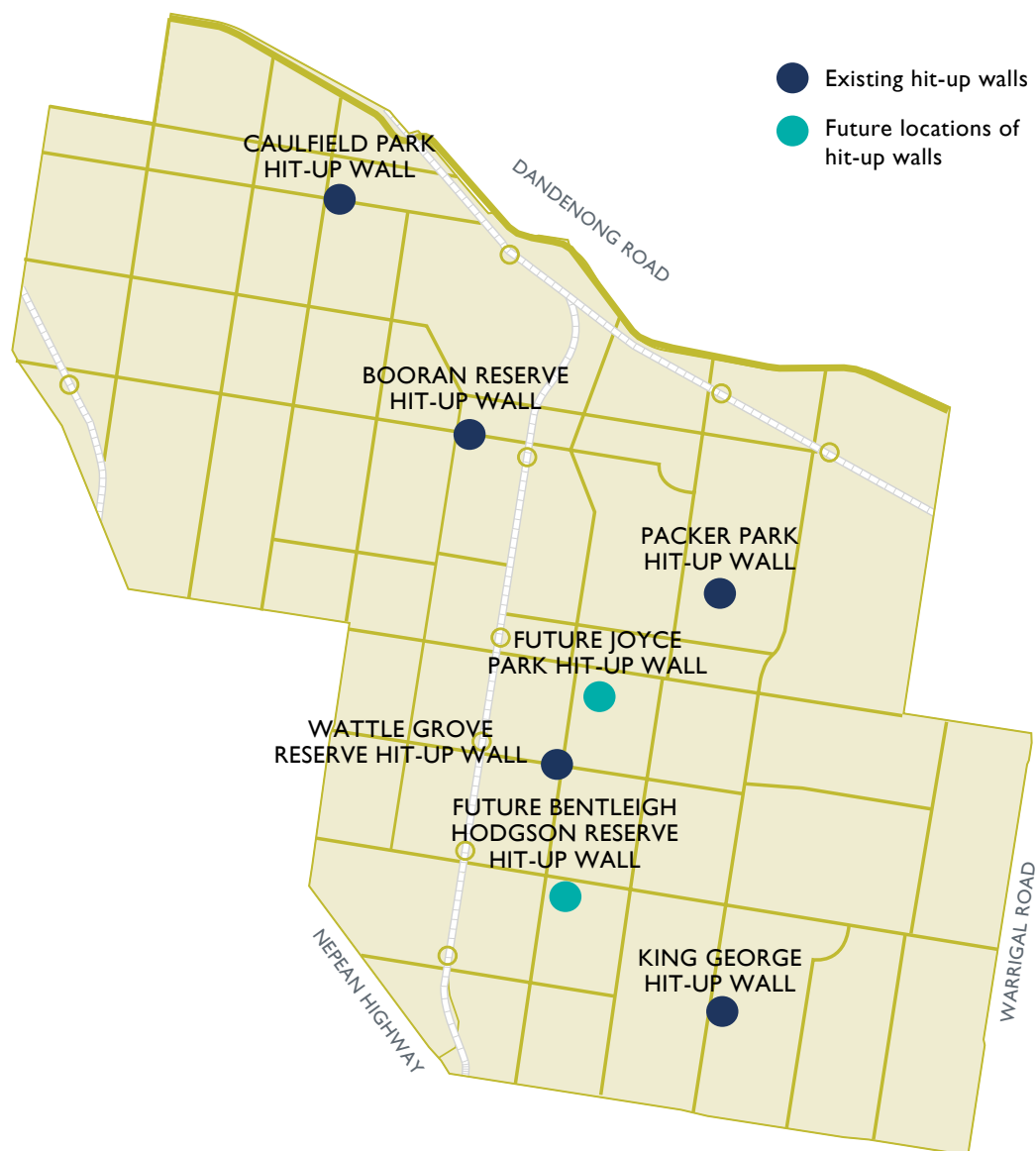
2.2.3 Court lighting

Glen Eira City Council has 46 tennis courts (out of a total of 81) with lighting. Four locations have no floodlit courts, eight locations have 50 per cent or more of their courts lit and four locations have floodlighting on all courts at that location.

Tennis facility	Number of lit courts
Bentleigh Rec Tennis Club	4/6 courts lit
Brooklyn Avenue — Princes Park (Council)	2/2 courts lit
Caulfield Park Tennis Club	0/5 courts lit
Caulfield Recreation Tennis Club	4/8 courts lit
Centenary Park Tennis Club	4/5 courts lit
Coatesville Tennis Club	4/6 courts lit
Glen Eira Tennis Club	0/4 courts lit
Glen Huntly Tennis Club	4/4 courts lit
Kings Park Tennis Club	8/8 courts lit
Lauriston Tennis Club	4/8 courts lit
Maccabi Tennis Club	4/8 courts lit
Murumbeena Tennis Club	2/3 courts lit
Ormond Tennis Club	4/5 courts lit
St Kevin's Tennis Club	2/3 courts lit
Victory Park Tennis Club	0/4 courts lit
Wattle Tennis Club	0/2 courts lit

2.3 Multi-purpose/hit-up walls

Five multi-purpose/hit-up walls are in parks and reserves in the Glen Eira municipality: Caulfield Park; Booran Reserve; Packer Park; Wattle Grove Reserve; and King George VI Memorial Reserve. Two more hit-up/multi-purpose walls will be installed in the near future at Joyce Park and Bentleigh Hodgson Reserve.



3. TENNIS PARTICIPATION

3.1 National/State participation

There are no consistent measures of long-term tennis participation in Australia. However, the conclusion from the available Australian Bureau of Statistics, Australian Sports Commission, Roy Morgan market research data and reported club membership numbers indicate a steady decline since 2000.

This is consistent in Victoria where there has been continuous decline in club based memberships since 2006. While many tennis participants no longer join a club via the traditional membership model, their participation may have shifted to casual use, social tennis, in-park hit-up walls or cardio tennis. Unfortunately there are no reliable participation numbers for all these types of uses.

A new affiliation model introduced by Tennis Victoria in 2014–15 captures a broad range of tennis users; not just registered competition players. This includes junior participation programs (*Hot-Shots*), club coaching participants, school programs and social playing members. This data is expected to provide more reliable longitudinal data in the future.

The 'casualisation' of organised sport has impacted formal tennis membership; however the sport lends itself to this form of participation given the flexible, innovative opportunities for participation and increasing access to facilities through online and remote booking systems.

Tennis is very much established as a gender-neutral sport with 56 per cent of recorded participant's male and 44 per cent female in 2017–18, attracting people of both genders at all stages of their life.

The Sport Australia (Australian Sports Commission) *AusPlay Report* identified the following findings related to tennis for 2017:

National

- 1.2 million people across Australia played tennis at least once per year.
- Tennis is the second highest participation sport in Australia (that requires fellow participants).
- Tennis is ranked as the fifth most popular club sport (nationally).

Victoria

- Tennis is the second most popular club sport for adults, and fifth most popular club sport for children in Victoria (third most popular club sport for adults and children combined).
- In Victoria, 5.4 per cent of adults, and 7.5 per cent of children participated in tennis.
- AusPlay data shows 352,631 Victorians participated in tennis.
- Tennis Victoria's school and primary age participants 160,028.

3.2 Local participation

Based on club reported figures in 2017–18, there were 1,946 registered tennis club members in Glen Eira. This is a decrease of 574 members or 29 per cent, compared to 2006.

The conclusion of fewer players can be misleading, as club membership statistics typically are not fully representative of all tennis players. In many instances, membership does not include junior programs, coaching students and casual pay-to-play players.

Table two — club membership profile for tennis clubs (2006–2017/18)

Tennis Club	2006	2015/16	2016/17	2017/18	Change from 2006 to 2017/18
Bentleigh Rec Tennis Club	84	63	88	61	-38%
Caulfield Park Tennis Club	216	97	100	114	-89%
Caulfield Recreation Tennis Club	245	105	80	112	-119%
Centenary Park Tennis Club	120	84	81	106	-13%
Coatesville Tennis Club	230	224	103	240	4%
Glen Eira Tennis Club	263	250	233	166	-58%
Glenhuntly Tennis Club	170	89	74	83	-105%
Kings Park Tennis Club	294	181	162	180	-63%
Lauriston Tennis Club	160	107	111	126	-27%
Maccabi Tennis Club	250	347	342	387	35%
Murumbidgee Tennis Club	117	13	101	111	-5%
Ormond Tennis Club	182	97	114	54	-237%
St Kevin's Tennis Club	59	65	65	80	26%
Victory Park Tennis Club	103	44	61	74	-39%
Wattle Tennis Club	27	54	36	52	48%
TOTALS	2520	1820	1751	1946	-29%

As noted, the reporting of membership numbers is not a consistent measurement across clubs.

3.3 Participation trends

The increasing socialisation of sport is particularly relevant to tennis. That is, a traditional member who played in pennant or competitions may now be participating as a social or casual tennis player. In this instance, the player may not be counted as a member, but may still play regularly.

This is notable as memberships often are the primary revenue source for clubs. Additionally, some membership numbers include social membership, which may be free, or linked to participation programs such as *Hot Shots* where there is minimal income generated by the club in the short-term.

This is consistent with a number of other sports where there is a move away from membership towards casual pay-to-play opportunities (social or competition).

The way clubs have adapted to these changes varies — however, catering to this demographic is important. Technological innovations, such as online booking systems and payment, have been successfully trialled by some clubs in other municipalities.

Over the next 10 years it is assumed that the number of people wanting to participate in tennis in Glen Eira will remain stable. This assumption is based on the long-term trend of declining numbers playing tennis in Victoria but balanced by the growth of the tennis introductory program *Hot Shots* and Glen Eira's projected population growth in the active age demographic of 25–35, to whom social tennis is particularly appealing.



4. MANAGEMENT AND LEASING

4.1 Current leasing arrangements

Tennis clubs operate under Council's *Community Leases Policy* where Council recognises that clubs originally established the buildings and improvements on the land and that clubs will remain responsible for maintenance, repairs and alterations to buildings and other improvements on the land.

Generally, these ground leases have a term of nine years with a peppercorn fee of \$1 per year. This arrangement is similar to other groups on Council land leases, namely bowling clubs, croquet clubs and scout groups. Clubs are still required to pay Council rates which are partially waived under provisions in the *Cultural and Recreational Lands Act 1963*.

This is based on the principle that they have exclusive use of facilities at a low annual rent and are able to generate income through membership, sponsorship, court hire and paid casual use. Additionally, tennis clubs license commercial coaches, attract school use and can host external competitions.

All current leases require clubs to make courts available for casual hire. The way this is managed varies between clubs and ease of use varies, however public access is limited as the popular times for requested access are typically when the courts are in use by club members, competition or coaches.

4.2 Club management and governance

Glen Eira tennis clubs are generally run by volunteer committees with the number of positions, roles and governance structures varying. As noted, there is a shift toward casual and pay-to-play tennis participation and this has an impact on attracting and retaining volunteers.

- Sinking funds — are generally a contribution to long-term capital replacement. Not all clubs contribute to a sinking fund which places additional pressure on finances when either emergency works or significant investment is required.
- Tennis Victoria affiliation — Tennis Victoria drive tennis participation in the state and are able to provide support, knowledge and advice to affiliated clubs. Linked to this would be the ongoing reporting of an Operational Health Check to provide insights on the club's performance or status in key areas. In addition, affiliation ensures clubs have adequate insurance.
- Membership fees — anecdotally the cost of club memberships has not increased over time to reflect operational cost increases (utilities, maintenance, replacement, rates etc.). This is compounded by reduced membership numbers. This then impacts on the desire to raise membership prices in fear of losing members.
- Commercial agreements — club coaches often drive participation, undertake maintenance and play an active role in club functions and daily activity. It is noted that some coaches serve as part of the club committee and decide on their appointment, tenure and fees. There needs to be a clear separation between commercial businesses and community club operations. Just over half of the clubs surveyed had written agreements with their coaches.



Table 3 — Tennis facility snapshot

There are 79 tennis courts across 14 sites on Council land in Glen Eira. These are managed by 15 clubs for the benefit of their membership, casual users and the wider community. A further two courts at Princes Park (Brooklyn Avenue) are managed by Glen Eira Leisure for casual use.

Club	Location	Number of courts	Court surface	Courts with lights	Lease footprint (m2)	Casual court hire arrangements
Bentleigh Rec Tennis Club	Bentleigh Hodgson Reserve 1–3 Higgins Road, Bentleigh	6	Red porous	4	3,161	Local shop to collect key
Brooklyn Avenue	Princes Park, Brooklyn Avenue Caulfield South	2	Plexi cushion	2	N/A	Book through Glen Eira Leisure (keys collected from Caulfield Recreation Centre)
Caulfield Park Tennis Club	Caulfield Park 280 Balaclava Road Caulfield North	5	Red porous	0	3,017	Online booking system (through Coach's website) for courts one or two only
Caulfield Recreation Tennis Club	Mallanbool Reserve 255 Murrumbeena Road Murrumbeena	8	Red porous	4	5,481	Call president and they open the courts
Centenary Park Tennis Club	Centenary Park 120 Brady Road, Bentleigh East	5	Red porous	4	2,933	Installing 'Book a court' in 2018
Coatesville Tennis Club	Mackie Road Reserve 29 Orange Street, Bentleigh East	6	Red porous	4	3,618	Have to contact club
Glen Eira Tennis Club	Princes Park 277 Bambra Road Caulfield South	4	Red porous	0	2,406	Contact club personnel — via phone or email
Glen Huntly Tennis Club	Glen Huntly Reserve 60 Neerim Road, Glen Huntly	4	Clay	4	2,646	Call a club contact
Kings Park Tennis Club	King George Reserve 70B East Boundary Road Bentleigh East	8	Red porous	8	4,879	Call club mobile phone or online form sends email to court hire co-ordinator
Lauriston Tennis Club	Rosanna Street Reserve 21 Rosanna Street, Carnegie	8	Red porous	4	4,706	Advertised as a private club. Will allow casual court hire on weekday evenings — have to pay extra for lights
Maccabi Tennis Club	Moorleigh Community Village 92 Bignell Road, Bentleigh East	8	Plexi cushion	4	4,752	Call club contact or send email
Murrumbeena Tennis Club	4 Bute Street, Murrumbeena	3	Red porous	2	1,765	Call club contact or send email
Ormond Tennis Club	9 Foch Street, Ormond	5	Red porous	4	3,389	Primarily Wednesday night for nonmembers. Committee members can be contacted for casual usage, with coin operated lights
St Kevin's Tennis Club	38–62 Glen Orme Avenue Ormond	3	Red porous	2	2,303	Call or email club contact
Victory Park Tennis Club	Victory Park 21 Patterson Road, Bentleigh	4	Red porous	0	2,383	Call or email for casual court hire
Wattle Tennis Club	Bentleigh Hodgson Reserve 1–3 Higgins Road, Bentleigh	2	Red porous	0	996	Have to contact secretary

5. ACTION PLAN

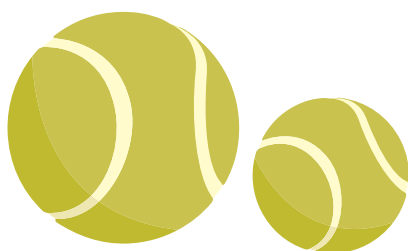
The *Action Plan* outlines the tasks and projects to be undertaken and are consistent with Tennis Australia's four key pillars of successful tennis facilities. Council will actively implement and prioritise the actions based on strategic need, opportunity and available resources. The implementation will require the ongoing involvement, input and collaboration of local clubs, Tennis Victoria and other key stakeholders.

Action Plan implementation status will be reported at the annual Glen Eira Tennis Club forum (Action 1.6).

#	Action	How this will be achieved
Accessibility		
1.1	To explore financial assistance for clubs seeking to undertake upgrades that will improve accessibility, participation and community benefit.	<p>Explore the feasibility of establishing an annual Council funding program for facility infrastructure initiatives aimed at increasing participation, facility usage and improving community access. This could include lighting, remote court access systems, court surfaces which could facilitate other uses and similar type projects.</p> <p>The funding assessment criteria will be developed in the future and will have the broad intent of:</p> <ul style="list-style-type: none"> • Funding priority towards projects that enhance community access to facilities, creating fit for purpose facilities, improving access for all abilities and creating open and inclusive environments. • A focus on upgrades that strengthen a club's home base – improving the amenity for players, support for administrators, volunteers, officials and supporters who collectively transform sport from an activity into a community. • An emphasis on facility improvements over like-for-like replacements. <p>This would be a separate program to the Community Grants Program which is focused towards promotional events, unique competitions and non-capital projects. Clarity will be provided on what types of projects are suitable to each grant program.</p>
1.2	Provide tennis clubs with guidance on how Council can assist to promote their clubs, events and places to play.	Preparation of a communications guide, or similar, which outlines the promotional opportunities available through Council's website, directories and social media channels.
1.3	Develop signage guidelines to assist in the identification and promotion of tennis opportunities.	<p>Review tennis signage to ensure facilities are easy to find and provide relevant contact information with a view to promote tennis clubs and opportunities to play.</p> <p>Signage guidelines would be consistent with the minimal signage that currently exists in open space.</p> <p>Advertising signage, or those promoting a commercial business, will not be considered.</p>
1.4	Improving community opportunities to play tennis at all levels.	<p>Tennis is a sport for all ages, abilities and genders. Making it easy to get a racquet in people's hand and provide physically and economically accessible places to play is a key aim.</p> <p>To achieve this Council will work with clubs to ensure that venues across Glen Eira are open to the community (including non-members) for hire and casual play.</p> <p>In addition Council will continue to explore casual hit-up walls, court space and informal areas in parks and open space.</p>
Community benefit		
1.5	Consider existing tennis facilities in future land use planning to ensure broader community benefit and other opportunities.	<p>Continue to consider the operational aspects, functionality and future provision of tennis facilities within parks and open spaces to achieve the best community outcomes.</p> <p>Involve tennis clubs in land use planning for Council reserves to ensure broader community benefit, opportunity and outcomes.</p> <p>This may see Council directly invest in tennis infrastructure to achieve better open space outcomes – this could include improved park functionality, providing additional activity, creating additional spaces or where there is a benefit in combined facilities.</p>

1.6	Consider funding opportunities available to tennis clubs for participation based programs.	<p>Funding for events and new initiatives which meet the aims of the community grants program and increase community connections, such as tennis open days and activities that promote inclusion may be funded through Council's <i>Community Grants Program</i>. Court infrastructure upgrades, maintenance and operational costs are not eligible. (see Action 1.1).</p> <p>Guidelines outlining the types of programs/events that could be funded for tennis clubs (and other sporting clubs) could be included in <i>Community Grants Program</i> details or as a separate 'sports specific' appendix.</p> <p>Clubs will be provided with opportunities to attend community grant briefings and discuss possible applications prior to the next round of funding in March 2019.</p>
1.7	Council to host an annual <i>Tennis Club Forum</i> for Glen Eira clubs in partnership with Tennis Victoria.	<p>Council and Tennis Victoria to facilitate an annual <i>Tennis Club Forum</i>.</p> <p>Forums will focus on building and sharing knowledge and providing updates on the Tennis Strategy implementation.</p>
1.8	Tennis Club Liaison Officer.	Establish a club contact from Council's Recreation and Open Space department for non-lease matters, such as club development, promotional assistance and general enquiries.
Sustainability		
1.9	Incorporate tennis facilities into the planning for leisure, sport and recreational needs of the current and future community.	<p>The need for well-planned and pragmatic open space infrastructure is essential to meet our growing and changing demographic.</p> <p>This could include the potential of shared facilities to maximise use, consolidation of underutilised facilities and/or the provision of publicly accessible courts.</p> <p>Tennis facilities will continue to be incorporated in open space developments such as multi-use spaces or hit-up walls where appropriate.</p>
1.10	Explore planning permit exemption for tennis related projects which have a community benefit.	<p>Seek formal advice regarding what types of projects could gain planning exemptions under <i>Planning Scheme Clause 62.02-1</i>.</p> <p>Planning permits ensure that developments are safe, meet statutory requirements, and contribute to the overall character of the area.</p> <p>As per lease conditions, clubs are required to gain landlord consent for projects that change the existing nature, use or character of a facility. This ensures that works are appropriate, suitable and considered from an open space planning context.</p>
1.11	Review the existing partial rate waivers applied to tennis facilities under the <i>Cultural and Recreational Lands Act 1963</i> .	<p>Seek formal advice and prepare a report for Council to consider a revised waiver schedule, outlining the financial implications, related issues and implementation process.</p> <p>The <i>Cultural and Recreational Lands Act 1963</i> (CRLA) was enacted to provide a rating regime for properties that promote cultural, sporting, recreational or similar facilities for community benefit — such as tennis facilities.</p> <p>A CRLA waiver allows recognition for an appropriate level rating for properties which are used primarily for cultural or recreational purposes. The partial rates waiver amount is determined by Council in accordance with the CRLA. Eligibility would need to be based on any requirements in the Act and other Council conditions such as:</p> <ul style="list-style-type: none"> • providing accessible courts; • not for venues with Liquor Licences; and • not for non-tennis related commercial activity. <p>Clubs or groups that have a component of their assessment outside this purpose will be rated separately and are not subject to the provisions of the partial waiver.</p>
1.12	Ensure clubs have adequate sinking funds for large capital renewals and/or upgrades.	<p>In partnership with Tennis Victoria, Council will aim to:</p> <ul style="list-style-type: none"> • educate clubs on the need for sinking funds; • provide advice on appropriate levels of contribution; and • assist clubs to generate operational capacity. <p>Reporting requirements currently form part of club leasing requirements. This will be investigated as part of Action 1.14.</p>

I.13	Explore alternative management models for tennis facilities on a case-by-case basis.	<p>In collaboration with clubs and Tennis Victoria, Council will explore a range of facility management options aimed at providing sustainable, accessible and appropriate facilities.</p> <p>This could include facilities with shared community spaces or complimentary Council/community services, a Council managed venue, commercial leases or a hybrid model.</p> <p>Review and amend the scope of the <i>Glen Eira City Council Community Sport — Management of Grounds Policy</i> to include tennis facilities.</p> <p>This process will be site specific and could be initiated when:</p> <ul style="list-style-type: none"> • a lease is due for renewal; • on request of club or Council; • a club is not sustainable; • part of an open space planning process; or • if a facility becomes vacant.
I.14	Collaborate with Tennis Victoria staff and programs to promote, develop and support tennis participation.	<p>Partner with Tennis Victoria through its participation leader officers to provide program support, outline participation opportunities and support club development.</p> <p>This will help Glen Eira clubs to grow the game and ensure management, programs and project models are viable and sustainable.</p>
Accountability		
I.15	Leasing arrangements.	<p>Incorporate tennis facilities into a review of Council's <i>Community Lease Policy</i>. The review will examine the appropriateness of leasing arrangements including:</p> <ul style="list-style-type: none"> • the length of leases; • current peppercorn lease arrangements; • the requirement of clubs to be affiliated to Tennis Victoria; • The requirement of head tennis coaches to hold either a Level 1 (junior development), Level 2 (club professional) or level 3 (high performance) Tennis Australia official coaching qualification along with holding an active annual membership to Tennis Australia Coach Membership. This helps ensure coaches at affiliated tennis venues are accessing national tennis programs and support, covered for relevant insurances, and have been screened annually for compliance with a working with children check, police check and first aid qualification. • insurance requirements; and • in accordance with Tennis Victoria's guidelines, coaches and immediate family members and partners are not eligible to hold executive positions on the club's committee or hold voting rights, as this presents a conflict of interest. <p>This will also review the annual reporting requirements for clubs and ensure clubs continue to be accessible for non-members.</p>
I.16	Review club third party commercial arrangements and governance arrangements of clubs.	<p>Review the appropriateness of third party commercial arrangements at tennis facilities.</p> <p>It is acknowledged that tennis club coaches operate commercial businesses. Unique to tennis clubs they also may drive participation, manage court access and contribute to the maintenance of the facilities for the benefit of the wider club membership and community.</p> <p>The intention is to ensure that these contributions are appropriate, meet governance requirements and are monitored appropriately.</p>



9.10 ENVIRONMENTAL SUSTAINABILITY ACTION PLAN 2017-18 AND 2018-19

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Attachments: 1. ESS Action Plan - Progress Report 2017-18
2. Environmental Sustainability Action Plan 2018-19

PURPOSE AND SUMMARY

To report on progress against the Environmental Sustainability Action Plan for the year 2017-18 and present the Environmental Sustainability Action Plan for 2018-19.

RECOMMENDATION

That Council:

1. notes the report on progress against the Environmental Sustainability Strategy Action Plan for 2017-18; and
2. endorses the Environmental Sustainability Action Plan for 2018-19.

BACKGROUND

The Environment and Sustainability Strategy 2016-2021 sets out how we will improve environmental sustainability from Council operations and also how Council will support and advocate on behalf of the community. Each year an Action Plan is developed to put the strategy recommendations into practice.

Annually, a detailed report on progress against the Environmental Sustainability Action Plan is provided. 92 per cent of the 115 actions for the 2017-18 year were completed or have commenced and are ongoing. A small proportion were deferred for operational reasons or only partially completed.

ISSUES AND DISCUSSION**Environmental Sustainability Action Plan 2016-17**

Most of the 115 actions for the 2017-18 year were completed or are ongoing. A small proportion were deferred for operational reasons, or only partially completed. These are:

- Deferred items include the Urban Forest Strategy and Victory Park car park design, both will proceed in 2018-19.
- Several of the items listed as partially on track relate to actions where multiple sites were listed under actions and some are complete and some are still to be completed eg. lighting upgrades and landscape works.
- Marlborough Street Reserve Pavilion was included as one of the major projects scheduled for planning and design – this has been deferred pending the proposed East Village development.
- An Electric Vehicle feasibility study was proposed for EAGA councils in 2017-18. Several other councils undertook similar studies and EAGA will leverage off this

work rather than duplicate the research. This item is listed as partially on track as the research has been done but not by EAGA as originally planned.

Some of the highlights of 2017-18 were:

- Introduction of food waste recycling
- Integrated Transport Strategy
- Biodiversity in Glen Eira Implementation Plan
- Planning for Major Roads Street Lighting Upgrades
- More solar and energy efficiency works contributing to a 8% decrease in Council emissions
- New programs to help the community reduce emissions

Environmental Sustainability Action Plan 2018-19

The 2018-19 Action Plan builds on the work done to date. Some of the actions are part of ongoing programs or multi-year projects that are now at the next stage.

Some key initiatives proposed in the Action Plan are:

- Investigating alternative options to invest in renewable energy via electricity procurement.
- Upgrading Council managed street lights on major roads to LED.
- Continuation of the solar and energy efficiency program including a further 100kw of solar at GESAC.
- Implementing Solar Savers to help low income residents install solar.
- Developing an Urban Forest Strategy.
- Sportsground lighting upgrades at Bentleigh Reserve and McKinnon Reserve to energy efficient LED.
- Implement a citizen science project to monitor local biodiversity.

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

The action plan is achievable within the 2018-19 Council adopted budget.

POLICY AND LEGISLATIVE IMPLICATIONS

Council's Environment and Sustainability Strategy 2016-2021.

COMMUNICATION AND ENGAGEMENT

The Environment and Sustainability Strategy 2016-2021 sets out how we will improve environmental sustainability from Council operations and how we will support and advocate on behalf of the community.

This strategy was adopted in 2016 and was developed based on extensive community consultation and the draft strategy was tested with the community through consultation.

Once the Action Plan for 2018-19 is adopted, this will be promoted through various channels to the community.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme Four: Clean and Sustainable

An attractive and sustainable environment for future generations.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The Action plan for 2017-18 was largely completed, with 92 per cent of the actions completed, or commenced and ongoing. The 2018-19 Action Plan will enable Council to continue to make significant progress towards achieving the longer term objectives and goals set out in the Community Plan and Environmental Sustainability Strategy.

Environmental Sustainability Action Plan 2017-18 - Progress Report								
Climate change — Council infrastructure and operations								
Objective C1: Reduce greenhouse gas emissions from Council managed or owned buildings by at least 25 per cent by 2021 by investing in energy efficiency and renewable energy.								
Number	Recommendation	Priority	Actions for 2017-18	Responsible Officer	Status - 30 June 2018			
C1.1	Build any new Council buildings to be very low carbon, continue to allocate five per cent of capital budgets for sustainability measures.	High	Investigate energy efficiency options including LED lighting during design and/or construction at the following sites in 2017-18: <ul style="list-style-type: none"> Duncan McKinnon Netball Court extension (design and construction) Bentleigh Plaza and Mitchell Street Car Park (design) Bailey Reserve Skate Park (design and construction) Victory Park car park (design) Internal renewal work at Town Hall precinct. 	B&P/Major Projects	This will be part of the Design Brief for Town Hall Office Accommodation Architectural Services and all possibilities will be investigated within the refurbishment project. Duncan Mackinnon - LED lighting to be installed on new netball courts currently under construction. LED lighting included in skate park design. Bentleigh Plaza and Mitchell Street Car Park design has just commenced. Victory Park car park deferred to 2018-19.	Ongoing		
		High	Incorporate passive solar design and low carbon solutions in design and planning of major projects: <ul style="list-style-type: none"> Carnegie Swim Centre, Carnegie (redevelopment design); Lord Hex Pavilion, Carnegie (forward design); and Marlborough Street Reserve Pavilion, Bentleigh (renewal and upgrade — scoping). Deferred pending East Village 	Major Projects	Lord Hex Pavilion and Carnegie Swim Centre are in feasibility and concept stage. Marlborough Street Reserve Pavilion deferred pending East Village.	Partially on track		
C1.2	Continue to reduce emissions generated from existing buildings, including through an annual rolling program of energy efficiency and renewable energy works.	High	Implement a 'whole of building' sustainability enhancement program at Bentleigh Library and Works Depot.	B&P	Works Depot opportunities identified and implemented with solar and insulation and LED upgrades. Further opportunities identified at Bentleigh and will be considered as part of upgrade works.	Completed		
		High	Insulation upgrades and solar system installations at a range of Council buildings.	B&P	Solar systems installed at 3 pavilions, Moorleigh Village and the Works Depot. A tender for Insulation works at 7 pavilion sites, Caulfield Recreation Centre, Carnegie Early Learning Centre, and Parks Depots is being finalised with works to be completed in 2018-19.	Completed		
		High	Upgrade lighting at various sporting pavilions to LED.	B&P	Upgrade to sports field lighting on Oval 1 to LED lights at McKinnon Reserve Oval 1.	Completed		
		High	Renew heating, ventilation and air conditioning (HVAC) system and replace the main air conditioning unit with a much more efficient system at Town Hall	B&P	Works complete.	Completed		
		High	Develop forward plan for next phase of retrofitting Council buildings including energy efficiency, building design elements and renewable energy.	B&P	In progress.	Ongoing		
C1.3	Continue to purchase at least 1,900,000 kilowatt hours per year of green power or equivalent product.	High	Purchase at least 1,900,000 kilowatt hours of Green Power or equivalent in 2017-18.	Finance/Sustainability	Purchased 1,969,750 kilowatt hours of green power.	Completed		
C1.4	Investigate and incorporate further lower emissions alternatives for use in construction.	Medium	Use recycled concrete for road base and backfill in drainage projects.	Major Projects	This is standard practice and ongoing in all civil projects	Ongoing		
		Medium	Trial increased recycled content in asphalt.	Major Projects	Trial at Alamar Avenue during 2016-17 will take several years to assess.	Ongoing		

C1.5	Further develop energy monitoring and reporting practises to allow automation and support behaviour change.	High	Trial wireless smart control of at least 2 smaller buildings.	B&P	Sites will be identified as part of the Facilities Management Brief.	Ongoing		
		High	Review specifications for rolling programs to make sure that wireless smart capacity is included where useful.	B&P/Major Projects	Key sites have been identified and BMS systems are being allocated for 18/19. For larger projects such as TH HVAC a BMS has been included within the project.	Ongoing		
		High	Energy management system to be fine-tuned to meet seasonal needs at Booran Reserve, Glen Huntly.	Major Projects	Completed. Operation of BMS is ongoing	Completed		
		High	Continue the education program for sporting clubs on energy efficiency in pavilions.	Sustainability	4 energy audits completed for sporting clubs.	Completed		
		High	Examine options for reporting and monitoring community emissions.	Sustainability	Population ID data contains partial data. Officers have attended several information sessions on this topic and have engaged a third party to complete an emissions profile before September 2018.	Completed		
		High	Incorporate integration of BMS at Glen Eira Town Hall, Caulfield into scope of office design work.	B&P	All Lighting and Mechanical systems will be added to a BMS system.	Ongoing		
		High	Implement sustainability indicator reporting changes identified in 2016-17.	Sustainability		Completed		
Objective C2: Reduce Council greenhouse gas emissions from Council managed street lighting by 30 per cent.								
C2.1	Further improve efficiency of streetlights significantly, prioritising high pressure sodium type lights, in collaboration and with funding from VicRoads.	High	Undertake planning and project development for changeover of streetlights on main roads (HPNa) to more efficient alternatives.	Sustainability & Infrastructure and Assets	Planning underway changeover planned for council managed lights in 2018-19.	Ongoing		
C2.2	Replace any remaining older type Council outdoor lights, including mercury vapour lights with more efficient alternatives.	High	Replace public lighting with LED upgrades at Bentleigh Hodgson Reserve, Bailey Reserve, Glen Eira Town Hall, EE Gunn Reserve, Moorleigh Village (car park), Greenmeadows Reserve and Bentleigh Library.	Parks/Rec	Upgrades at Bentleigh Hodgson Reserve, Bailey Reserve, Greenmeadows Reserve completed. EE Gunn Reserve to be completed by EOFY. Glen Eira Town Hall, Moorleigh Village (car park), and Bentleigh Library deferred.	Partially on track		
		High	Explore further options for outdoor lighting upgrades.	Parks/Rec	Planning for 2018/19 capital bids for include solar LED at Marara Road Reserve and installation of LED feild of play lighting at Moorleigh Reserve. Audit of sports ground lighting maintenance.	Completed		
		High	Participate with eight other Councils in a project to investigate the role 'smart' (internet enabled) street lights might play in transitioning to smart city infrastructure.	Sustainability/Engineering	Participated in Smart Lighting Feasibility Study	Completed		
Objective C3: Reduce emissions from vehicles used in Council operations and services								
C3.1	Review options to reduce emissions from vehicles used by Council and contractors; and encourage use of active and public transport.	Medium	Develop Integrated Transport Strategy including reviewing options to encourage the use of active and public transport.	Transport/Sustainability	Integrated Transport Strategy to be adopted by Council at 12 June OCM.	Completed		
		Medium	Electric Vehicle feasibility study: determine suitability of electric vehicles to replace standard passenger cars in council fleet, including charging infrastructure and opportunities for collaborative vehicle procurement with EAGA councils. (EAGA project)	Sustainability	The Northern Alliance for Greenhouse Action (NAGA) and Goulbourn Broken Greenhouse Alliance (GBGA) have recently completed business case studies on the introduction of electric vehicles (EV's) into council fleets. EAGA will facilitate a regional forum for fleet and finance managers to discuss the findings of the business case projects, map and align fleet review processes and policies, examine barriers and discuss collaborative procurement options.	Partially on track		
		Medium	Advocate for better public transport routes and connections.	Transport	Included in Advocacy Strategy priorities and Integrated Transport Strategy.	Completed		
		Medium	Review implementation timing for green travel plans.	Transport/Rec	Trialled shuttle bus from station, investigating car pooling options.	Completed		
		Medium	In line with Council's Sustainable Transport Strategy, advocate for better public transport routes and connections, including re-routing of the 822 bus via Glen Eira Sports and Aquatic Centre, Bentleigh East and for strong public transport connections at East Village.	Transport/Rec	Included in Advocacy Strategy priorities and Integrated Transport Strategy.	Completed		

Objective C4: Adapt Council managed open space, infrastructure and services over time to cope with climate change									
C4.1	Consider climate change impacts, such as storm frequency and peak stormwater flows, on open space, infrastructure and services and adapt these over time, usually during design or service reviews.	Medium	Flood mitigation works planned for a range of locations including Northcote Avenue, Caulfield North, and Bealiba Road, Caulfield South.	Major Projects		Flood mitigation works completed.	Completed		
		Medium	Drainage works at Brooklyn Avenue, Caulfield South prior to road construction.	Major Projects		Drainage upgrade completed.	Completed		
		Medium	Glen Huntly car park redevelopment to include water sensitive urban design (WSUD) feature.	Major Projects		WSUD Completed (Planting to be finalised in 2018/19).	Completed		
		Medium	Investigate opportunities for WSUD during Victory Park car park design.	Major Projects		Project deferred to 2018-19. WSUD to be included in brief.	Deferred		
C4.2	Ensure staff have access to regular training to stay up-to-date with rapidly changing knowledge and technology change.	Medium	Host at least four staff sustainability sessions and three meetings of the Excellence in Sustainability staff network.	Sustainability		4 staff sustainability sessions and 5 Excellence in Sustainability Network meetings hosted.	Completed		
		Medium	Staff training on emerging products and technologies such as battery storage.	SEO/MBP		Staff session on solar and battery storage technology held in May 2018. Staff attended conferences and webinars.	Completed		
C4.3	Incorporate features to minimise the urban heat island effect in design of buildings, streetscapes and open space.	High	Incorporate sustainable design features into a range of placemaking projects during 2017-18.	City Futures		Sustainable Design features included in Draft Quality Design Guidelines and Structure Plans for Carnegie, Elsternwick and Bentleigh.	Completed		
		High	Landscape Enhancement will be carried out at Pell Street Reserve, Duncan Mackinnon Reserve, Rosanna Street Reserve and Spring Road Reserve, and as part of Harleston Park Major Playground Upgrade.	Rec		Pell Street Reserve (completed), Duncan Mackinnon Reserve (works deferred), Rosanna Street Reserve (underway) and Spring Road Reserve (underway), and as part of Harleston Park Major Playground Upgrade (underway).	Ongoing		
		High	Install shade sails as part of Council's rolling program including at Packer Park and Duncan Mackinnon Reserve.	Rec		Packer Park (completed), and Duncan Mackinnon Reserve (works deferred).	Partially on track		
		High	Plant an additional 1,000 street trees in vacant sites.	Parks			Completed		
		High	During design of Bentleigh Plaza and Mitchell St Car Park consider landscaping opportunities.	City Futures		'Eat Street' design is underway and will include maximising landscape opportunities. Concept design completed and includes.....	Completed		
		High	Develop an urban forest strategy.	Parks/Sustainability		Deferred to 2018-19	Deferred		
		High	Incorporate vegetation and other features into streetscape design and renewal works.	City Futures		Neerim Road streetscape design is underway and will include significant landscape opportunities including large canopy trees.	Ongoing		
Climate change - Supporting the community									
Objective C5: Advocate for higher efficiency standards for buildings, better public transport and other measures to reduce greenhouse gas emissions in the community									
C5.1	Advocate state and federal governments to support the community in reducing emissions from buildings, appliances and transport, and to incorporate emissions reduction initiatives into their own projects and programs.	High	Advocate to the State Government to optimise bike paths and pedestrian facilities, as part of the level crossing removal projects.	LXRC		Optimised bike paths and pedestrian paths in the linear corridor.	Completed		
		High	Advocate for new generation garbage processing facilities that reduce emissions from waste.	Waste/Sustainability		Council is working with MWRRG in conjunction with other local councils to advocate for joint funding in this space.	Ongoing		
		High	Develop a Waste to Energy discussion Paper (EAGA project).	Sustainability		Paper completed which identified emissions from waste.	Completed		
		High	Advocate for better public transport routes.	Transport		Adopted as part of Advocacy Strategy priorities and in the Integrated Transport Strategy.	Ongoing		
		High	Advocate for a state-wide approach to sustainability of the built environment.	Planning		Adopted as part of Advocacy Strategy priorities.	Ongoing		
		High	Develop formal submissions through relevant consultation processes with EAGA Councils.	Sustainability		EAGA submitted 7 formal advocacy submissions. GECC submitted a submission on Waste to Energy.	Completed		
Objective C6: Support the community to cope during hotter weather and extreme weather events									
C6.1	Regularly review Council's Heat Wave Response Plan and Emergency Response Plan for currency and implement the plans when triggered.	High	The Municipal Emergency Management Committee to review the three year Action Plan for the Municipal Emergency Management Plan including heatwave and flood plans.	B&P		Completed last year.	Completed		
Objective C7: Support the community to access active and public transport, improve the efficiency of their homes and to increase their use of renewable energy									

C7.1	Celebrate the sustainability features at Council buildings and facilities as part of community education activities to demonstrate energy efficiency and renewable energy, for example, by running tours or promoting case studies.	High	Continue to develop signage and a building user engagement program, identifying the sustainability features at: • Glen Eira Town Hall, Caulfield; • Glen Eira Sports and Aquatic Centre (GESAC), Bentleigh East; • Booran Reserve, Glen Huntly; and • Carnegie Library, Carnegie.	B&P/REC/Sustainability - confirm officers	Signage at Booran Reserve completed.	Partially on track		
		High	Run two sustainability showcase tours at Booran Reserve.	Sustainability	2 tours held.	Completed		
		High	Promote case studies of sustainability features on Council buildings using Council's communications channels, including running five stories in Glen Eira News and five stories in e-newsletters.	B&P/Sustainability (SC/SSO)	7 articles run in GE News and 5 in our e-newsletters.	Completed		
		High	Present on Council's approach to sustainability in buildings at least two conferences or seminars.	GM	Presented at 2 conferences	Completed		
C7.2	Help residents access practical solutions and rebates available from other levels of government, including reviewing and expanding the Energy Saving Program.	High	Investigate options and implement practical programs such as Solar Savers to help residents improve energy efficiency and increase their use of renewable energy.	Sustainability	A number of practical programs were investigated. Council signed up to be part of 2 programs Solar Savers and Positive Charge.	Completed		
		High	Promote relevant community and government initiatives that may assist our community.	Sustainability	Ongoing.	Completed		
C7.3	Run ongoing community education programs on reducing carbon emissions in the home, supporting sustainable transport and activities to increase walking and riding support.	Medium	Run at least three free workshops on energy efficiency, solar or other emissions reduction topics.	Sustainability	5 events - Save Money on Bills, Earth Hour, 2 x Tour of Booran Reserve, Just Eat It and Positive Charge at Party in the Parks.	Completed.		
		Medium	Regularly promote options to reduce emissions including six articles in Glen Eira News and ten sustainability e-newsletters.	Sustainability	9 articles in GE News and 12 in the e-newsletters.	Completed.		
		Medium	Support a range of community and government initiatives, such as Earth Hour and VicHealth's Walk To School program.	Sustainability	Promoted Walk to School, Earth Hour and a range of other initiatives.	Completed.		
		Medium	Develop an Integrated Transport Strategy.	City Futures	Integrated Transport Strategy to be adopted by Council at 12 June OCM.	Completed.		
		Medium	Examine options for reporting and monitoring community emissions.	Sustainability	Population ID data contains partial data. Officers have attended several information sessions on this topic and are planning to develop a community emissions profile before September 2018.	Ongoing		
Recycling and waste - Council infrastructure and operations								
Objective R1: Increase the recycling rate at Council buildings by at least 10 per cent.								
R1.1	Continue to provide and improve recycling services at Council events and most community used buildings and align signage and systems with waste and recycling services for the community.	High	Improve recycling facilities at Carnegie Library and Community Centre, Carnegie; and GESAC, Bentleigh East.	B&P/Sustainability	Audits and updates conducted at all sites. Carnegie Library and GESAC improvements completed.	Completed.		
			Continue program to audit recycling facilities at sporting pavilions.	Sustainability	An audit of recycling facilities at Council-owned sporting pavilions was completed and improvements to external bins, internal bins and signage implemented at each location.	Completed.		
R1.2	Extend education for staff and community users of Council buildings on how to recycle.	Medium	Increase recycling by five per cent at Glen Eira Town Hall, Caulfield.	Sustainability	An audit Improved recycling facilities at	Completed		
			Engage with sports clubs to promote increased recycling in pavilions and around sportsgrounds.	Rec/Sustainability	All Council owned sporting pavilions have now been completed, with 16 non-Council owned buildings still to be completed (service has been offered but not taken up as yet).	Ongoing		
R1.3	Integrate recycling services in new buildings and facilities.	High	Provide new bin enclosure facilities at Moorleigh Community Village Reserve, and McKinnon Reserve. This will provide opportunity for better recycling.	Rec	Moorleigh Community Village Reserve (completed), and McKinnon Reserve (completed).	Completed		
			Incorporate recycling facilities into forward design of major projects, including Carnegie Swim Centre, Carnegie, and Lord Hex Pavilion, Carnegie.	Major Projects		Ongoing		

Objective R2: Reduce use of new materials in Council operations									
R2.1	Continue to require recycling of building and road construction waste in Council construction projects, continue to use recycled paper products and explore opportunities to increase use of recycled products as technology and products improve.	High	Use Council's standard tender specifications for construction projects which seek recycling of building waste.	Major Projects	Used in all tenders	Ongoing			
		High	Use sustainably sourced or recycled paper for at least 95 per cent of copy paper and printed materials.	B&P/Sustainability	100% of photocopy paper was recycled and carbon neutral.	Completed			
R2.2	Identify standard recycled products for common procurement categories and establish as standard in procurement procedures.	Medium	List of standard products used reviewed and updated.	B&P/Sustainability	A number of changes implemented to improve Sustainability Procurement.	Completed			
R2.3	Review options to reduce and reuse materials, furniture and supplies used by Council.	Medium	Explore opportunities for increased use of recycled (or sustainably sourced) furniture in office fit out.	B&P	Will be investigated as part of the office accommodation project.	Partially on track			
Recycling and waste - Supporting the community									
Objective R3: Increase the community recycling rate by at least 30 per cent by 2021									
R3.1	Introduce food waste recycling for the community, as part of the existing organic waste recycling service by end 2017.	High	Introduce food waste recycling for the community in early 2018 subject to the establishment of a planned processing facility in south east Melbourne.	WRC/SC/GM	Commenced 1 May 2018.	Completed			
		High	Implement a community education plan to introduce food waste recycling to support the introduction of the service.	Sustainability		Completed			
R3.2	Investigate whether changes to frequency of kerbside bin collections could reduce garbage and increase recycling.	High	Frequency of kerbside collection to be looked at after the implementation of food waste recycling after 2017-18.	WRC/SC/GM	After 2017-18.	On track			
R3.3	Work with neighbouring waste and Resource Recovery Group and other local governments to secure access to new generation garbage disposal facilities that minimise greenhouse gas emissions from waste.	High	Work with neighbouring councils to advocate and progress procurement of new generation garbage facilities to service the south east.	WRC/SC/GM	Council is working with MWRRG in conjunction with other local councils to advocate for joint funding in this space.	Ongoing			
R3.4	Investigate, and if feasible, offer Council run waste and recycling services specifically designed for higher density areas and larger businesses.	Medium	Promote business focussed opportunities for recycling and reusing materials.	WRC/SC/GM	Promoted a range of initiatives including Share Waste, Responsible Cafes and plastic bag ban.	Completed			
R3.5	Increase recycling from hard rubbish and street sweeping.	Medium	Five per cent increase in recycling from hard rubbish collections by increasing the materials that are diverted for recycling.	WRC/SC/GM	Total volume of recycled materials increased from hard rubbish but diversion rate was down.	Partially on track.			

Objective R4: Support the community to minimise and correctly sort waste and recycling in homes and businesses.								
R4.1	Run a long-term and ongoing recycling and waste education program for residents, including encouraging volunteer litter collection.	High	Implement five year recycling education plan, including exploring opportunities for social media, volunteerism and partnerships to support better recycling.	SC	Five year recycling communications plan developed in 2016 is currently being implemented.	Ongoing		
		High	Promote Love Our Streets, volunteer litter collection project and Clean-Up Australia Day activities in Glen Eira.	Sustainability	Promoted Love our Street via our sustainability e-newsletter and Clean up Australia Day.	Completed		
		High	Investigate opportunities for volunteerism to help address littering.	Sustainability	Promoted Love our Street via our sustainability e-newsletter.	Completed		
		High	Continue work to establish more of Council's community use buildings as 'case study' sites that reinforce and demonstrate good recycling in the community. Use these sites as demonstration sites and use these as a focus for articles, tours and presentations.	B&P/Sustainability	12 of Council's most prominent community use buildings have either had recycling and organics bins added/updated or are in the final stages of being completed.	Completed		
		High	Support the community to minimise unwanted advertising material by providing letterbox stickers.	Sustainability	"No advertising material" stickers developed and available on request.	Completed		
R4.2	Encourage use of specialist disposal options, including those available to the community, but not run by Council (for example, for batteries or clothes).	Medium	Promote specialist disposal options (such as drop-off points nearby for batteries, plastic bags and chemicals), including through promotion in sustainability e-newsletters and Glen Eira News.	Sustainability	Promoted online via our Recycling A-Z, GE News and sustainability e-newsletters.	Completed		
		Medium	Include improved electronic interface of Recycling A-Z in website redesign project.	Sustainability	Website redesign in progress.	Ongoing		
R4.3	Continue to advocate for policy settings and services at state and federal levels that improve options for disposal of special items, such as batteries, light bulbs, chemicals and small e-waste	High	Advocate in relevant forums and consultation processes with a focus on: • More and better located disposal and recycling services nearby for small e-waste and chemicals. • Product stewardship programs to ensure industry funds disposal of products it produces.	WRC/SC/GM	Participation in Metro Waste Forum. Submission to Waste to Energy and E-waste consultations.	Completed		
Biodiversity - Council infrastructure and operations								
Objective B1: Protect or enhance biodiversity and environmental heritage on Council managed land in Glen Eira.								
B1.1	In line with Council's Open Space Strategy, protect and over time enhance areas of remnant vegetation and other native plant communities and trees.	High	Complete feasibility study for renewal of Packer Park Wetlands, Carnegie.	Parks/Major Projects	Work is being done to repair the retaining wall of the Packer Park wetlands and further planting works will be undertaken to enhance its ability to support biodiversity.	Ongoing		
			Landscape Enhancement will be carried out at Pell Street Reserve (garden enhancements, swale and new trees) Duncan Mackinnon Reserve, (new trees and garden enhancements) Rosanna Street Reserve (sensory garden), and As part of Harleston Park Major Playground Upgrade, enhancements to the nature play area.	Recreation	Landscape enhancement works underway for Rosanna Street Reserve, Springroad Reserve. Pell street and Marara Rd complete. Detailed design being finalised for Harleston Park Upgrade. Duncan McKinnon to be completed after upgrade works.	Ongoing		
B1.2	Ensure sufficient seed stock is available to replant remnant indigenous vegetation in the event of its loss (ie. a result of wind, fire, pest).	High	There is currently sufficient seed stock available to Council if needed. Officers will continue to monitor this.	Parks/Sustainability	No action required	Completed		
B1.3	Explore practical management options to improve biodiversity, such as increasing diversity of insects and habitats within some open spaces and streetscapes with nesting boxes, and retaining woody debris in some cases.	Medium	Develop an implementation plan for recommendations made by Dr Graeme Lorimer in the report 'Biodiversity in Glen Eira' that relate to Council managed land.	Recreation	Implementation plan developed	Completed		
		Medium	In 2016–17, the focus is on increasing the number of trees and amount of green space through programmed projects, including: • Pell Street Reserve, Bentleigh East screen planting and overstorying trees. • Marara Road Reserve, Caulfield South landscape enhancement works, including additional plantings.	Recreation	Both completed.	Completed		

B1.4	Incorporate natural features and natural heritage during design of buildings, urban areas and masterplans.	High	Plan for protection and enhancement of native vegetation in planning and design of major projects, including: • Carnegie Swim Centre, Carnegie redevelopment, • Lord Hex Pavilion, Carnegie • Caulfield Park Masterplan refresh • Open Space Strategy refresh	Major Projects		On track		
B1.5	Manage Council's tree population of more than 60,000 to keep it healthy and long lived and fill all appropriate vacant street tree spots on nature strips in the City (around 4,000).	High	Develop an Urban Forest Strategy.	Parks/Sustainability	Deferred to 2018-19	Deferred		
		High	Plant an extra 1,000 street trees.	Parks		Completed		
Objective B2: Increase the proportion of materials Council uses that are recycled or sustainably sourced.								
B2.1	Investigate options to further reduce impacts on biodiversity through procurement, including reviewing the source of products containing wood to ensure products are recycled or sustainably sourced.	High	Use recycled plastic benches in streetscapes.	City Futures		Completed		
		Medium			Plastic benches installed at Clarence street works.	Completed		
Biodiversity - Supporting the community								
Objective B3: Support the community to protect and enhance biodiversity including their gardens and connection with natural values								
B3.1	Support residents with education and information to protect and enhance biodiversity in the local area and introduce and maintain habitat in their own property.	Medium	Increase participation in Council's Neighbourhood Sustainable Gardening Program (NSGP) by 100.	Sustainability	83 new participants, increased engagement through garden tours	Completed		
		Medium	Host three events for NSGP participants to foster knowledge sharing and tap into their skills and expertise.	Sustainability	Hosted 2 Garden Tours and Food Swap events.	Completed		
		Medium	Develop educational videos to promote NSGP.	Sustainability	Video created and promoted via multiple channels.	Completed		
		Medium	Draw on Council demonstration sites such as Boyd Park or Mallanbool Reserve, Murrumbeena as part of the education program.	Sustainability	Frog Detectives presentation held at Packer Park.	Completed		
B3.2	Encourage community volunteerism and community research in the local area to further understand current populations of birds, insects and plants and to also provide practical support in conserving natural areas.	Medium	Encourage residents to participate in initiatives like the Aussie Backyard Bird Count and the Frog Census.	Sustainability	Both initiatives were promoted to residents via the SEN and e-newsletters respectively.	Completed		
		Medium	Investigate options to encourage volunteerism in the region, for example to support regional clean up or tree planting efforts.	Sustainability	Promoted the Love Our Streets initiative, Clean up Australia Day and National Tree Day.	Completed		
		Medium	Develop an implementation plan for recommendations made by Dr Graeme Lorimer in the report 'Biodiversity in Glen Eira' that relate to supporting the community to protect and enhance biodiversity.	Sustainability	Implementation Plan completed and adopted by Council includes plans for citizen science projects and community education.	Completed		
Objective B4: Advocate for protection of biodiversity and natural heritage on non-Council land in the City								
B4.1	Advocate for protection of natural heritage in major development projects in the City of Glen Eira, including level crossing removals.	High	Advocate State Government for the protection of natural heritage during level crossing removal projects and drainage works.	GM/LXRC		Ongoing		
		High	Advocate for the planting of suitable native and indigenous vegetation in appropriate locations following level crossing removals.	LXRC	Advocated for appropriate indigenous and native vegetation in design phase for the linear park open space.	Completed		
		High	Develop an advocacy plan to protect the biodiversity hotspots identified in the report 'Biodiversity in Glen Eira'.	Sustainability	Advocacy included in implementation plan.	Completed		

Water - Council Infrastructure and operations									
Objective W1: Increase efficiency of Council's water use									
W1.1	Continue to optimise Council's irrigation systems to ensure they are efficient and effective and that leaks are identified and rectified quickly if they occur. Annually review options and continually improve.	High	Review the performance of Council's centrally controlled irrigation system to ensure optimum maintenance and operational efficiency.	Parks		Ongoing			
		High	Review the irrigation watering schedules against ground usage allocations to ensure optimum irrigation operating times.	Parks		Ongoing			
W1.2	Continue the changeover to warm-season grasses in sportsgrounds in line with Council's <i>Open Space Strategy</i> .	High	Convert Bailey Reserve Oval 1 to warm-season grasses.	Parks/Rec	Works in progress	Ongoing			
W1.3	When updating irrigation systems and sportsgrounds, consider cost-effective opportunities to reduce potable water use.	High	Bailey Reserve Oval 1 is to be redeveloped including drainage, irrigation and conversion to warm-season grass.	Parks/Rec	Works in progress	Ongoing			
		High	Upgrade the irrigation systems at King George Oval 1.	Parks	Completed	Completed			
		High	Install a new irrigation system at Hopetoun Gardens, Elsternwick.	Parks	Completed	Completed			
Objective W2: Increase the amount of rainwater and stormwater Council captures or treats for use in parks, buildings or for trees.									
W2.1	During infrastructure planning and design, introduce features to reduce water use and reduce pollution that flows to Port Phillip Bay and seek appropriate partnerships and grants to support projects.	High	Glen Huntly car park redevelopment to include water sensitive urban design feature.	Major Projects	WSUD Completed (Planting to be finalised in 2018/19).	Completed			
		High	Consider opportunity for water harvesting / re-use during Caulfield Park feasibility study.	Andrew Barden	Caulfield Park Masterplan refresh is underway. The opportunity for water harvesting/re-use during is to be considered Caulfield Park Integrated Water Management Project.	Ongoing			
		High	During Victory Park car park design include water sensitive urban design feature.	Major Projects	Project deferred to 2018-19. WSUD to be included in brief.	Deferred			
W2.2	Model locations of sources of water-borne pollution in the City of Glen Eira to help inform priority locations for water saving, capture and treatment options in Council works and for education.	Medium	In 2017-18, water sensitive urban design will be investigated in works already planned in action W2.1. Modelling proposed for future years.	Recreation/Infrastructure Assets		Ongoing			
W2.3	To reduce pollutants that enter the stormwater system, review street sweeping schedules to identify opportunities to adjust schedules in target areas to account for differing times that leaves fall.	Medium	Sweep streets regularly (in line with current schedule), including frequent sweeping in shopping precincts and extra sweeping during autumn to minimise pollution.	WRC		completed			
		Medium	Review of city cleansing program in 2017-18, including street sweeping.	WRC		Completed			



GLEN EIRA
CITY COUNCIL

Environmental Sustainability Action Plan

2018-19

A man in a grey and green polo shirt is kneeling on a roof, working on a large array of blue solar panels. He is using a power drill to secure a panel. The background shows a clear blue sky and more solar panels stretching across the roof.

The *Environmental Sustainability Strategy 2016–2021* sets out how we will improve environmental sustainability from Council operations and how we will support and advocate on behalf of the community. Each year Council develops an action plan to put the recommendations from the *Strategy* into practice.

Environmental Sustainability Action Plan 2018-19

Introduction

To implement our *Environmental Sustainability Strategy*, Glen Eira City Council develops an *Action Plan* each year to put the recommendations from the *Strategy* into practice.

The *Environmental Sustainability Strategy* sets out how we will improve environmental sustainability from Council operations and how we will support and advocate on behalf of the community. The *Strategy* outlines Council's vision, aspirational goals, objectives and recommendations for how to achieve these.

This *Action Plan* outlines the specific actions planned for 2018-19. The *Action Plan* is reasonably detailed to illustrate the practical changes planned and at this level of detail, is subject to some change of an operational nature.

Navigating this document

The *Action Plan* is divided in to four themes that correspond with the *Environmental Sustainability Strategy*.

Actions for each of the four themes are presented in a table format under the objective that they will achieve and against the related recommendation. The objectives and recommendations are from the *Strategy* and the numbers can be used to reference the *Strategy*.

Climate change — Council infrastructure and operations

Number	Recommendation	Priority	Actions for 2018-19
Objective C1: Reduce greenhouse gas emissions from Council managed or owned buildings by at least 25 per cent by 2021 by investing in energy efficiency and renewable energy.			
C1.1	Build any new Council buildings to be very low carbon, continue to allocate five per cent of capital budgets for sustainability measures.	High	<p>Incorporate sustainability measures and low carbon solutions in construction at the following sites in 2018-19:</p> <ul style="list-style-type: none"> • Harleston Park Toilets, • McKinnon Reserve Toilets. • Internal renewal work at Town Hall precinct. <p>Incorporate sustainability measures and low carbon solutions in design and planning of major projects.</p> <ul style="list-style-type: none"> • Carnegie Swim Centre, Carnegie • Lord Reserve Pavilion, Carnegie • Murrumbeena Community Hub, Murrumbeena • Moorleigh Village Community Shed, Bentleigh East • Bentleigh Library re-design
C1.2	Continue to reduce emissions generated from existing buildings, including through an annual rolling program of energy efficiency and renewable energy works.	High	<p>Energy efficiency upgrades and solar system installations at a range of Council buildings, including:</p> <ul style="list-style-type: none"> • Solar installations at King George Pavilion and Carnegie ELC. • Evacuated tubing and additional solar installation at GESAC. • BMS installation at Caulfield Park Pavilion, Bentleigh Library and Carnegie Library. <p>Develop forward plan for next phase of retrofitting Council buildings including energy efficiency, building design elements and renewable energy.</p>
C1.3	Continue to purchase at least 1,900,000 kilowatt hours per year of green power or equivalent product.	High	<p>Purchase at least 1,900,000 kilowatt hours of Green Power or equivalent in 2018–19.</p> <p>Investigate alternative options to invest in renewable energy via electricity procurement.</p>
C1.4	Investigate and incorporate further lower emissions alternatives for use in construction.	Medium	<p>Continue to use recycled concrete for road and pavement bases and backfill in drainage trenches.</p> <p>Trial another increased recycled content in asphalt in the Asphalt Resurfacing program.</p>

Number	Recommendation	Priority	Actions for 2018-19
C1.5	Further develop energy monitoring and reporting practises to allow automation and support behaviour change.	High	<p>Develop building sustainability rating and reporting system to prioritise future sustainability upgrades.</p> <p>Continue an education program for sporting clubs on energy efficiency in pavilions, including offering free energy audits.</p> <p>Incorporate integration of BMS at Glen Eira Town Hall, Caulfield into scope of office design work.</p>
Objective C2: Reduce Council greenhouse gas emissions from Council managed street lighting by 30 per cent.			
C2.1	Further improve efficiency of streetlights significantly, prioritising high pressure sodium type lights, in collaboration and with funding from VicRoads.	High	<p>Changeover of Council managed streetlights on main roads (HPNa) to more efficient alternatives.</p> <p>Continue to advocate to State Government for funding for the changeover of cost-shared streetlights with VicRoads.</p>
C2.2	Replace any remaining older type Council outdoor lights, including mercury vapour lights with more efficient alternatives.	High	<p>Replace public lighting with LED upgrades at EE Gunn Reserve and Caulfield Park.</p> <p>Sportsground Lighting upgrades at Bentleigh Reserve and McKinnon Reserve.</p> <p>Further investigate the role 'smart' (internet enabled) street lights might play in transitioning to sustainable smart city infrastructure.</p>
Objective C3: Reduce emissions from vehicles used in Council operations and services.			
C3.1	Review options to reduce emissions from vehicles used by Council and contractors; and encourage use of active and public transport.	Medium	<p>Investigate options for replacing some of the standard passenger cars with electric vehicles in Council's fleet.</p> <p>Improve bike facilities at Council buildings.</p> <p>Promote active and public transport options for staff.</p>

Number	Recommendation	Priority	Action for 2018-19
Objective C4: Adapt Council managed open space, infrastructure and services over time to cope with climate change.			
C4.1	Consider climate change impacts, such as storm frequency and peak stormwater flows, on open space, infrastructure and services and adapt these over time, usually during design or service reviews.	Medium	<p>Flood mitigation works planned for a range of locations. Refer Approved Capital Budget for Drainage works.</p> <p>Investigate opportunities for WSUD in car park reconstruction design of Victory Park and Heather Street car parks.</p> <p>New training facilities at EE Gunn Reserve.</p> <p>Installation of additional bicycle repair stands at various locations.</p>
C4.2	Ensure staff has access to regular training to stay up-to-date with rapidly changing knowledge and technology change.	Medium	<p>Host at least four staff sustainability sessions and four meetings of the Excellence in Sustainability staff network.</p> <p>Staff training on emerging products and technologies.</p>
C4.3	Incorporate features to minimise the urban heat island effect in design of buildings, streetscapes and open space.	High	<p>Incorporate sustainable design features into a range of streetscape design and renewal works during 2018-19. Including</p> <ul style="list-style-type: none"> • Eat Street Bentleigh • Neerim Road • Bentleigh Library • Hughesdale Station and Boyd Park Interface • Koornang Road <p>Landscape Enhancement will be carried out at Duncan Mackinnon Reserve, Harleston Park, McKinnon reserve and Joyce Park.</p> <p>Consider landscaping opportunities during design of open space projects including:</p> <ul style="list-style-type: none"> • Spring Road Reserve • Hopetoun Gardens • Lirewa Grove • Rosanna St Reserve <p>Plant an additional 1,000 street trees in vacant sites.</p> <p>Develop an urban forest strategy.</p>

Climate change — supporting the community

Glen Eira City Council — Environmental Sustainability Action Plan 2018-19

Number	Recommendation	Priority	Action for 2018-19
Objective C5: Advocate for higher efficiency standards for buildings, better public transport and other measures to reduce greenhouse gas emissions in the community.			
C5.1	Advocate state and federal governments to support the community in reducing emissions from buildings, appliances and transport, and to incorporate emissions reduction initiatives into their own projects and programs.	High	<p>Advocate for new generation garbage processing facilities that reduce emissions from waste.</p> <p>In line with Council's <i>Integrated Transport Strategy</i>, advocate for better public transport routes and connections, including:</p> <ul style="list-style-type: none"> • Advocate for new light rail services • Advocate for new premium bus service in East Bentleigh • Advocate for an electric bus • Advocate for premium cycling infrastructure • Advocate for significant upgrades to Caulfield Station and its wider precinct with the removal of remaining level crossings. <p>Advocate for a state-wide approach to sustainability of the built environment.</p> <p>Develop formal submissions through relevant consultation processes with EAGA Councils.</p>
Objective C6: Support the community to cope during hotter weather and extreme weather events.			
C6.1	Regularly review Council's <i>Heat Wave Response Plan</i> and <i>Emergency Response Plan</i> for currency and implement the plans when triggered.	High	<p>The Municipal Emergency Management Committee will review the heatwave sub-plan of the <i>Municipal Emergency Management Plan</i>.</p> <p>Heatwave information and flood safety posted on Council's website and factsheets delivered to libraries, seniors' centres, maternal and child health centres, neighbourhood houses and swimming pools.</p>
Objective C7: Support the community to access active and public transport, improve the efficiency of their homes and to increase their use of renewable energy.			
C7.1	Celebrate the sustainability features at Council buildings and facilities as part of community education activities to demonstrate energy efficiency and renewable energy, for example, by running tours or promoting case studies.	High	<p>Create a video /virtual tour of Booran Reserve to showcase the sustainability features.</p> <p>Promote case studies of sustainability features on Council buildings using Council's communications channels, including running five stories in <i>Glen Eira News</i> and five stories in e-newsletters.</p>

Number	Recommendation	Priority	Action for 2018-19
C7.2	Help residents access practical solutions and rebates available from other levels of government, including reviewing and expanding the <i>Energy Saving Program</i> .	High	Implement practical programs such as Positive Charge and Solar Savers to help residents improve energy efficiency and increase their use of renewable energy. Promote relevant community and government initiatives that may assist our community.
C7.3	Run ongoing community education programs on reducing carbon emissions in the home, supporting sustainable transport and activities to increase walking and riding support.	Medium	Run at least three free workshops on energy efficiency, solar or other emissions reduction topics. Regularly promote options to reduce emissions including six articles in <i>Glen Eira News</i> and 10 sustainability e-newsletters. Support a range of community and government initiatives, such as <i>Earth Hour</i> and VicHealth's <i>Walk To School</i> program. Implement design and feasibility of projects identified in the <i>Integrated Transport Strategy</i> including the safe school zone pilot program and the pilot cycle corridor. Deliver a trial program to promote active travel to school with Valkstone primary school. Complete a community emissions profile as a baseline for ongoing reporting, monitoring and education.

Recycling and waste – Council infrastructure and operations

Number	Recommendation	Priority	Action for 2018-19
Objective R1: Increase the recycling rate at Council buildings by at least 10 per cent.			
R1.1	Continue to provide and improve recycling services at Council events and most community used buildings and align signage and systems with waste and recycling services for the community.	High	"Don't bag it" signage to be installed at 36 sites to overcome plastic bag contamination in Council buildings. Continue program to audit recycling facilities at sporting pavilions and review ongoing strategies.
R1.2	Extend education for staff and community users of Council buildings on how to recycle.	Medium	Increase recycling by five per cent at Glen Eira Town Hall and GESAC. Continue to engage with sports clubs to promote increased recycling in pavilions and around sportsgrounds. Run an education session for staff on recycling and current challenges facing the recycling industry.

Number	Recommendation	Priority	Action for 2018-19
R1.3	Integrate recycling services in new buildings and facilities.	High	<p>Provide new bin enclosure facilities at Allnut Park and Princes Park. This will provide opportunity for better recycling.</p> <p>Incorporate recycling facilities into forward design of major projects, including Carnegie Swim Centre, Carnegie; and Lord Hex Pavilion, Carnegie.</p>

Number	Recommendation	Priority	Action for 2018-19
Objective R2: Reduce use of new materials in Council operations.			
R2.1	Continue to require recycling of building and road construction waste in Council construction projects, continue to use recycled paper products and explore opportunities to increase use of recycled products as technology and products improve.	High	Use Council's standard tender specifications for construction projects to seek recycling of building waste. Use sustainably sourced or recycled paper for at least 95 percent of copy paper and printed materials.
R2.2	Identify standard recycled products for common procurement categories and establish as standard in procurement procedures.	Medium	List of standard products used reviewed and updated. Update procurement policy with stronger commitment to sustainability. Run an education session for staff on Sustainable Procurement.
R2.3	Review options to reduce and reuse materials, furniture and supplies used by Council.	Medium	Explore opportunities for increased use of recycled (or sustainably sourced) furniture in office fit-out.

Recycling and waste — supporting the community

Number	Recommendation	Priority	Action for 2018-19
Objective R3: Increase the community recycling rate by at least 30 per cent by 2021.			
R3.1	Introduce food waste recycling for the community, as part of the existing organic waste recycling service by end 2017.	High	Continue to roll-out community education on food waste recycling to support the uptake of the service. Undertake community consultation to inform the planning of the next phase of the project.
R3.2	Investigate whether changes to frequency of kerbside bin collections could reduce garbage and increase recycling.	High	Consult with the community about changes to collection frequency for kerbside bins to help improve recovery of food and garden waste. Review implications for change in frequency.
R3.3	Work with <i>Metropolitan Waste and Resource Recovery Group</i> and other local governments to secure access to new generation garbage disposal facilities that minimise greenhouse gas emissions from waste.	High	Work with neighbouring councils to advocate and progress procurement of new generation garbage facilities to service the south east. Work with Metro Waste for collective procurement of advanced waste processing facilities.
R3.4	Investigate, and if feasible, offer Council run waste and recycling services specifically designed for higher density areas and larger businesses.	Medium	Undertake review of waste and recycling services in higher density areas and commercial precincts.

Number	Recommendation	Priority	Action for 2018-19
R3.5	Increase recycling from hard rubbish and street sweeping.	Medium	Increase the recycling rate from hard and dumped rubbish by five per cent. 60 percent of street sweeping waste is to be recycled by using a filtering process to separate ferrous metals, organic waste, soil, sand and gravel.
Objective R4: Support the community to minimise and correctly sort waste and recycling in homes and businesses.			
R4.1	Run a long-term and ongoing recycling and waste education program for residents, including encouraging volunteer litter collection.	High	Implement five year recycling education plan, including exploring opportunities for social media, volunteerism and partnerships to support better recycling. Promote Love Our Streets, volunteer litter collection project and Clean-Up Australia Day activities in Glen Eira. Update website information on waste and recycling. Run a presentation for the community on waste reduction and recycling.
R4.2	Encourage use of specialist disposal options, including those available to the community, but not run by Council (for example, for batteries or clothes).	Medium	Promote specialist disposal options (such as drop-off points nearby for batteries, plastic bags and chemicals), including through promotion in sustainability e-newsletters and <i>Glen Eira News</i> . Include improved electronic interface of Recycling A-Z in website redesign project. Install collection points at Council libraries for batteries, lights, x-rays, CDs and DVDs.
R4.3	Continue to advocate for policy settings and services at state and federal levels that improve options for disposal of special items, such as batteries, light bulbs, chemicals and small e-waste.	High	Advocate in relevant forums and consultation processes with a focus on: <ul style="list-style-type: none"> • More and better located disposal and recycling services nearby for small e-waste and chemicals. • Product stewardship programs to ensure industry funds disposal of products it produces.

Biodiversity — Council infrastructure and operations

Number	Recommendation	Priority	Action for 2018-19
Objective B1: Protect or enhance biodiversity and environmental heritage on Council managed land in Glen Eira.			
B1.1	In line with Council's <i>Open Space Strategy</i> , protect and over time enhance areas of remnant vegetation and other native plant communities and trees.	High	<p>Landscape Enhancement will be carried out at Caulfield Racecourse (The Wedge) and Booran Reserve Urban Forest.</p> <p>Landscape Enhancement will be incorporated in design for Spring Road Reserve, Hopetoun Gardens and Lirewa Grove.</p> <p>Measures to enhance and protect biodiversity will be incorporate in Open Space Masterplan design at Lord/ Koornang Precinct, East Caulfield Reserve and Boyd Park.</p> <p>Complete works at Packer Park wetlands to enhance its ability to support biodiversity.</p>
B1.2	Ensure sufficient seed stock is available to replant remnant indigenous vegetation in the event of its loss (ie. a result of wind, fire, pests).	High	There is currently sufficient seed stock available to Council if needed. Officers will continue to monitor this.
B1.3	Explore practical management options to improve biodiversity, such as increasing diversity of insects and habitats within some open spaces and streetscapes with nesting boxes, and retaining woody debris in some cases.	Medium	<p>Explore practical management options to improve biodiversity as part of open space masterplan design.</p> <p>Implement practical management recommendations from <i>Biodiversity in Glen Eira</i> report as outlined in the Implementation Plan.</p>
B1.4	Incorporate natural features and natural heritage during design of buildings, urban areas and masterplans.	High	<p>Plan for protection and enhancement of native vegetation in planning and design of major projects, including:</p> <ul style="list-style-type: none"> • Carnegie Swim Centre redevelopment Lord Hex Pavilion, Carnegie • Caulfield Park Masterplan refresh • Open Space Strategy refresh

Number	Recommendation	Priority	Action for 2018-19
B1.5	Manage Council's tree population of more than 60,000 to keep it healthy and long lived and fill all appropriate vacant street tree spots on nature strips in the City (around 4,000).	High	Develop an Urban Forest Strategy. Plant an extra 1,000 street trees.
Objective B2: Increase the proportion of materials Council uses that are recycled or sustainably sourced.			
B2.1	Investigate options to further reduce impacts on biodiversity through procurement, including reviewing the source of products containing wood to ensure products are recycled or sustainably sourced.	High	Use recycled plastic benches in streetscapes and parks. Install Recycled Exercise equipment into "The Wedge" Dog Park. Also see actions R2.2 and R2.3.

Biodiversity — *supporting the community*

Number	Recommendation	Priority	Action for 2018-19
Objective B3: Support the community to protect and enhance biodiversity including in their gardens and connection with natural values.			
B3.1	Support residents with education and information to protect and enhance biodiversity in the local area and introduce and maintain habitat in their own property.	Medium	Increase participation in Council's <i>Neighbourhood Sustainable Gardening Program</i> (NSGP) by 50. Host three events for <i>NSGP</i> participants to foster knowledge sharing and tap into their skills and expertise. Develop educational videos to promote <i>sustainable gardening</i> . Host an event with Dr Graeme Lorimer to present his findings on biodiversity in Glen Eira.

Number	Recommendation	Priority	Action for 2018-19
B3.2	Encourage community volunteerism and community research in the local area to further understand current populations of birds, insects and plants and to also to provide practical support in conserving natural areas.	Medium	Encourage residents to participate in initiatives like the <i>Aussie Backyard Bird Count</i> and the <i>Frog Census</i> . Provide indigenous trees and shrubs to schools for National Tree Day. Implement a citizen science project as per Biodiversity Implementation Plan. Establish a local Sustainability Champions Network to encourage community volunteerism and research.
Objective B4: Advocate for protection of biodiversity and natural heritage on non-Council land in the City.			
B4.1	Advocate for protection of natural heritage in major development projects in the City of Glen Eira, including level crossing removals.	High	Advocate for protection of Woorayl Street reserve and to create a Village Green in Murrumbeena. Advocate for the planting of suitable native and indigenous vegetation in appropriate locations following level crossing removals. Implement advocacy actions to protect the biodiversity hotspots identified in the report 'Biodiversity in Glen Eira'.

Water — *Council infrastructure and operations*

Number	Recommendation	Priority	Action for 2018-19
Objective W1: Increase efficiency of Council's water use			
W1.1	Continue to optimise Council's irrigation systems to ensure they are efficient and effective and that leaks are identified and rectified quickly if they occur. Annually review options and continually improve.	High	Review the performance of Council's centrally controlled irrigation system to ensure optimum maintenance and operational efficiency. Review the irrigation watering schedules against ground usage allocations to ensure optimum irrigation operating times.

Number	Recommendation	Priority	Action for 2018-19
W1.2	Continue the changeover to warm-season grasses in sportsgrounds in line with Council's <i>Open Space Strategy</i> .	High	Convert Bailey Reserve Oval 1 to warm-season grasses.
W1.3	When updating irrigation systems and sportsgrounds, consider cost-effective opportunities to reduce potable water use.	High	Design of King George Reserve sports ground upgrade for conversion to warm-season grass.
Objective W2: Increase the amount of rainwater and stormwater Council captures or treats for use in parks, buildings or for trees.			
W2.1	During infrastructure planning and design, introduce features to reduce water use and reduce pollution that flows to Port Phillip Bay and seek appropriate partnerships and grants to support projects.	High	Consider opportunity for water harvesting/re-use during Caulfield Park Integrated Water Management Project. During Victory Park car park design include water sensitive urban design feature. Consider a raingarden in design of Eat Street, Bentleigh. Include water sensitive urban design feature in design of Neerim Road streetscape upgrade.
W2.2	Model locations of sources of water-borne pollution in the City of Glen Eira to help inform priority locations for water saving, capture and treatment options in Council works and for education.	Medium	Investigate adopting water sensitive urban design in works already planned in action W2.1. Modelling proposed for future years.
W2.3	To reduce pollutants that enter the stormwater system, review street sweeping schedules to identify opportunities to adjust schedules in target areas to account for differing times that leaves fall.	Medium	Sweep streets regularly (in line with current schedule), including frequent sweeping in shopping precincts and extra sweeping during autumn to minimise pollution. Develop a priority rating system to integrate street sweeping with flood mitigation and stormwater quality improvements.
Objective W3: Ensure green infrastructure can survive drought.			
W3.1	Use drought-tolerant trees and plants in the majority of plantings.	High	95 per cent of plants used in parks maintenance plantings to be drought-tolerant. As guided by Council's <i>Open Space Strategy</i> , most new open space plantings are expected to be drought-tolerant in 2018–19.
W3.2	Explore options for the community to assist with tree watering during times of drought.	Medium	Encourage residents to assist with tree watering during summer months and after planting new trees.

Water — supporting the community

Number	Recommendation	Priority	Action for 2018-19
Objective W4: Support the community to reduce its impact on water quality in Port Phillip Bay and to use water efficiently.			
W4.1	Develop and implement an education and enforcement program to ensure compliance at building sites in regards to sediment control and stormwater runoff.	High	Provide stormwater management information packs to at least 90 per cent of building permit holders. Inspect 750 construction sites and intervene with appropriate education or enforcement.
W4.2	As part of Council's communication and education activities, encourage water saving and pollution reduction initiatives in the community including promoting and leveraging government; utility and community water saving; and pollution reduction initiatives.	Medium	Integrated into Council's <i>Neighbourhood Sustainable Gardening Program</i> , encourage water-wise gardening, including running two garden tours and two articles in <i>Glen Eira News</i> . Provide schools education about stormwater including an education/resource kit and stormwater demonstration model.

**9.11 STATE AND FEDERAL ELECTIONS (COUNCILLOR CANDIDATURE)
POLICY FOR APPROVAL**

Author: Tienyi Long, Legal and Governance Officer

Trim No: 18/1238881

Attachments: 1. Draft State and Federal Elections (Councillor Candidature) Policy
2. VLGA - Councillors as Candidates in State or Federal Elections
3. Municipal Association of Victoria - Policy on Councillors State or Federal Elections

PURPOSE AND SUMMARY

To consider and approve the State and Federal Elections (Councillor Candidature) Policy.

RECOMMENDATION

That Council approve the State and Federal Elections (Councillor Candidature) Policy in Attachment 1.

BACKGROUND

State and Federal elections are expected to be held in the near future.

Councillors may wish to stand for office in the State and Federal elections. However, while doing so they remain a Councillor (unless having resigned or taken leave of absence), and are bound by relevant obligations under the *Local Government Act 1989* (Vic) (**Act**) and the Glen Eira City Council Councillor Code of Conduct 2017 (**Councillor Code**). A summary of relevant provisions is provided in the section entitled "Policy and Legislative Implications" below.

The Victorian Local Governance Association (**VLGA**) recommends that councils develop a policy outlining good governance practices during State and Federal election periods. Alternatively, councils may adopt guidelines provided by the Municipal Association of Victoria (**MAV**) as part of their Councillor Code. The guidance materials provided by these bodies are provided for reference and marked Attachment 2 and Attachment 3 respectively.

The issue has been considered by other councils. Of five councils benchmarked, four have chosen to adopt a policy.

ISSUES AND DISCUSSION

To ensure compliance with relevant provisions of the Act and Councillor Code, and in line with recommendations from governance bodies, it is proposed that Council adopt a policy for Councillor candidature in state and federal elections which covers the following issues:

Requirement to resign or take leave of absence during candidature

If a Councillor is a Candidate in a State or Federal election (**Candidate**), that Councillor may resign from Council or take a leave of absence during the election period. Both the VLGA and the MAV recommend that Candidates be required to take leave of absence from their duties as Councillor during the election period. This is also the approach taken by the majority of the councils benchmarked.

Councillor conduct during elections

In addition to the leave provisions described above, the VLGA and MAV recommend that Council policies should, at a minimum, require the Candidate to:

- inform the CEO and other councillors of intention to run as a candidate as soon as practicable;
- differentiate between their role as election candidate and councillor when making public comment;
- avoid participating in any council activity or decision-making which may present a conflict of interest with their candidacy;
- ensure that Council resources (including staff, services, equipment, stationery, events, media presence) are not used for the purposes of promoting their election candidacy; and
- maintain appropriate relationships with Council staff (observing the same protocols as would apply during the local government election period).

In light of the above, the recommended position is that a Candidate should be required to take leave of absence from their office as Councillor consistent with the attached policy. During their leave of absence, a Candidate should not use Council resources in connection with their election campaign, and must comply with all relevant requirements in relation to use of equipment, participation in Council activities and relationships with Council staff.

FINANCIAL, RESOURCE, RISK AND ASSET MANAGEMENT IMPLICATIONS

Councillors are prohibited from using Council resources (which includes staff, services, equipment, systems, stationery, logos, photographs, videos or facilities) to further their election campaign as a Candidate.

POLICY AND LEGISLATIVE IMPLICATIONS

This policy raises the following policy and legislative implications:

Eligibility for candidature

The policy has been drafted on the basis that there is no legislative impediment to a Councillor nominating as a candidate in a state or federal election. However, Councillors should seek independent legal advice in relation to their candidature.

Resignation or leave of absence during candidature

If a Councillor resigns after becoming a Candidate in a state or federal election, the Chief Executive Officer will commence the holding of an election to fill the extraordinary vacancy in accordance with section 68A. The Councillor may continue to hold office until the result of the by-election or countback is declared.

If a Councillor takes leave of absence after becoming a Candidate in a state or federal election, section 66B of the Act applies. While they may continue to be a Councillor and receive an allowance, they may not perform any duties or functions of a Councillor, including attending Council functions or events. Section 66B(1)(d) of the Act provides that a Councillor must return all Council equipment and materials to Council for the period of leave if the Council requires (emphasis added).

Arrangements during Councillor absence

The policy provides that if a Candidate is a Chairperson of a meeting and has taken leave of absence, resigned or relinquished their position, Council may appoint a temporary Chairperson in accordance with the Local Law.

General obligations in relation to Councillor conduct

Councillor conduct is regulated under the Act and the Councillor Code. As noted above, neither instrument contains specific provisions on obligations and responsibilities if a Councillor nominates as a candidate in State or Federal elections. However, the following provisions in relation to councillor conduct may be applicable:

1. *Local Government Act 1989* (Vic)

Councillors are required to:

- a) impartially exercise their responsibilities in the interests of the local community (s76B(b));
- b) endeavor to ensure that public resources are used prudently and solely in the public interest (s76B(e)); and
- c) avoid conflicts between public duties as Councillor and personal interests and obligations (s76BA(a)). In this regard, it is noted that a “conflict of interest” is defined broadly under the Act to include direct or indirect interests, whether actual or perceived.

Further, under section 76D, councillors must not misuse their position to gain or attempt to gain (directly or indirectly) an advantage for themselves or for any other person, including by using public resources in a manner that is improper or unauthorised. The penalty for misuse of position is 5 years imprisonment or 600 penalty units or both.

2. *Glen Eira City Council Councillor Code of Conduct* (2017)

Councillors are required to:

- a) declare any private interests or conflicts of interest (in accordance with the process described in sections 6.1 – 6.2) and take steps to resolve conflicts of interest; and
- b) take into account conflicts of interests as part of “ethical decision making”.

3. In addition to the above, all relevant provisions of the Election Period Policy will apply.

Candidates who are successful in state or federal elections

Under s28(1)(a) of the Act, a person may not continue to be a Councillor if they are a member of State or Federal Parliament. Accordingly, once elected in State or Federal elections, a Councillor must resign from Council.

COMMUNICATION AND ENGAGEMENT

None required.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme Five: Informed and Engaged

A well governed Council that is committed to transparency and engages residents in decision-making.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Councillors are asked to consider and approve the draft policy.

ATTACHMENT 1

State and Federal Elections (Councillor Candidature) Policy

Date first adopted: []	Next review date: []	
Amended and Adopted: []		
Position Title of Responsible Business Unit Manager:	Director Corporate Services	
Approval by:	Council	
Internal External or both:	External	

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[Title]

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ATTACHMENT 1

1. TITLE

State and Federal Elections (Councillor Candidature) Policy

2. OBJECTIVE

To ensure good governance by defining a Councillor's obligations when nominating as a candidate in a State or Federal election.

3. DEFINITIONS AND ABBREVIATIONS

Term	Meaning
Act	Local Government Act 1989 or its successor.
Candidate	means a Councillor who: (a) formally nominates as a candidate for Election with the relevant Electoral Commission (Nominated Candidate), or (b) has publicly announced his or her intention to nominate as a candidate in an Election (Prospective Candidate).
CEO	means the person appointed to be the Chief Executive Officer of Council under s94(1) of the Act
Close of Nomination	means the date set by the relevant Electoral Commission for the close of nominations as a candidate for the election.
Conflict of interest	has the meaning given to it in sections 77A – 78E of the Act, and can include a real or perceived conflict of interest
Council	means Council, being a body corporate constituted as a municipal Council under the Act
Council Officer	means the CEO and all employees appointed by the CEO, and includes contractors or consultants where relevant.
Council Resources	means all human, material and other resources provided by, or through, Council, and includes without limitation: (a) advice, assistance or other support by Council Officers; (b) hospitality services; (c) Council equipment and systems (e.g. printers, land lines, mobile telephones, computers, email accounts, internet services, records); (d) Council stationery and business cards; (e) Photographs and public relations or communications material in which Council has a licence to the intellectual property; (f) Council offices, meeting rooms and other facilities; and (g) Council logo, branding or letterhead.
Councillor	means an individual holding the office of a member of the Council.
Election	means an election for the Victorian State Parliament or Australian Federal Parliament, or a by-election for either Parliament.

State and Federal Elections (Councillor Candidature) Policy

Glen Eira City Council

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Election Period	means the period from when a Councillor becomes a Candidate for an Election until close of polls.
Electoral Commission	means the Victorian Electoral Commission and the Australian Electoral Commission.
Meeting	means a council meeting or a meeting of a special committee

4. POLICY

General

- 4.1 This policy applies to Councillors who are Candidates in a State or Federal election, all other Councillors and the officers of Council.
- 4.2 Council recognises that:
- (a) a Councillor may wish to stand as a Candidate in an Election; and
 - (b) there may be potential for a conflict of interest between their role and duties as an elected Councillor and a Candidate.
- 4.3 This policy sets out a process for Council and Councillors where a Councillor nominates for Election to ensure that appropriate practices are followed during the Election Period for the good governance of the municipality and to avoid any conflicts of interest arising.
- 4.4 Council does not endorse any Councillor's candidature.
- 4.5 Councillors are required to obtain their own legal advice on eligibility to be a Candidate.
- 4.6 Council's *Election Period Policy* will apply to any Candidate to the extent that it is relevant and does not conflict with any of the provisions of this policy.

Notification of candidature

- 4.7 As soon as practicable after becoming a Candidate, a Councillor must advise the CEO in writing, with a view to declaring that they are a Candidate at the next public Council meeting.
- 4.8 As soon as practicable after being informed that a Councillor is a Candidate, the CEO must advise all other Councillors in writing.
- 4.9 A Councillor must declare at a public Council meeting prior to Close of Nomination that they are a Candidate.

Leave of absence and resignation

- 4.10 A Candidate may resign their position in accordance with the Act.
- 4.11 If a Candidate chooses not to resign from their position, they should make a request for leave of absence in writing to the CEO, so that Council can consider the request for leave at a public meeting, no later than the Council meeting preceding the Close of Nomination. Council will not unreasonably withhold approval for a request for leave by a Councillor under this section. The arrangements of the leave should be as set out below:
- (a) **Prospective Candidates:** if the Councillor has publicly announced their intention to

ATTACHMENT 1

nominate, but has not formally nominated as a Candidate, the Councillor's leave of absence should commence no later than the date of formal nomination as a Candidate;

- (b) **Nominated Candidates:** if the Councillor has not previously announced their intention to nominate, but has formally nominated as a Candidate, the Councillor's leave of absence should commence the day after the request is approved by Council, this being prior to Close of Nomination;
- (c) in either case, leave of absence should conclude no earlier than the close of voting; and
- (d) during the period of leave, the Candidate should not use any Council resources for any purpose other than for Council business.

- 4.12 If a Councillor has been granted leave of absence under section 4.11, but subsequently withdraws their nomination as a Candidate, the Councillor may make a written application to the CEO to resume their position as Councillor. The request will be considered by Council at a public meeting, and the Councillor may resume their position the day after the request is approved by Council.
- 4.13 If, as a result of this policy, the Chairperson of a meeting is required to vacate their chair, Council may appoint a temporary Chairperson in accordance with the Local Law.

Use of position during Election Period

- 4.14 A Candidate must not use, and must avoid any appearance of using, their position as a Councillor as a platform for or to further their Election campaign.
- 4.15 A Candidate must not use any information received in their position as a Councillor for campaigning purposes, except to the extent that the information is already in the public domain.
- 4.16 A Candidate must:
 - (a) take care to maintain the distinction between their position of Councillor, Deputy Mayor or Mayor, as the case may be, and their role as a Candidate;
 - (b) continue to act in accordance with their obligations under the *Councillor Code of Conduct* and the Act;
 - (c) maintain appropriate relationships with Council Officers, including by observing all relevant communications protocols between Councillors and Council Officers;
 - (d) not misuse, or inappropriately make use of, their position as a Councillor to advance their Election campaign;
 - (e) not seek to recruit assistance with their Election campaign through attendance at Council events or meetings; and
 - (f) not use Council Resources in connection with their Election campaign.

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Media and publicity

- 4.17 A Candidate must not use their position as a Councillor to gain media attention for their Election campaign.
- 4.18 No media advice or assistance from Council Officers will be provided to a Candidate for the purpose of their Election campaign.
- 4.19 Council media releases will not specifically refer to a Councillor in his or her capacity as a Candidate.
- 4.20 Photographs and references to a Councillor who is a Candidate will only feature in Council publications where it is related to usual Council business, functions or events.

Policy Breaches

- 4.21 Breaches of this policy will be dealt with under the appropriate provisions of the Act and/or the Councillor Code of Conduct.

5. HUMAN RIGHTS CHARTER COMPATIBILITY

This Policy has been assessed as being compatible with the *Charter of Human Rights and Responsibilities Act 2006 (Vic)*.

6. ASSOCIATED INTERNAL DOCUMENTS

Councillor Code of Conduct
Election Period Policy

7. EXTERNAL REFERENCES/RESOURCES

Local Government Act 1989 (Vic)
Victorian Electoral Commission
Australian Electoral Commission



GOOD GOVERNANCE AT YOUR FINGERTIPS

Councillors as Candidates in State or Federal Elections

In November 2018, Victoria will have a State Election. The Federal Election is also expected to be held sometime between 2018 and 2019. Some sitting councillors may choose to stand as candidates for these two upcoming elections.

The VLGA has previously received queries from and about councillors who were standing as candidates at either the State or Federal elections. These queries focused on conflicts that may exist between a candidate and a councillor.

While the *Local Government Act* (1989) does not contain specific provisions on obligations and responsibilities of councillors who are nominating as candidates for State or Federal elections, it does contain specific directions for electorate officers working for State or Federal MPs and for employees of councils while contesting local government elections. These provide some guidance which can be relevant; in particular

- s.28A of the Act disqualifies individuals from being councillors if they are serving as electorate officers or staffer to a State or Federal MP.
- s.29 of the Act also disqualifies members of council staff of the council for which they intend to be councillors.
- electorate officers and council staff of the council which they have been elected onto must resign from their positions once they are elected and prior to taking oath of office.
- the Act allows for electorate officers and council staff of the council for which they intend to be councillors to nominate for council elections, but they must take leave from their positions during the election period.

The VLGA recommends that councils develop a policy using the following guidelines to assist councillors to act in accordance with good governance practices during State and Federal election periods. These guidelines are drawn from the principles of the *Local Government Act* outlined above.

The VLGA recommends the following guidelines be used when developing a policy:

- The potential for conflict of interest and duties between an elected councillor and a nominated candidate in State or Federal elections.

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- The principles for avoiding such conflicts in the *Local Government Act* for electorate officers of State or Federal MPs and for council employees seeking to be elected as councillors (e.g. the need to take leave during the election period).
- The taking of leave of absence immediately after nominating as a candidate until the conclusion of the election campaign.
- Handing back certain council resources such as phones and office devices. For mayors, this may include the mayoral car.
- Explicit directions regarding the use of council resources, such as council letterheads, cards and stationery.
- Explicit directions regarding councillors attending council activities during the election campaign period.
- Cross referencing with other adopted council policies, such as those relating to social media and claiming of council related expenses.
- Explicit directions regarding councillors' obligations to resign from the council should they be successfully elected into State or Federal parliament.

For further information please contact Bo Li Senior Policy Advisor VLGA



Candidature of Councillors State or Federal Elections

The perception of the politicisation of local government resulting from councillors running for office in state or federal parliament remains a contentious issue in Victoria.

Councillors are elected to perform their duties in a lawful manner and must comply with relevant provisions of the *Local Government Act 1989 (the Act)* including principles of councillor conduct set out in section 76B of the Act.

These principles of conduct require councillors to act honestly and to exercise reasonable care and diligence in performing the role of a councillor. They also provide that it is an offence if a councillor makes improper use of his/her position or of information acquired because of his/her position to, *inter alia*, gain or attempt to gain, directly or indirectly, an advantage for him/herself or for any other person.

The *Commonwealth Electoral Amendment (Members of Local Government Bodies) Act 2003* provides that any state legislation that discriminates against a councillor on the ground that the councillor has been, or is to be, nominated or declared as a candidate for the House of Representatives or the Senate has no effect.

The commonwealth and state constitutions disqualify a person from holding office who is profiting from the crown or the state.

It may be prudent for a councillor/council to seek legal advice in relation to these issues.

The MAV recommends that councils, at a minimum, adopt the following Guidelines as part of their Councillor Code of Conduct developed under section 76C of the Act or to supplement that Code.

Guidelines

1. A councillor who becomes an endorsed candidate of a registered political party or publicly expresses an intention to run as an independent candidate for a state or federal election (a Prospective Candidate), should provide written advice to the CEO, as soon as practicable, who should then advise all councillors.
2. A councillor who is a Prospective Candidate, should declare his/her intended candidacy at a meeting of the council as soon as practicable after notifying the CEO pursuant to Guideline 1.
3. A councillor who nominates as a candidate for a state or federal election (a Nominated Candidate), should apply for leave of absence from the council and this leave of absence should commence no later than the date of their nomination as a candidate with the relevant electoral commission for the election (Nomination Date) and conclude no earlier than the close of voting for the election. During this period, a councillor who is on a leave of absence should not attend meetings of the council or otherwise act as a councillor.



4. Any councillor / staff relationship protocol which the council has in place in respect of the caretaker period prior to a council election, should be observed by a Nominated Candidate and this should apply from their Nomination Date until the close of voting for the election.
5. A council, upon receiving an application for a leave of absence from a councillor who is a Nominated Candidate or who intends to become a Nominated Candidate, should approve that application.
6. A councillor who is a Prospective Candidate or a Nominated Candidate, should take care to differentiate between his/her role as a state or federal election candidate and role as a councillor when making public comment.
7. A councillor who is a Prospective Candidate or a Nominated Candidate, should not use council resources, including council equipment and facilities in relation to his/her candidacy.
8. A councillor who is a Prospective Candidate or a Nominated Candidate, should not use council activities, including committee meetings and council-related external activities in relation to his/her candidacy.

The distinction between Prospective Candidate and Nominated Candidate

This policy draws a distinction between Prospective Candidates and Nominated Candidates because, as with council elections, candidates for state and federal elections only become actual nominated candidates a few weeks prior to the relevant election date. Accordingly, this policy recommends different treatment for Prospective Candidates and Nominated Candidates on the basis that some requirements are recommended as appropriate for Nominated Candidates during a formal election period which are not considered to be necessary prior to the formal election period.

10. URGENT BUSINESS

11. ORDINARY BUSINESS

11.1 Requests for reports from Officers

11.2 Right of reply

11.3 Councillor questions

11.4 Public questions to Council

12. CONSIDERATION OF ITEMS IN CAMERA

That pursuant to Section 89(2) of the Local Government Act 1989, the Council resolves that so much of this meeting be closed to members of the public, as it involves Council consideration of matters coming within some or all of the following categories listed in Section 89(2) of such Act.

- (a) Personnel matters;
- (b) The personal hardship of any resident or ratepayers;
- (c) Industrial matters;
- (d) Contractual matters;
- (e) Proposed developments
- (f) Legal advice
- (g) Matters affecting the security of Council property'
- (h) Any other matter which the Council or Special Committee considers would prejudice the Council or any person;
- (i) A resolution to close the meeting to members of the public.

12.1 Employment Matter

Local Government Act 1989 Section 89(2)(a) given it relates to personnel matters.

12.2 Tender 2019.11 King George Pavilion Refurbishment Works

Local Government Act 1989 Section 89(2)(d) given it relates to contractual matters.

13. CLOSURE OF MEETING