



GLEN EIRA CITY COUNCIL
ORDINARY COUNCIL MEETING

TUESDAY 25 JULY 2017

AGENDA

**Meeting to be held in the Council Chambers,
Corner Hawthorn & Glen Eira Roads, Caulfield
At 7.30 pm**

*"The primary object of a Council
is to endeavour to achieve
the best outcomes for the local community
having regard to the
long term and cumulative effects of decisions."*

- s3c(1) Local Government Act

Councillors: The Mayor, Councillor Mary Delahunty
Councillor Tony Athanasopoulos
Councillor Clare Davey
Councillor Margaret Esakoff
Councillor Jamie Hyams
Councillor Jim Magee
Councillor Joel Silver
Councillor Dan Sztrajt
Councillor Nina Taylor

Chief Executive Officer: Rebecca McKenzie

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9. PRESENTATION OF OFFICER REPORTS

9.1	Planning Scheme Amendment C143: 88-100 McKinnon Road, McKinnon
9.2	Activity Centre, Housing and Local Economy Strategy
9.3	Quality Design Principles and Draft Concept Plans for Bentleigh, Carnegie and Elsternwick – Endorsement for Engagement
9.4	31 Nepean Hwy Elsternwick
9.5	240-250 McKinnon Road McKinnon
9.6	777 Glen Huntly Road Caulfield
9.7	329 Jasper Road Ormond
9.8	VCAT Watch
9.9	Caulfield Racecourse Wedge
9.10	Support For Elsternwick Traders During Coles Redevelopment
9.11	Pavilion Redevelopment Strategy
9.12	Intersection of Glen Eira & Kooyong Roads, Caulfield North – Traffic Conditions
9.13	Investment Policy
9.14	Conduct Reference Group Terms of Reference
9.15	Public Participation Guidelines
9.16	Appointment of Acting Chief Executive Officer

10. URGENT BUSINESS**11. ORDINARY BUSINESS****11.1 Requests for reports from Officers****11.2 Right of reply****11.3 Councillor questions****11.4 Public questions to Council****12. CONSIDERATION OF IN CAMERA ITEMS**

That pursuant to Section 89(2) of the Local Government Act 1989, the Council resolves that so much of this meeting be closed to members of the public, as it involves Council consideration of matters coming within some or all of the following categories listed in Section 89(2) of such Act.

- (a) Personnel matters;
- (b) The personal hardship of any resident or ratepayers;
- (c) Industrial matters;
- (d) Contractual matters;
- (e) Proposed developments
- (f) Legal advice
- (g) Matters affecting the security of Council property'
- (h) Any other matter which the Council or Special Committee considers would prejudice the Council or any person;

- (i) A resolution to close the meeting to members of the public.

- 12.1 which relates to the awarding of the contract for **Tender number 2018.002 Crosbie Road Reconstruction** - *Local Government Act 1989 - Section 89 (2)(d)*

Number of tenders received	Four (4)
Number of evaluation criteria tenders assessed against	Three (3)
Estimated contract value	\$1,000,000.00

- 12.2 which relates to the awarding of the contract 2017.049 Provision of Cleaning Services, GESAC - *Local Government Act 1989 - Section 89 (2)(d)*

Number of tenders received	Six (6)
Number of evaluation criteria tenders assessed against	Three (3)
Estimated contract value	\$2,284,000

- 12.3 **Contract 2017.247** Provision of Parks and Playground Equipment, Open Space and Recreational Infrastructure, Outdoor Furniture, Signage and Related Products and Services - *Local Government Act 1989 - Section 89 (2)(d)*

- 12.4 **Contract 2017.396** Provision of Library Collections, Furniture, equipment and associated requirements - *Local Government Act 1989 - Section 89 (2)(d)*

13. CLOSURE OF MEETING



**AGENDA for the ORDINARY MEETING OF THE
GLEN EIRA CITY COUNCIL to be held on TUESDAY 25 JULY 2017**

1. ACKNOWLEDGEMENT

In the spirit of respect Council acknowledges the people and elders of the Kulin Nation who have traditional connections and responsibilities for the land on which Council meets.

2. APOLOGIES

3. OATH OF OFFICE AND DISCLOSURES OF INTERESTS

Councillors are reminded that we remain bound by our Oath of Office to undertake the duties of the office of Councillor in the best interests of the people of the municipal district of Glen Eira and to faithfully and impartially carry out the functions, powers, authorities and discretions vested in us under the Local Government Act or any other Act, to the best of our skill and judgement.

Councillors are also reminded of the requirement for disclosure of conflicts of interest in relation to items listed for consideration on the Agenda, or which are considered at this meeting, in accordance with Sections 77 to 79 of the Local Government Act.

4. CONFIRMATION OF MINUTES OF PREVIOUS COUNCIL MEETINGS

Copies of Minutes previously circulated.

Recommendation

That the minutes of the Ordinary Council Meeting held on 4 July 2017 be confirmed.

5. **RECEPTION AND READING OF PETITIONS AND JOINT LETTERS**

6. **DOCUMENTS FOR SEALING**

7. **REPORTS BY DELEGATES APPOINTED BY COUNCIL TO VARIOUS
ORGANISATIONS**

8. REPORTS FROM COMMITTEES**a. Advisory Committees**

- i. Sustainability Advisory Committee – 22 June 2017

Recommendation

That the minutes of the Sustainability Advisory Committee meeting held on 22 June 2017 be received and noted and that the recommendations of the Committee be adopted.

b. Records of Assembly

- i. 6 June 2017
- ii. 20 June 2017
- iii. 27 June 2017
- iv. 28 June 2017
- v. 4 July 2017

Recommendation

That the Records of the Assemblies as shown below be received and noted.

- i. 6 June 2017
- ii. 20 June 2017
- iii. 27 June 2017
- iv. 28 June 2017
- v. 4 July 2017

SUSTAINABILITY ADVISORY COMMITTEE



Minutes

Thursday 22 June 2017

Yarra Yarra Room, Glen Eira Town Hall

Invitees	Councillors Cr Nina Taylor (NT) Cr Clare Davey (CD) Council Staff Rachel Ollivier, Group Manager Property, Environment and Sustainability (GMPES) Michelle van Gerrevink, Sustainability Co-ordinator (SC) Community Representatives Julian Donlen (JD) Shane Genziuk (SG) Yann Decourt (YD) Phil Thompson (PT) Apologies Cr Mary Delahunty (MD) Samantha Krull, Director Infrastructure, Environment and Leisure (DIEL)
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1. Welcome

1.1. No Conflicts of Interest declared.

2. Confirmation of minutes

2.1. Minutes of meeting 30 March 2017 were confirmed (moved NT, seconded JD)

3. Reports on previous actions and recommendations - Attachment A

Discussion included:

One of the terms for one of the community representatives has expired. The Terms of Reference for the committee are silent on this matter. Aligning all the community representative terms has an advantage of reducing the work involved in advertising and selection.

RECOMMENDATION: That the term for Phil Thompson be extended to until 5 April 2018 to align with the other community representatives terms. (moved NT, seconded CD)

ACTION: MVG to circulate submission to Climate Change Policies Review.

A previous recommendation of the committee was revisited and replaced with a new one that extends it as underlined below:

RECOMMENDATION: That Council consider report on Take2 Pledge and Compact of Mayors. (moved NT, seconded CD)

CD advised that a report has been requested from finance department on Council investments in relation to discussion on divestment.

4. Discussion Paper – Community Solar and Energy Efficiency Programs - Attachment B

The discussion paper was discussed and a range of issues and options were explored. Points included:

- value of targeting vulnerable groups
- significance of the East Village development because of its scale and the fact that it is a whole precinct; opportunities such as optimising renewable energy use, energy efficiency, walkability, public transport.
- need for an education program accessible to all

- value of using case studies and in situ education elements as part of community education
- value of innovative projects for helping address policy barriers as well as to inspire change.

Recommendation: That a report be prepared for Council outlining the options for solar and energy efficiency programs to help the community reduce greenhouse gas emissions. (moved NT, seconded CD)

5. Regular reports

5.1. ESS Action Plan – progress

MVG: One highlight since previous meeting was a new project underway to engage with sporting clubs to improve recycling and energy efficiency at their facilities.

A report on the Action Plan will be prepared following the end of the financial year and development of new Action Plan for 2017-18 is underway.

A brief update on the food waste recycling service introduction currently being planned for early 2018 was provided.

5.2. Sustainability Indicators

5.2.1.1. 2016-17 progress report is in **Attachment C**

Noted highlights:

- There has been a significant drop in energy use at several sites as a result of the work over the last 24 months to install solar power and energy efficiency, including a 45% drop at Carnegie Library.
- Small drop in the quantity of garbage collected from the community even as the population has grown. Increases were seen in green waste and mixed recycling.
- Drop in paper use by staff reflecting move to digital.

5.3. Community Education

5.3.1.1. An update on events and participation is in **Attachment D**

6. Other business

NT: Suggested an incentive to encourage reusable coffee cups (eg. Keep Cup) and promote sustainable cafes.

There was discussion on this matter including:

- The ABC's war on waste as stimulated a number of cafes to take their own action recently
- Some cups are compostable, some aren't

CD: Noted that Darebin are proposing to ban single use plastics.

ACTION: Officers will explore with Council's Public Health Team whether the food business awards present opportunities in regards to sustainability.

7. Next Meeting (Chair)

7.1. Thursday 21 September 2017, 6.30pm – 8.00pm

7.2. Future meetings: Tentatively planned for the Thursday 14 December, and third Thursday in March and June 2018.

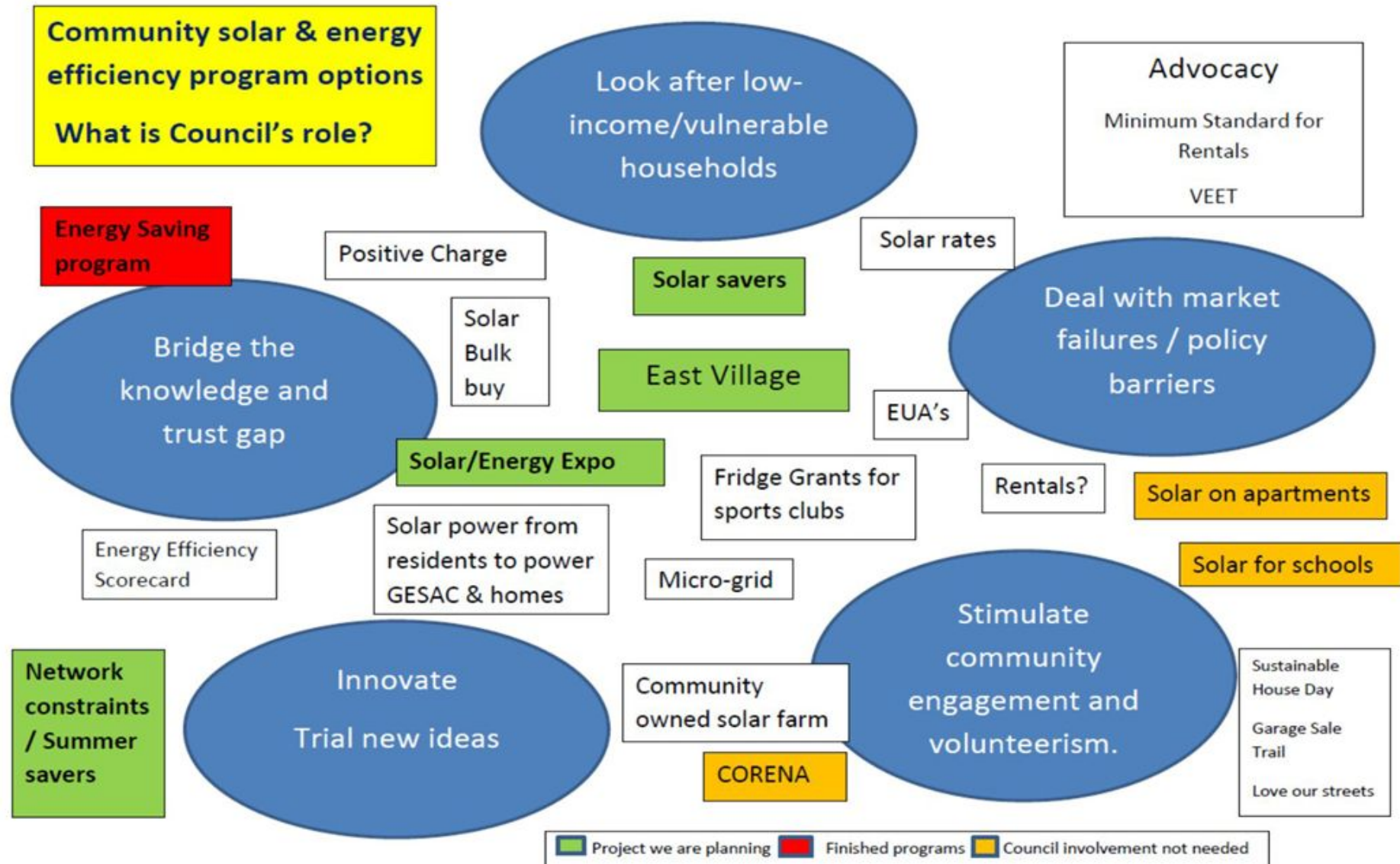
8. Draft forward agenda

Meeting	Proposed strategic discussion topics
September 2017	Advocacy priorities
December 2017	Community partnerships
March 2018	Future recycling and waste services
June 2018	Divestment (including speaker; EAGA report on opportunities to be circulated prior)

ATTACHMENT A – Reports on previous actions and recommendations

Action or recommendation	Report and discussion	Further Action
<p><u>Joining a Greenhouse Action Alliance</u></p> <p>Recommendation: That Council consider a report on joining a Greenhouse Action Alliance.</p>	<p>The following recommendations were adopted at Councils Ordinary Council Meeting on 13 June.</p> <p>That Council:</p> <ol style="list-style-type: none"> 1. Endorses joining as a member the Eastern Alliance for Greenhouse Action (EAGA); 2. Authorises the Director of Infrastructure, Environment and Leisure to sign the Memorandum of Understanding for 2017-22 on behalf of Council; 3. Appoint Cr Taylor as the Councillor Representative on the Executive Committee. 	<p>No further action required</p>
<p>ACTION: MVG to provide dates for terms of appointments of community reps.</p>	<p>The appointment term for community representatives is for two years. Julian Donlen, Yann Decourt and Shane Genzuik were appointed 5 April 2016.</p> <p>Phil Thompson was appointed as Community Representative – Environmental Specialist on 12 March 2015.</p> <p>There is benefit in aligning the advertising dates. For consideration.</p>	<p>For discussion.</p>
<p>Federal Government Climate Change Review coming up, consider making submission</p> <p>ACTION: MVG to review.</p>	<p>Council put in a submission to the review, which supported the submission prepared by EAGA.</p>	<p>No further action required.</p>
<p><u>Take 2 Pledge</u></p> <p>Recommendation: That Council consider report to Take2Pledge.</p>	<p>Officers recommend the Compact of Mayors and propose to include this together with the Take2Pledge in a Council report.</p>	<p>For discussion.</p>
<p><u>Divestment</u></p> <p>Superannuation to be considered as part of a broader discussion on divestment from fossil fuels as a future agenda item.</p> <p>ACTION MVG: to suggest speaker for forward agenda.</p>	<p>Added to the forward agenda.</p> <p>EAGA has prepared a report on the opportunities for divestment, which will be circulated prior to the meeting when this discussion is scheduled.</p>	<p>No further action required.</p>

ATTACHMENT B – Community Solar and Energy Efficiency Programs – Discussion Paper



Community Solar/Energy efficiency programs – Discussion Paper

Purpose and introduction

The purpose of the diagram on page one, and this discussion paper is to help the Sustainability Advisory Committee explore how Council best supports the community to reduce emissions from the built environment (existing dwellings). Note that this paper doesn't discuss new buildings, transport or waste emissions.

This paper provides more detail to support the diagram shown on page one of Attachment B. The diagram shows:

- Possible roles for Council (blue)
- How Council's current programs align with these roles (green)
- Other programs and options that Council could consider and how these align (white)
- Commercial/community ventures that are starting to emerge to fill some roles that have been government roles (orange)

Questions to consider

- What role is it most value for Council to play?
- What level of effort does Council want to commit to this? Is it important to operate within existing resources, or is there an appetite to increase the effort towards this objective?
- What is important when considering priorities? Total emissions reductions? Co-benefits such as reduced pressure on vulnerable residents? Cost effectiveness?

Our Environmental Sustainability Strategy sets out the following goals and objectives:

Long-term aspirational goal:

- Zero net carbon emissions from the community by 2050.

Goal to 2021:

- Support the Glen Eira community to reduce greenhouse gas emissions.

Objectives:

- Support community members to improve the efficiency of their homes and to increase their use of renewable energy.

The main ways the community can reduce greenhouse gas emissions from the built environment are

- Make their homes more energy efficient (insulation, more efficient heating and cooling etc)
- Install solar power, or buy greenpower

ATTACHMENT C - COUNCIL SUSTAINABILITY INDICATORS REPORT: 2016 – 2017 PROGRESS REPORT

Regular monitoring is used to indicate how Council and the Community are performing in regards to sustainability.

The Environmental Sustainability Strategy identifies the need to develop and regularly report on indicators of performance. To this end, officers monitor key indicators that correspond to the themes of the strategy, refining the indicators over time.

COUNCIL PERFORMANCE

Climate Change

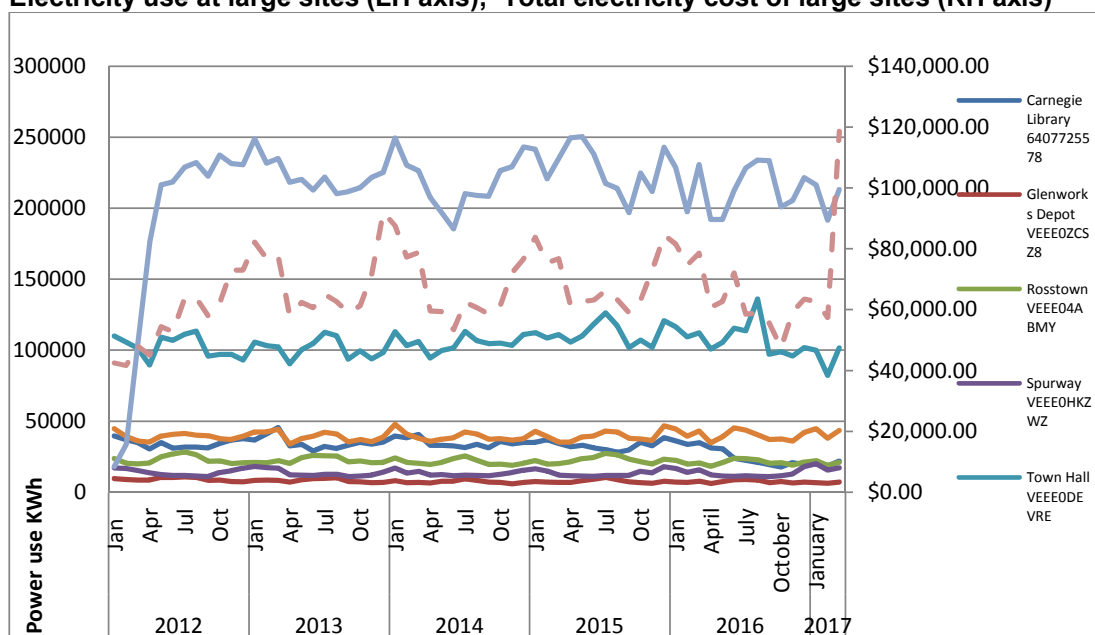
The ESS prioritises accelerating efforts to reduce emissions including retrofitting buildings to make them more energy efficient and installing solar power. Council has set a target of 'Zero net emissions from Council operations by 2030.'

Electricity consumption from Council's large sites is the largest source of carbon emissions in Council's direct control. Town Hall and GESAC are the largest electricity using sites by a large margin. Both of these sites had solar installed in 2016, the solar systems were connected to the grid early in 2017. A solar PV system was also installed at Carnegie Library in 2015-16.

The total electricity used at large buildings from July 1 2016 to March 31 2017 is 6 percent lower compared to the same period last year. The biggest percentage decrease was from Carnegie Library, with a reduction of around forty-five percent. Town Hall electricity use is 8.5 per cent lower and GESAC is 8 per cent lower. There was a increase in electricity use at Town Hall in August 2016. Officers are investigating the reasons for this.

The increase in cost in Q3 was due to adjustments in green power charges which had been incorrectly charged since the beginning of the financial year. Overall, electricity costs are 7 per cent lower than for the same period in the previous year.

Electricity use at large sites (LH axis); Total electricity cost of large sites (RH axis)



Recycling and Waste

Sending waste to landfill generates greenhouse gas emissions.

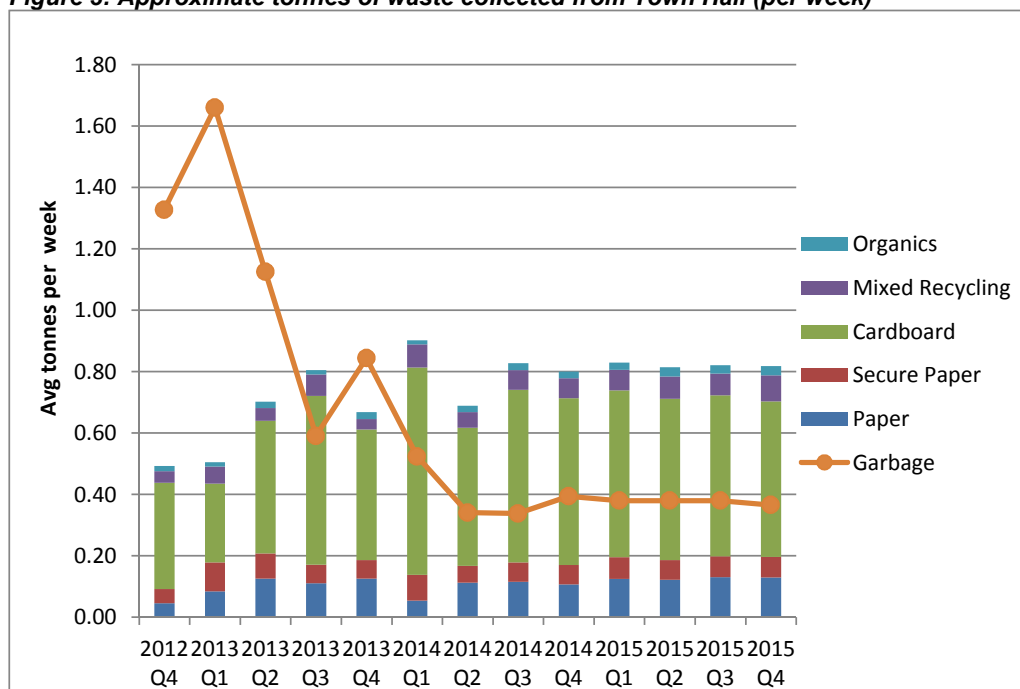
Recycling Rate in Council Buildings

In 2010, Council commenced the introduction of enhanced recycling facilities in the Town Hall, including recycling facilities for food waste. Rollout of these was completed in 2012.

The previous method for tracking the amount of waste recycled at the Town Hall can only provide a rough guide. Town Hall recycling rate was 69 per cent for 2015-16, a 2 per cent improvement from 2014-15. A new method will be used to measure waste at Town Hall and other Council buildings for annual sustainable indicator reporting.

Council officers continued to promote recycling in Council buildings and parks. Two projects to improve recycling at GESAC and at Sports Ovals are underway.

Figure 3: Approximate tonnes of waste collected from Town Hall (per week)



Biodiversity

To be sustainable, there is a need to achieve at least no net loss of biodiversity and may be necessary to reinstate it.

Glen Eira, like most city areas, has little remaining local biodiversity, but it does affect national and global biodiversity: when it consumes products and services produced by damaging ecosystems (e.g. paper and wood); and through climate change.

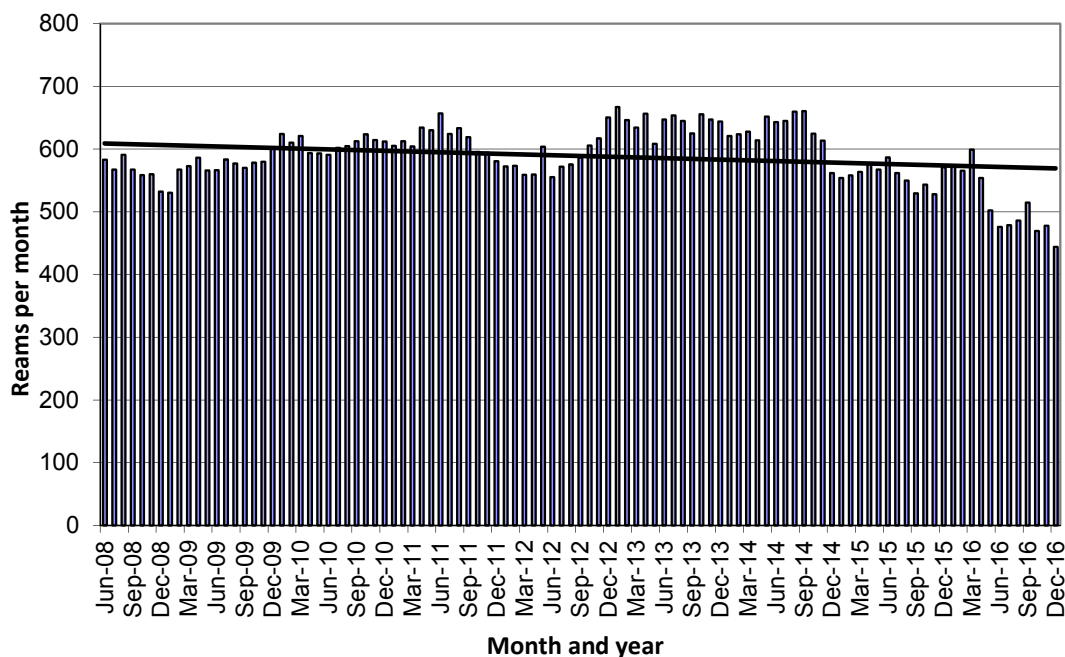
Total copy paper consumption

Council can use less paper, and where paper is used, source it sustainably.

Use of photocopy paper has been trending downwards for the last 2 years or so, as a result of more towards digital processes and increased use of mobile and electronic devices. The quantity of photocopy paper ordered fluctuates; however, the overall trend

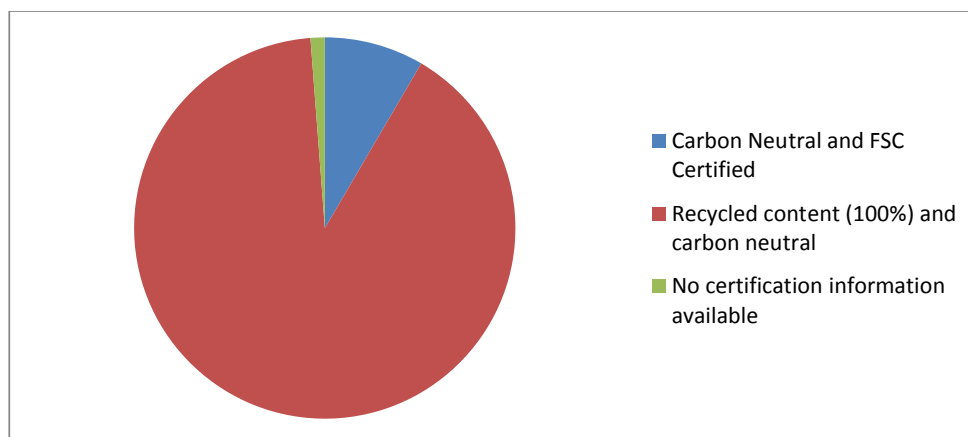
is relatively steady. Council installed new printers at Town Hall with secure printing in early 2017; this should lead to a further decrease in the use of copy paper.

Reams Photocopier Paper Purchases per month (A4 equivalents; 12 month moving average)¹



Most photocopier paper purchased is sustainably sourced from a mix of recycled content and sustainably managed forests (i.e. certified under a recognised scheme). Council switched the A4 photocopier paper it uses in January 2017 to a product that is 100 per cent recycled, carbon neutral and is certified under the Forest Stewardship Certification (FSC) scheme. A very small amount of coloured photo-copy paper is used which does not provide certification or recycled content details but is described as sustainably sourced.

Recycled content and certification details of paper purchased in Q3



¹ Note: This data measures photocopier paper ordered at Town Hall, Warrawee and Spurway which is purchased centrally. It does not include paper purchased at other sites, letterhead or envelopes.

Council plantings by type

Glen Eira is a highly modified urban environment with only a few small pockets of remnant vegetation remaining. To support local biodiversity, Council uses indigenous and native plantings where appropriate when renewing its parks.

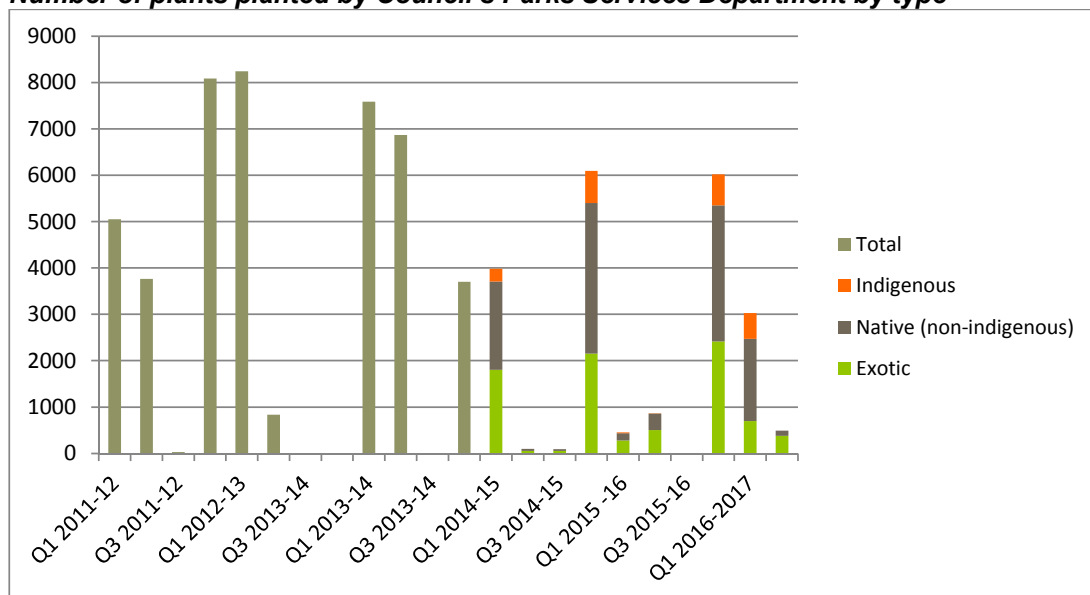
Most planting is done between April and September and the amount of planting that occurs from year to year is highly variable as most work is project based.

From 1 July 2014-15, officers have recorded species using updated definitions.

Indigenous	Plants of a species that is native to the Sand Belt Region of South-eastern Melbourne. It does not include hybrids. ²
Native (non-indigenous)	Plants of a species native to Australia but not the Sand Belt Region of South-eastern Melbourne. It may include hybrids.
Exotic	Plants of a species not native to Australia

There was a slight reduction in all plantings to the corresponding 2015-16 quarter, with no indigenous plantings.

Number of plants planted by Council's Parks Services Department by type



Water

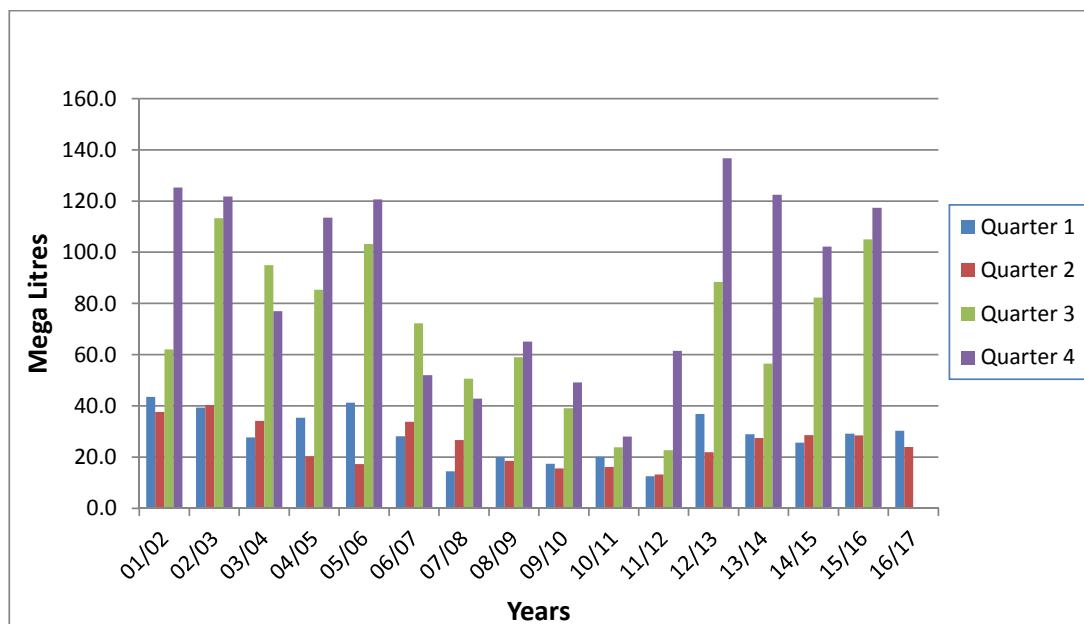
Efficient water use at a local level can help balance the need for local water use to maintain parks and gardens while keeping pressure off regional water supplies which also supply natural systems.

Potable water use was slightly lower in the first half of this year than the previous year.

² This is consistent with Council's Open Space Strategy. It relates to species known to have existed in the sand belt region prior to European Settlement. While it does not include hybrids, it may include plants sourced from outside the region.

Council officers are looking into methods to improve water reporting so that we capture the efficiency of water use.

Total potable water consumption



COMMUNITY PERFORMANCE

Generally, the only area of community performance reported quarterly is waste and recycling. Data is sourced on carbon emissions, water and biodiversity on an annual basis.

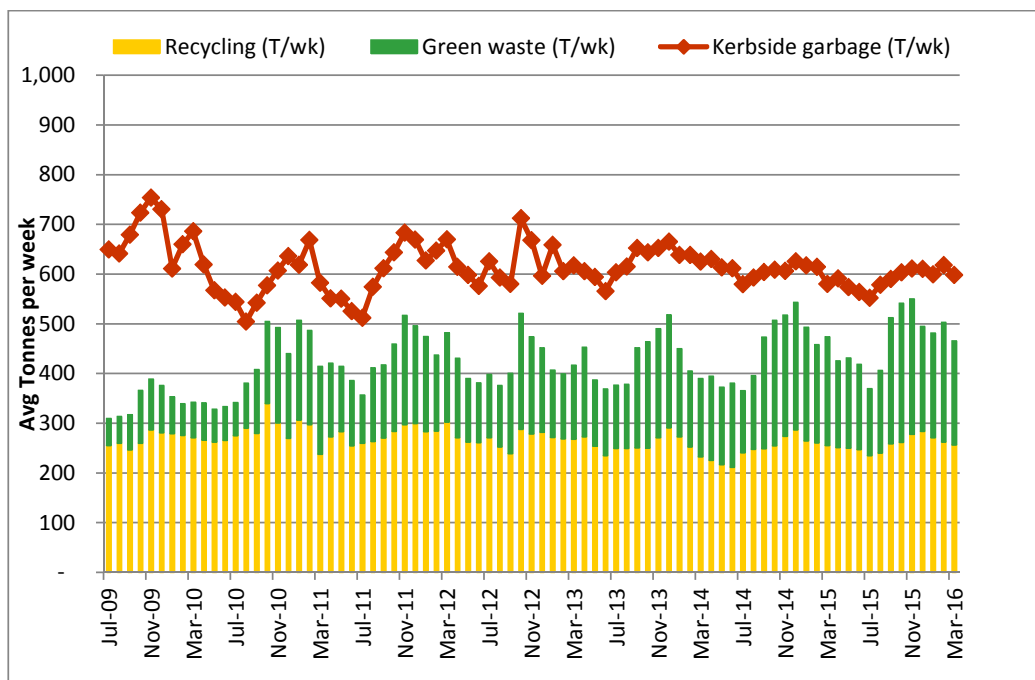
1. Waste and recycling

Council obtains monthly information on the amount of municipal waste that the Glen Eira community generates and recycles. Council has some control over recycling rates through its waste and recycling disposal contracts, the structure of its waste services and its education activities.

Glen Eira kerbside collections – recycling, green waste and garbage quantities

For the year to date green waste has increased by five per cent and recyclables has increased by one per cent. The amount of garbage disposed to landfill has decreased by one per cent for the year to date.

The community's recycling rate was 43.8 per cent for the month of March 2016 which was 1.2 per cent lower than the same period last year. This is thought to be due largely to timing of rain and warm weather, which affects the growth rate of green waste and time of year that residents collect and dispose of it.



ATTACHMENT D - SUSTAINABILITY EDUCATION UPDATE

4.1.1 Community presentations and events since the last meeting included:

- Urban Beekeeping – Thursday 27 April – 90 people booked to date
- Cloth Nappies information session – 16 June – drop in session

4.1.2 Upcoming presentations and events include:

- Save Money on Your Bills – September 2017
- Glen Eira Garden Tour – October 2017

Presentations are not held in winter, due to low attendance historically. We are currently planning the program of events for 2017-18.

4.2 As of end of May 2017, 974 households were registered for the Neighbourhood Sustainable Gardening Program

4.3 From August 2013 to 17 June 2017, more than 734 households have participated in the Glen Eira Energy Saving Program. Collectively there was 4781 energy saving products supplied and installed in homes at no cost. Residents that participated will help to prevent around 5086 tonnes of greenhouse gas emissions from being released into the atmosphere over the next decade. The contract with Energy Makeovers, Council's partner in this program, ended on 17 June 2017.

Assembly of Councillors

6 June 2017

Record under S 80 A (2)

Meeting commenced at 6.30PM.

A. Present

Cr Mary Delahunty (Mayor)
Cr Tony Athanasopoulos
Cr Clare Davey
Cr Margaret Esakoff
Cr Jamie Hyams
Cr Jim Magee
Cr Dan Sztrajt

Council Officers

Rebecca McKenzie, CEO

B. Matters considered.

- (i) Apologies – Cr Joel Silver
- (ii) Chief Executive Officer Review

6.40pm Cr Nina Taylor entered the Assembly.

Assembly finished at 7.20PM

Assembly of Councillors

20 June 2017

Record under S 80 A (2)

Meeting commenced at 6.48PM.

A. Present

Cr Mary Delahunty (Mayor)
Cr Tony Athanasopoulos
Cr Clare Davey
Cr Margaret Esakoff
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver
Cr Dan Sztrajt
Cr Nina Taylor

Council Officers

Rebecca McKenzie, CEO
Peter Jones
Samantha Krull
Ron Torres
Peter Swabey
Shweta Babbar
Aidan Mullen
Janice Pouw

B. Matters considered.

- (i) Apologies – NIL
- (ii) Related Parties Disclosures
- (iii) Transformation Program Update
- (iv) Town Planning Service Review
- (v) Reformed Residential Zones

8.40pm the Briefing adjourned

8.53pm the Briefing resumed

Present:

Cr Mary Delahunty (Mayor)
Cr Margaret Esakoff
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver
Cr Dan Sztrajt
Cr Nina Taylor

(vi) Solar Savers Program

8.54pm Cr Davey entered the Briefing

8.55pm Cr Athanasopoulos entered the Briefing

(vii) Draft Activity Centre, Housing and Local Economy Strategy

(viii) East Village Draft Structure Plan

10.09pm Cr Silver left Briefing and returned at 10.11pm.

(ix) Draft Building and Design Principles and Typologies

(x) Feedback on Council & Community Plan

10.24 Cr Magee left room and re-entered at 10.27pm

(xi) General Business - Councillors

Cr Delahunty – Planning application 27-29 Bent Street Bentleigh

Cr Taylor – Glen Eira Storytelling Festival on 22 June

Cr Athanasopoulos – Meetings with Traders Associations

Cr Delahunty – Proposed funding for EE Gunn

Cr Delahunty – VLGA - 11 July Assembly

Cr Esakoff – Update on National Trust negotiations

Cr Hyams –Community and Councillor safety at events

Cr Davey – History of requests for Significant Tree Register

Other items of general business

- Bentleigh Secondary College and basketball stadium.
- Implementing new child safe standards
- Marara Road Reserve – removal of sleepers
- Meeting room change

Assembly finished at 11.20PM

Assembly of Councillors

27 June 2017

Record under S 80 A (2)

Meeting commenced at 6.45PM.

A. Present

Cr Mary Delahunty (Mayor)
Cr Clare Davey
Cr Margaret Esakoff
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver
Cr Dan Sztrajt
Cr Nina Taylor

Council Officers

Rebecca McKenzie, CEO
Peter Jones
Samantha Krull
Peter Swabey
Ron Torres
Janice Pouw

B. Matters considered.

6.49pm Cr Athanasopoulos entered the Assembly

- (i) General Business –
 - CEO – MAV Annual Subscription
 - Mayor - Councillor Development Weekend
 - Cr Athanasopoulos – Metropolitan Transport Forum
 - Cr Hyams – Bentleigh and McKinnon Stations – possibility of park benches on walking path between the stations
 - Cr Hyams - Parking issues in Patterson Road
 - Cr Taylor – Bentleigh Football Club lighting – Budget submission
 - Cr Magee – 1 St Georges Avenue – planning permit
 - Cr Sztrajt – call for report – Integration Aboriginal and Torres Strait Islander flags for ceremonies.

6.58pm Assembly adjourned - Special Council Meeting

7.09pm Assembly resumed

Present:

- Cr Mary Delahunty
- Cr Tony Athanasopoulos
- Cr Clare Davey
- Cr Margaret Esakoff
- Cr Jamie Hyams
- Cr Jim Magee
- Cr Joel Silver
- Cr Dan Sztrajt
- Cr Nina Taylor

Cr Sztrajt's request for report - Integration Aboriginal and Torres Strait Islander flags for ceremonies

Cr Hyams – Aspire – Waste Management

Cr Taylor – Sustainability Committee – Report re Options for Solar and Energy Efficiency programs to help the community reduce greenhouse gas emissions

Cr Hyams – Event Security

7.18pm Cr Esakoff left the Assembly and re-entered at 7.20pm

CEO – Carnegie Green Space and Level Crossing Removals

Mayor – Councillor Workshop 28 June 17

Cr Silver – request for report – Options to establish and fund a permanent memorial sculpture/structure in the Caulfield area for victims and survivors of the Holocaust.

Cr Davey – Related Party Disclosure forms

- (ii) Apologies – Nil
- (iii) Conflict of Interest – Cr Esakoff declared an Indirect Conflict of Interest due to conflicting duties in Item 12.4 – Internal Audit – Community Information Glen Eira Inc.
- (iv) Council Papers for the 4 July 2017 Council Meeting comprising thirteen officer reports together with standing items on the agenda.
 - Item 4 Confirmation of the Minutes of the previous meetings 13 June
 - Special Council Meeting - Budget submission – Name of submitter
 - Item 5.1 Petition – Request for Significant Tree and Vegetation Registry
 - Item 5.2 Joint Letter – East Village
 - 8(a) Advisory Committees – Community Consultation Committee Minutes

- 8(b) Records of Assembly – 29 May, 6 June and 13 June
- Item 9.1 11 & 13 Tranmere Avenue, Carnegie
- Item 9.2 VCAT Watch
- Item 9.3 East Village Draft Structure Plan

8.09pm Cr Silver left the Assembly and re-entered at 8.11pm

- Item 9.4 Municipal Emergency Management Plan (MEMP)
- Item 9.5 Nature Strip Planting
- Item 9.6 Solar Savers Project
- Item 9.7 GESAC Access for Residents over 70 Years of Age

8.44pm – Cr Esakoff left the Assembly and re-entered at 8.46pm

- Item 9.8 Council Policy – Family, Youth and Children’s Services

8.48pm Assembly adjourned

9pm Assembly resumed

Present:

- Cr Mary Delahunty
- Cr Tony Athanasopoulos
- Cr Clare Davey
- Cr Margaret Esakoff
- Cr Jamie Hyams
- Cr Jim Magee
- Cr Joel Silver
- Cr Dan Sztrajt
- Cr Nina Taylor
- Item 9.9 Community Gardens
- Item 9.10 Intersection of Glen Eira and Kooyong Roads, Caulfield North – Traffic Conditions
- Item 9.11 Appointment of Community Representatives to Strategic Transport Advisory Committee
- Community Consultation Advisory Committee selection process
- Item 9.12 Appointment of Signatories for 2016-17 Annual Accounts
- Item 9.13 Financial Management Report for the period ending 31 May 2017
- Item 11 Ordinary Business
- Item 11.1 Requests for Reports raised in General Business earlier in the meeting.
- Item 12.1 Confidential – YMCA Leisure Facilities Contract – Carnegie and Caulfield Recreation Centre
- Item 12.2 Confidential – Tender Recommendation for consideration by Council Tender 2018.001 Brewer Road Reconstruction
- Item 12.3 Tender recommendation for consideration by Council Tender 2017.008 Provision of Pool Chemicals and Gases to Aquatic and Leisure Facilities

9.27pm Cr Esakoff declared an Indirect Conflict of Interest due to conflicting duties in item 12.4 Internal Audit – Community Information Glen Eira Inc. and left the Assembly

- Item 12.4 – Internal Audit – Community Information Glen Eira Inc

9.57pm Cr Magee left the Assembly and re-entered at 9.59pm

Assembly finished at 10.26PM

Assembly of Councillors
Structure Plans Workshop
28 June 2017
Record under S 80 A (2)

Meeting commenced at 6.30PM.

A. Present

Cr Mary Delahunty (Mayor)
Cr Tony Athanasopoulos
Cr Clare Davey
Cr Margaret Esakoff
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver
Cr Nina Taylor

Council Officers

Rebecca McKenzie, CEO
Ron Torres
Aidan Mullen
Sophie Holdsworth

B. Matters considered.

- (i) Apologies – Nil
- 7.06pm Cr Sztrajt entered the Assembly
- (ii) Elsternwick, Bentleigh, Carnegie Structure Plans

Assembly finished at 8.30PM

Council Pre-Meeting

4 July 2017

Record under S 80 A (2)

Meeting Commenced at 6.47pm

A. Present

Cr Mary Delahunty, Mayor
Cr Tony Athanasopoulos
Cr Margaret Esakoff
Cr Jamie Hyams
Cr Jim Magee
Cr Joel Silver
Cr Dan Sztrajt
Cr Nina Taylor

Apologies – Cr Clare Davey

Officers

Rebecca McKenzie, CEO
Ron Torres
Peter Swabey
Peter Jones
Samantha Krull
Janice Pouw

B. Matters considered

- (i) Conflicts of Interest – Cr Esakoff – Confidential Item 12.4 – Internal Audit – Community Information Glen Eira Inc.
- (ii) Item 9.1 – 11 & 13 Tranmere Avenue, Carnegie
- (iii) Item 9.7 – GESAC Access for Residents Over 70 Years of Age
- (iv) Item 10 – Urgent Business – 450 Dandenong Road Caulfield North
- (v) Item 11.1 (a) Request for Report – Cr Silver – Memorial structure
- (vi) Item 11.1(b) Request for Report – Cr Athanasopoulos – Visitors car parking
- (vii) Item 11.1(c) Request for Report – Cr Sztrajt – Aboriginal and Torres Strait Islander recognition and acknowledgement
- (viii) Agenda item 11.4 – Public Questions

Pre-meeting finished at 7.27pm

9. PRESENTATION OF OFFICERS REPORTS

9.1	Planning Scheme Amendment C143: 88-100 McKinnon Road, McKinnon
9.2	Activity Centre, Housing and Local Economy Strategy
9.3	Quality Design Principles and Draft Concept Plans for Bentleigh, Carnegie and Elsternwick – Endorsement for Engagement
9.4	31 Nepean Hwy Elsternwick
9.5	240-250 McKinnon Road McKinnon
9.6	777 Glen Huntly Road Caulfield
9.7	329 Jasper Road Ormond
9.8	VCAT Watch
9.9	Caulfield Racecourse Wedge
9.10	Support For Elsternwick Traders During Coles Redevelopment
9.11	Pavilion Redevelopment Strategy
9.12	Intersection of Glen Eira & Kooyong Roads, Caulfield North – Traffic Conditions
9.13	Investment Policy
9.14	Conduct Reference Group Terms of Reference
9.15	Public Participation Guidelines
9.16	Appointment of Acting Chief Executive Officer

ITEM 9.1 PLANNING SCHEME AMENDMENT C143**88-100 MCKINNON ROAD, MCKINNON**

Author: Jacqui Brasher, Principal Strategic Planner

File No: Amendment C143

Attachments: 1. McKinnon Amendment Zoning Map
2. McKinnon Amendment Overlay Map

PURPOSE AND SUMMARY

To consider the Panel Report received in relation to a planning scheme amendment to rezone the land at 88-100 McKinnon Road, McKinnon.



Proposal	<p>The amendment originally proposed to:</p> <ul style="list-style-type: none"> • Rezone the land from Industrial 3 Zone to a Mixed Use Zone. • Apply an Environmental Audit Overlay. • Apply a Design and Development Overlay to the land and insert a new Schedule to the Design and Development Overlay. <p>On 21 February 2017, the amendment was altered by Council resolution and now proposes to:</p> <ul style="list-style-type: none"> • Rezone the land from Industrial 3 Zone to a General Residential Zone (Schedule 2). • Apply an Environmental Audit Overlay.
Proponent	Urbis Pty Ltd on behalf of Gil and Ofira Bareket.
Planning Scheme Controls	<ul style="list-style-type: none"> • Industrial 3 Zone. • Special Building Overlay (SBO). • McKinnon Neighbourhood Centre (Housing Diversity Area).
Municipal Strategic Statement	<ul style="list-style-type: none"> • <i>"To identify preferred use and development options for industrial sites nearing the end of their economic life".</i>

RECOMMENDATION

That Council:

1. notes the recommendations of the Panel;
2. adopts Amendment C143 as amended by Council on 21 February 2017 to a General Residential Zone (Schedule 2) and Environmental Audit Overlay;
3. forwards Amendment C143 to the Minister for Planning for approval in accordance with Section 31 of the Planning and Environment Act 1987.

BACKGROUND

The land (consisting of multiple parcels) is currently zoned Industrial 3 and is 3,671sqm in area. The proposed rezoning will provide for future redevelopment of the land with uses that are more appropriate to the site's context, than those currently allowed under the Industrial 3 Zone.

As the sites have a history of industrial uses, it is proposed to introduce an Environmental Audit Overlay. A Certificate or Statement of Environmental Audit will be required before any future development of a sensitive use (such as residential).

Council revised the proposed zoning of this Amendment after public concern about the exhibited Mixed Use Zone and Design and Development Overlay and the future uses and potential building height that zone/overlay could allow.

The current 'amendment' process does not involve a specific development proposal. Should the rezoning be ratified, any future development would need planning permission.

ISSUES AND DISCUSSION

A total of 187 submissions were received in relation to this amendment (182 objecting submissions and 5 supporting submissions). On 21 February 2017, Council resolved to refer submissions to a Planning Panel.

The Panel Hearing for this Amendment took place on 25 May 2017 and was attended by two Panel members, Council staff, the Applicant (represented by Urbis Pty Ltd) and 11 submitters – many who made verbal submissions on the day.

Council received the Panel report on the 14 June 2017. The report made the following recommendation:

“Adopt Glen Eira Planning Scheme Amendment C143 in the form as put to the Panel; with the General Residential Zone Schedule 2 and the Environmental Audit Overlay applied”.

The Panel supported the recommendations made by Council to rezone the land, and concluded that:

“Having reviewed the written submissions and heard submissions at the Hearing, the Panel is of the view that there is very little opposition to residential use of the Amendment site per se. The opposition goes to the potential form of development that may result if the exhibited zone (MUZ1) is pursued. The opposition is thus about the form and intensity of residential development, not that the site will be used for residential development...”

The Panel agrees that this is an ideal site to transition to residential development from ‘light industrial’...”

Development diagrams were submitted by the Applicant prior to the Panel Hearing, which were generally met with concern by the submitters. The diagrams depicted the maximum possible building footprint and scale of development which could occur on the subject site within both the Mixed Use Zone and General Residential Zone (Schedule 2). Potential car parking requirements were derived from these plans. The Panel noted the following in relation to these plans:

“... Both Council and the Applicant (and indeed the Panel) are in agreement that the actual development potential is highly likely to be different (and less) than the diagrams would suggest. A full consideration of planning scheme elements, articulation and good design and other factors such as the Melbourne Water assets will result in very different outcomes”.

Another concern of the submitters in both written and verbal submissions was the perceived lack of transparency by Council and lack of notice regarding changes to the zoning mid Amendment, which the submitters considered to be a denial of natural justice. The Panel addressed this:

“... Importantly in the Panel’s view, the change sought by Council, and now supported by the Proponent, will result in less development intensity, not more. This raises the question: should this change be re-exhibited to afford natural justice to all, including those who may have supported the exhibited MUZ? Again, in these circumstances, the Panel does not consider such a case needs to be made. Council’s primary reason for changing the Amendment was to ‘address submissions relating to the proposed

height and potential uses'. The main detrimentally affected party is the proponent and they are now in support of the changes."

"The Panel is satisfied on the material before it that Council has gone above and beyond what is statutorily required to do and an outline of the process was provided in Appendix A to Council's submission. The receipt of 187 submissions and the substantial resulting changes to the Amendment in the Panel's view attests to the success of Council's process, rather than a failure".

"It cannot be said that the extensive number of submitters, most of whom are local to the Amendment site, were not aware of Council's proposal, the proposal put forward to allay their concerns to a large extent. The Panel thus does not consider a denial of natural justice has occurred".

The recommendation of the Panel endorses Council's position in relation to the Amendment.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONS

State Government Policy Objectives

Residential Development - "To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport".

Local Policy Objectives

"To ensure a greater diversity of housing to meet future housing needs".

"To enhance and further develop urban villages and neighbourhood centres as the focus for community life".

"To identify preferred use and development options for industrial sites nearing the end of their economic life".

The proposed General Residential Zone (Schedule 2) will facilitate the future redevelopment of the site to achieve a low rise residential development which would provide a stronger base for the neighbourhood centre, regenerate the site and local area and provide a transition to residential areas, without having a detrimental effect on the existing character of the surrounding area.

Planning Scheme Amendment Process

The planning scheme amendment must go through a set of fixed statutory steps – C143 is currently at Step 6:

1. The Minister for Planning must first authorise preparation of the amendment before exhibition can occur. Following this, notice (exhibition) of the amendment will commence, inviting public submissions.
2. If there are no submissions Council can 'adopt' the amendment and forward it to the Minister for approval. It only becomes law if it is formally approved and gazetted.

3. If there are submissions opposed to the amendment, the Council has three options – abandon the amendment, change the amendment in accordance with the submitters' request, or request the Minister to appoint an Independent Panel to hear the submissions.
4. If a Panel is appointed, submissions are heard and the panel reports its findings in the form of a recommendation to Council.

The Panel may make a recommendation to:

- adopt the amendment
 - abandon the amendment
 - modify the amendment
5. Council then considers the panel report and makes its own decision. Council is not bound by the panel's findings. Again Council's options are to either abandon or adopt the amendment (with or without modifications).
 6. If Council adopts the amendment, it is then referred to the Minister for Planning for approval.

The process required to amend the Glen Eira Planning Scheme is lengthy and provides opportunities for input from interested parties. With regard to the current proposal, Council is at Step 5.

COMMUNICATION AND ENGAGEMENT

The amendment has undergone a public exhibition process as followings:

- 109 notices posted notifying owners and occupiers of neighbouring and nearby properties of the amendment and referral authorities.
- 4 signs on site
- 1 notice in local newspaper (Moorabbin Leader)
- 1 notice in Government Gazette
- Amendment documentation available on Council's website

The exhibition period was open from 17 November – 23 December 2016 and submissions were accepted by Council until 21 February 2017.
187 submissions were received.

LINK TO COUNCIL PLAN

Liveable and Well Designed: A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

It is considered appropriate to adopt Amendment C143 and forward it to the Minister for Planning for approval.

Attachment 1: Zoning Map



Attachment 2: Environmental Audit Overlay Map



ITEM 9.2 ACTIVITY CENTRE, HOUSING AND LOCAL ECONOMY STRATEGY

Author: *Aidan Mullen, Manager City Futures*

File No: *N/A*

Attachments: 1. *Final Activity Centre, Housing and Local Economy Strategy*
 2. *Draft Activity Centre, Housing and Local Economy Strategy consultation responses*

PURPOSE AND SUMMARY

To present the public consultation feedback received regarding the *Activity Centre, Housing and Local Economy Strategy*, outline the subsequent changes to the *Strategy* and seek Council approval for adoption.

The final *Strategy* will form the strategic basis for the ongoing activity centre planning program, including the update of Council's *Municipal Strategic Statement* and the implementation of future structure plans, including for Bentleigh, Carnegie, Elsternwick and East Village.

RECOMMENDATION

That Council:

1. adopts the Activity Centre, Housing and Local Economy Strategy.
2. receives an updated Strategy for consideration in early 2018, to take into account:
 - a. the 2016 stage two census data regarding employment,
 - b. an independent review and
 - c. further feedback on structure plans and design guidelines.

BACKGROUND

It is evident that Glen Eira is undergoing an exciting time of transition and now is a golden opportunity to set a new direction for our municipality. This period of change is driven by multiple external factors including the Melbourne-wide housing boom, multiple level crossing removals and a transition in the way businesses are operating in this digital era.

During community engagement for the recent *Glen Eira Planning Scheme Review*, feedback indicated that our community would like greater clarity in how our municipality will respond to these changes and manage growth.

Council has since embarked on an extensive activity centre planning program to ensure a clear vision will be set for the future of our municipality. Ultimately, the activity centre planning program will result in the implementation of structure plans for our major activity centres.

Typically, an Activity Centre Strategy is an overarching strategic document that sets the future direction and vision for activity centres within the municipality. Activity centres are areas that range in size but usually include a commercial core and surrounding residential land. They provide a focus for housing, retailing, community services, employment, transport, leisure, open space and entertainment, and are neighbourhoods where people shop, work, meet, relax and live.

Council's existing *Activity Centre Strategy* was adopted in 2005 and requires updating to respond to the recent changes occurring within the municipality and to ensure the community's vision continues to be implemented. The draft *Strategy* will become a key basis for Council's updated strategic vision (*Municipal Strategic Statement*) and is critical to inform subsequent projects such as structure plans.

At the Ordinary Council Meeting of 20 December 2016, it was resolved that Council:

- "1. endorses the commencement of Council-led projects and initiatives outlined in this report, including:
 - a) The proposed engagement program.
 - b) Revision of the Glen Eira Activity Centre Strategy.
 - c) Structure Planning at Bentleigh, Carnegie and Elsternwick.
2. notes that Officers will provide further reports to Council at the key decision points on the projects outlined in this report."

Following this resolution, two rounds of place-based community engagement — *Tell us what you love about your shopping strip* and *Transforming our neighbourhoods together* — has been undertaken, which has focused on Glen Eira's 18 activity centres. Altogether, more than 4,150 responses were received via online surveys, attendance at drop-in sessions, social media comments and formal submissions.

The feedback from these previous rounds of engagement informed the development of the draft *Strategy*. At the Ordinary Council Meeting of 23 May 2017, it was resolved that Council:

- a) "Endorses the Draft Activity Centre, Housing and Local Economy Strategy.
- b) Endorses the commencement of community engagement for the Draft Strategy.
- c) Endorses the creation of the Activity Centre Community Advisory Committee and request the expression of interest for community members.
- d) A copy of this Council Report and Draft Strategy will be sent to all the traders associations and groups within Glen Eira."

COMMUNICATION AND ENGAGEMENT

The draft *Activity Centre, Housing and Local Economy Strategy* was open for community feedback between 24 May to 13 June.

The opportunity to provide feedback was promoted widely including:

- a link to the *Strategy* and online feedback form was sent to participants (approx. 2,200) with email addresses from the first two stages of the activity centre consultation;
- a link to the *Strategy* and online feedback form was sent to everyone registered on Council's *Have Your Say* online engagement platform (approx. 850 people);
- a four page summary of the *Strategy* included as a lift-out in the June edition of *Glen Eira News*.
- a four page summary of the *Strategy* was hand delivered to traders in each of the activity centres.
- a discussion at Council's *Disability Reference Committee* meeting.

The consultation page was visited more than 500 times and the *Strategy* was downloaded 300 times. A total of 38 online feedback forms were completed, with 26 submissions received by email during the consultation period.

Please note: not all of the submissions received were directly related to the *Activity Centre, Housing and Local Economy Strategy*, as some were related to the stage two transformation projects or the structure plans which we also consulted on as part of stage three.

ISSUES AND DISCUSSION

Most of the feedback received reinforced concepts already presented in the *Strategy*, with overall support. Below is a summary of feedback received:

Activity Centre Framework

- The *Strategy* was largely supported by most respondents.
- Although supportive, some respondents felt the key challenge will be how to achieve the visions, stating that in some centres it is too late.
- They generally felt the framework seems logical and describes the role of each centre.
- The classifications for each centre were generally supported (including the changed classification of Glen Huntly) although some would like to see the boundaries depicted in the document.
- A submission from Caulfield Commerce Association sought a different classification, recognising the size of the centre and opportunities for positive change.
- There were some questions about how the framework translates into specific planning measures, with respondents wanting more detail about each centre.

Theme one: Place-making and visions

- Support was shown for the idea of place-making, with a feeling that development should contribute to sense of place and that capturing the identity of a place is important.
- There was some concern about a loss of identity in smaller centres, with a number of respondents stating that the identity of each of Glen Eira's activity centres needs to be strengthened.
- Limited feedback about each of the visions was captured through this consultation. However, the visions for Bentleigh, Carnegie, Elsternwick and East Village were workshopped at the recent Structure Plan Community Forums and feedback on all centres was captured during the *Stage two: Transforming our neighbourhoods consultation*.

Theme two: Local economy

- The role small local businesses play within a centre was highlighted along with the need to make sure they survive/thrive by making the activity centres attractive and functional places to be.
- There was support shown for the concept of working and living locally but a feeling that it will be difficult to achieve.
- Some respondents thought there should be more promotion of a mobile workforce and showed support for shared use of spaces.

Theme three: Housing

- Respondents called for a mixture of housing to suit people of all ages, abilities and socio-economic backgrounds.
 - There was suggestion of implementing targets around housing types.
- Apartments should be built with family living in mind.
 - Minimum size regulations.
 - Gardens/open space included within boundary.
- Some felt higher density should be restricted to main activity centres and on arterial roads, not small, local streets.
- Some felt more detail was required (Eg. What does 'tall' actually mean?).
- The protection of heritage was seen as a priority.
- Universal design should be incorporated (not just accessibility).

Other comments

- The *Strategy* provides high-level framing without precise/specific information for areas which makes it hard to understand.
- Glen Eira is currently above the required growth rate — how will the potential for over-development be managed?
- Local infrastructure and open space should be of high importance to match growth.
- Greater focus on all demographics (young people and people with disabilities).
- Will need to consider neighbourhood security and safety if centres become more vibrant at night.

Recommended changes to the Strategy

1. All vision statements have been reviewed and strengthened based on feedback received throughout stages two and three of the activity centre consultation.
2. The Framework has been updated with a new classification of larger neighbourhood centers including Caulfield South and Bentleigh East.
3. A new objective has been included on supporting local business through a focus on a connected economy.
4. References to student and short-term accommodation has been included in the housing types.
5. Further clarification has been made on how housing types may be applied to each activity centre.

Census data and further revision

The first release of Local Government Area (LGA) specific census data from the 2016 Census was released on 27 June, however, the second release is not scheduled until October 2017. The second release will include important data relevant to this strategy, including employment, occupation, industry of employment, workplace address (journey to work), and method of travel to work.

It is recommended that Council seeks an updated version of this *Strategy* for consideration in early 2018, which takes into account the:

- release of the full ABS data;
- feedback and adoption of the building and design guidelines;

- feedback and adoption of the four structure plans; and
- thorough review of the policy by independent experts.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

The financial and resource implications are within the normal operation of the Council's City Futures Department.

POLICY AND LEGISLATIVE IMPLICATIONS

This *Strategy* is an essential document that emphasises the link between the *Glen Eira Council and Community Plan*, the *Municipal Strategic Statement (MSS)* and the State Government's Metropolitan Planning Strategy, *Plan Melbourne 2017–2050*.

This final *Strategy* will lay the strategic groundwork for Council's structure plans and *MSS* update by highlighting the correlations between our vision for housing and economic growth in activity centres with the State Government's most recent strategic vision for Victoria.

LINK TO COUNCIL PLAN

Theme one: Liveable and well designed: A well planned City that is a great place to be.

This *Strategy* will be a pivotal document to guide the implementation of Theme one: Liveable and well designed. However, the *Strategy* has been developed by incorporating the principles of all five themes outlined in the *Glen Eira Council and Community Plan 2017–2021*.

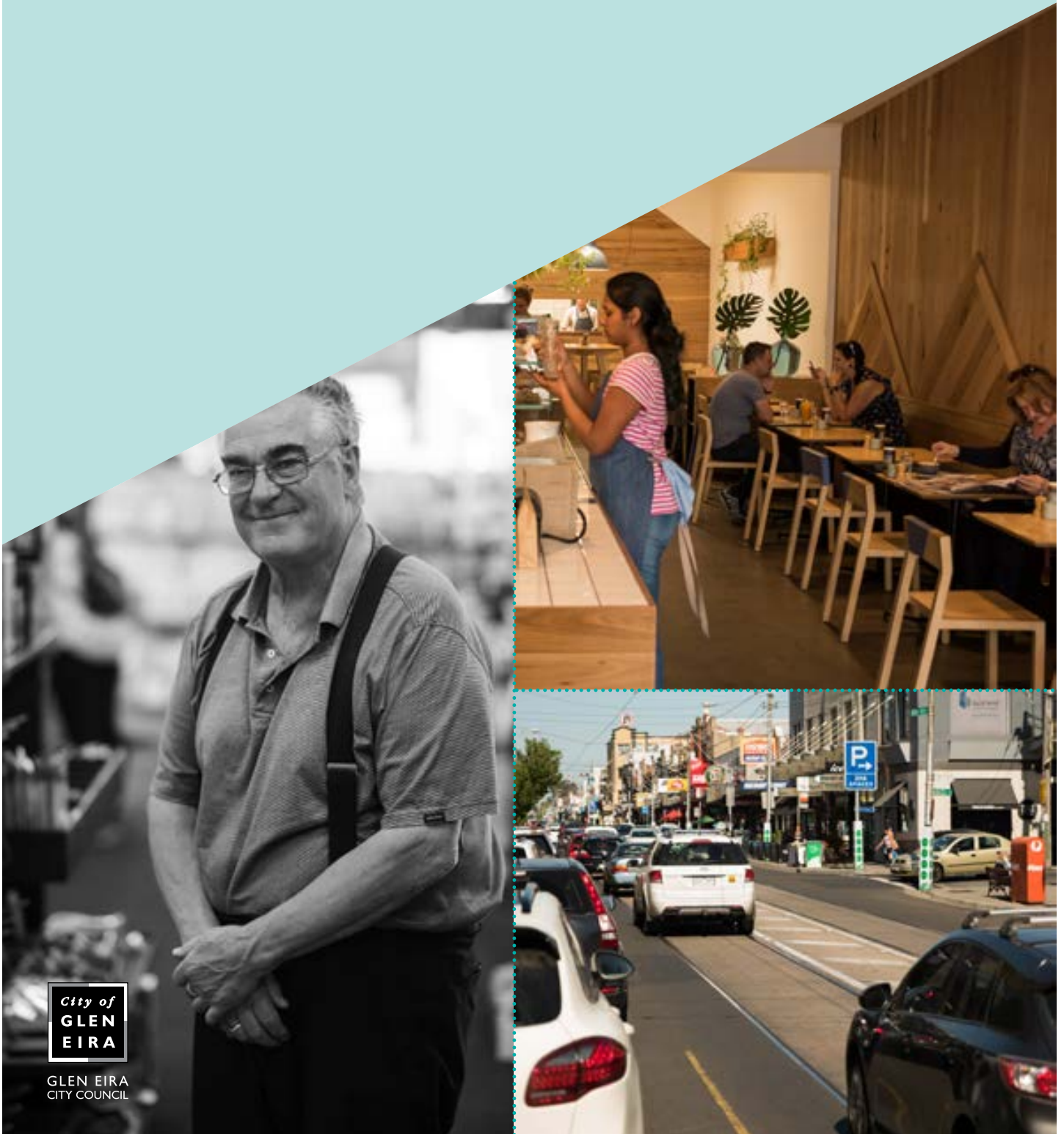
OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The *Activity Centre, Housing and Local Economy Strategy* sets out a framework that will guide the future of Glen Eira's activity centres, economy and housing.

GLEN EIRA — PLANNING FOR THE FUTURE ACTIVITY CENTRE, HOUSING AND LOCAL ECONOMY STRATEGY JULY 2017



GLEN EIRA
CITY COUNCIL

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CHANGE IS OCCURRING — WHAT IS GLEN EIRA'S PLAN FOR OUR FUTURE?

It is evident that Glen Eira is undergoing an exciting time of transition and we now have the opportunity to set a new direction for our municipality.

Glen Eira is recognised as a municipality with wonderful amenity, a diverse community with a considerably high number of well connected activity centres.

Activity centres are areas that range in size but usually include both the commercial heart and nearby surrounding residential area. They provide a focus for housing, commercial, retail, community, employment, transport, leisure, open space, entertainment and are places where people shop, work, meet, relax and live.

State Government statistics indicate that over the last five years (2011–2016), Glen Eira has experienced significant change with a population increase of 11,233 and 4,300 new dwellings constructed. Importantly, the last five years is forecasted to be the biggest rate of growth we will experience (1.6 per cent), with the future rate of growth expected to halve between 2016 and 2031 (approximately 0.8 per cent).

To help build strong local communities, it is important that local household growth is matched by local job growth. Our activity centres are ideal locations to provide for growth in household and job numbers and are therefore considered to be areas for managed change.

As Council holds the responsibility of implementing the vision of the community, as well as the objectives of State Government, this raises questions such as: Where will we accommodate growth? How will we ensure jobs and services are provided close to where people live? How will we ensure amenity and character are protected?

GLEN EIRA COUNCIL AND COMMUNITY PLAN

Our *Glen Eira Council and Community Plan* aims to reflect the community's priorities and directions for Glen Eira for the next four years. The themes of the *Glen Eira Council and Community Plan* have been integrated into this *Strategy* to ensure the community's vision is considered as part of our future plan.

PLAN MELBOURNE 2017–2050

Plan Melbourne 2017–2050 is the State Government's metropolitan planning strategy, which sets out a plan for a sustainable future for our population by ensuring a better distribution of business activity, jobs, housing, services, infrastructure and transport connections closer to where people live and work, particularly within activity centres.

The success of Glen Eira's activity centres is dependent on setting a clear vision that outlines holistic principles and specifies detailed outcomes to guide policy and decision-making for the future.

This *Strategy* aims to celebrate what makes Glen Eira a great place to live, while planning for the future needs of our municipality.

By establishing a long-term strategic framework, we can continue to cater for the community's needs while ensuring our valued amenity and local character is maintained and respected.

This *Strategy* includes four sections:

1. Activity Centres Framework

An overarching framework that provides a place-based approach to implementing place-making, local economy and local housing outcomes.

2. Place-making

- > Setting a new integrated framework to plan for areas of change and activity centres.
- > Strengthening the uniqueness of our neighbourhoods by setting shared visions for each of our activity centres.

3. Local economy

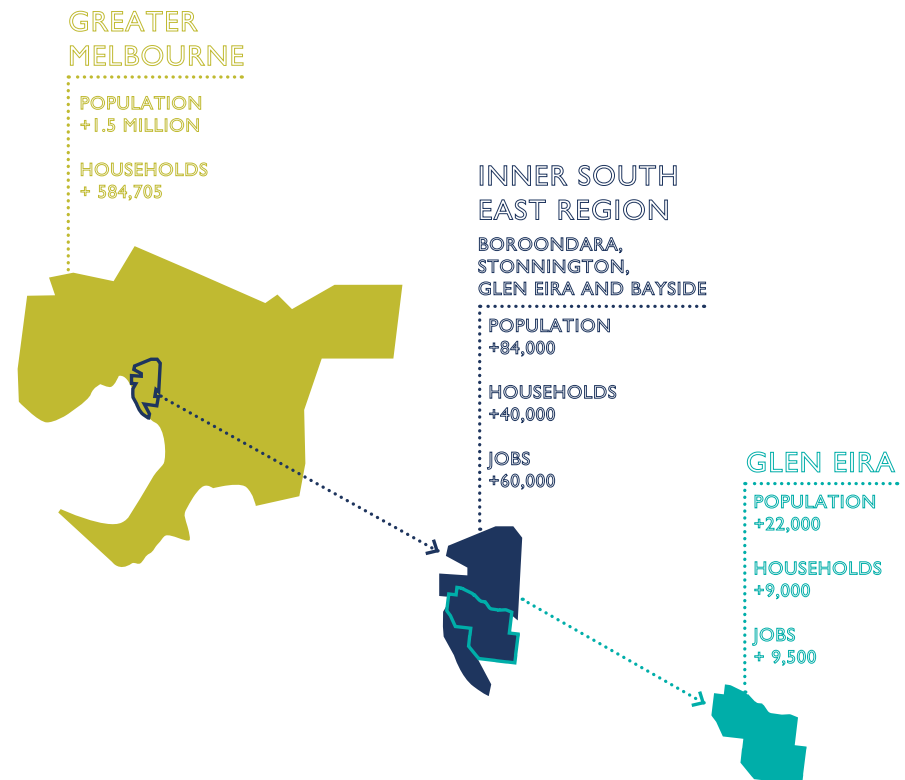
- > Outlining a new framework for the creation of more local jobs for our future community.

4. Housing

- > Outlining an updated framework for planning our community's future housing needs.

This *Strategy* sets out themes, objectives and outcomes for place-making, local economy and housing, which are further elaborated within each respective section.

PROJECTED GROWTH BY 2031



WHAT IS THE PURPOSE OF THIS STRATEGY?

Glen Eira is forecast to grow by 22,000 people, 9,000 dwellings and 9,500 jobs over the next 15 years. This *Activity Centre, Housing and Local Economy Strategy* aims to set a new 15 year City vision for the future of Glen Eira.

This *Strategy* is intended to:

- > provide the strategic context to update Council's *Municipal Strategic Statement*;
- > provide a planning policy link between Council's new *Glen Eira Council and Community Plan* and the State's *Plan Melbourne* objectives;
- > guide the strategic context for upcoming structure plans;
- > provide clear policy direction for all centres currently without an adopted structure plan;
- > provide a community-owned plan in achieving future State Government housing and job targets; and
- > provide high-level, place-based direction for upcoming strategies, including:
 - > an *Integrated Transport Strategy*;
 - > a *Revised Open Space Strategy*; and
 - > the *Municipal Public Health and Wellbeing Plan*.

HOW WAS THIS STRATEGY DEVELOPED?

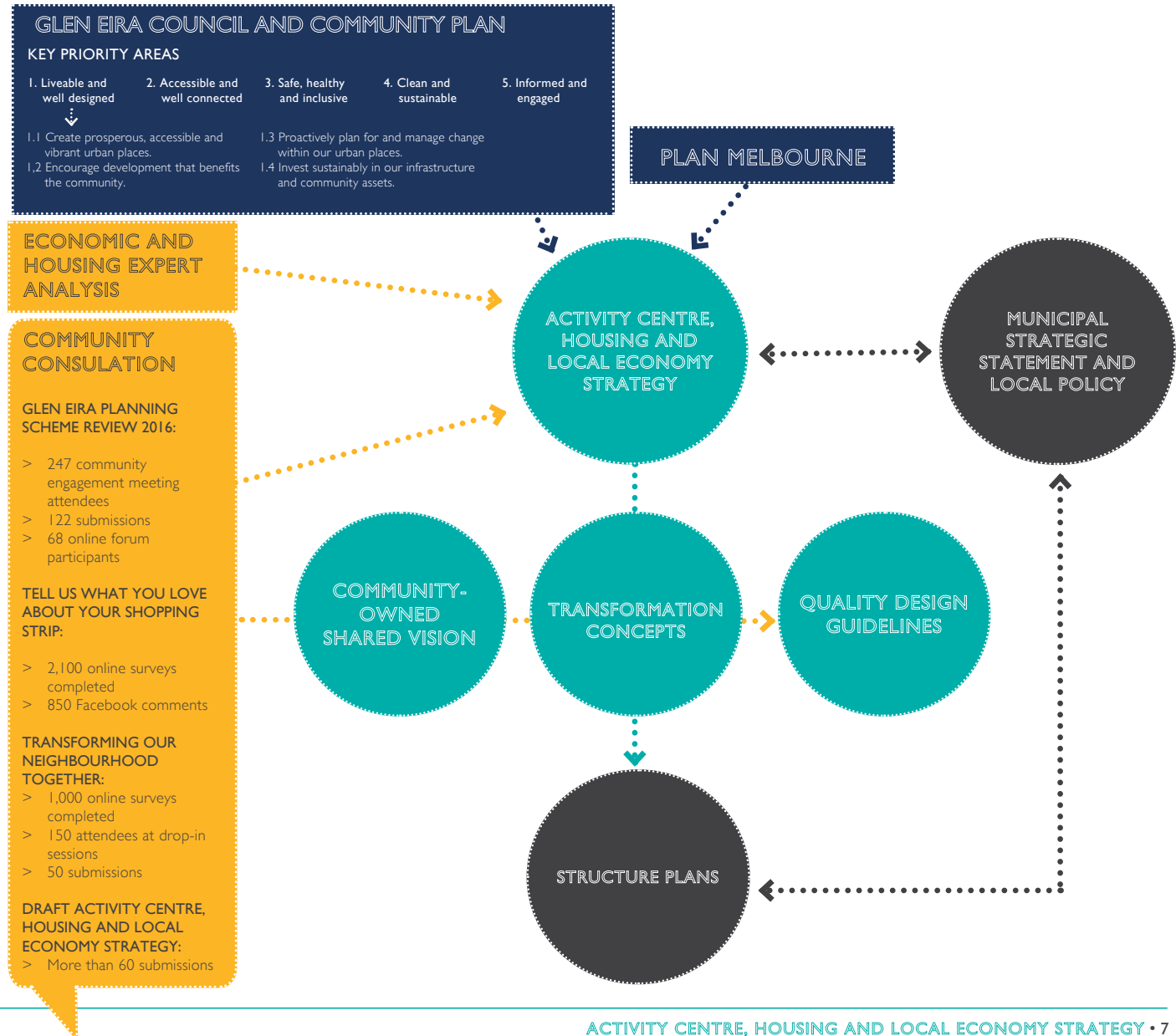
This *Strategy* has been informed by extensive community feedback including more than 60 submissions on the draft version of this document, expert analysis, as well as a review of trends occurring across metropolitan Melbourne.

We have incorporated feedback received through the:

- > *Planning Scheme Review 2016*;
- > *Tell us what you love about your shopping strip Survey*;
- > *Transforming our neighbourhoods Survey*; and
- > *Glen Eira Council and Community Plan* consultation.

To inform this *Strategy*, a number of background papers were commissioned, including:









- > *Glen Eira Draft Economic Analysis 2017*, Blair Warman Economic Consultants; and
- > *Glen Eira Draft Housing Opportunity Analysis 2017*, Housing id.

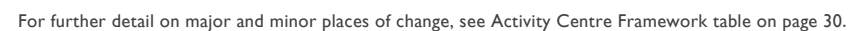




PART ONE
ACTIVITY CENTRES FRAMEWORK

Vision — Glen Eira 2031

Health, education and innovation precinct with urban renewal	
Caulfield Station Precinct	
Emerging health, education and innovation precinct	
East Village	
Major activity centre with urban renewal	
Carnegie	
Elsternwick	
Emerging major activity centre with urban renewal	
Moorabbin Junction	
Major activity centre	
Bentleigh	
Emerging major activity centre	
Glen Huntly	
Large neighbourhood centre	
Bentleigh East	
Caulfield South	
Neighbourhood centre	
Caulfield Park	
Alma Village	
Hughesdale	
McKinnon	
Murrumbeena	
Ormond	
Patterson	
Ripponlea	
Gardenvale	
Emerging neighbourhood centre	
Oakleigh South	





PART TWO
THEMES
PLACE-MAKING, LOCAL ECONOMY AND HOUSING

THEME ONE: PLACE-MAKING

WELL CONNECTED AND DISTINCTIVE NEIGHBOURHOODS

What we heard through our community engagement:

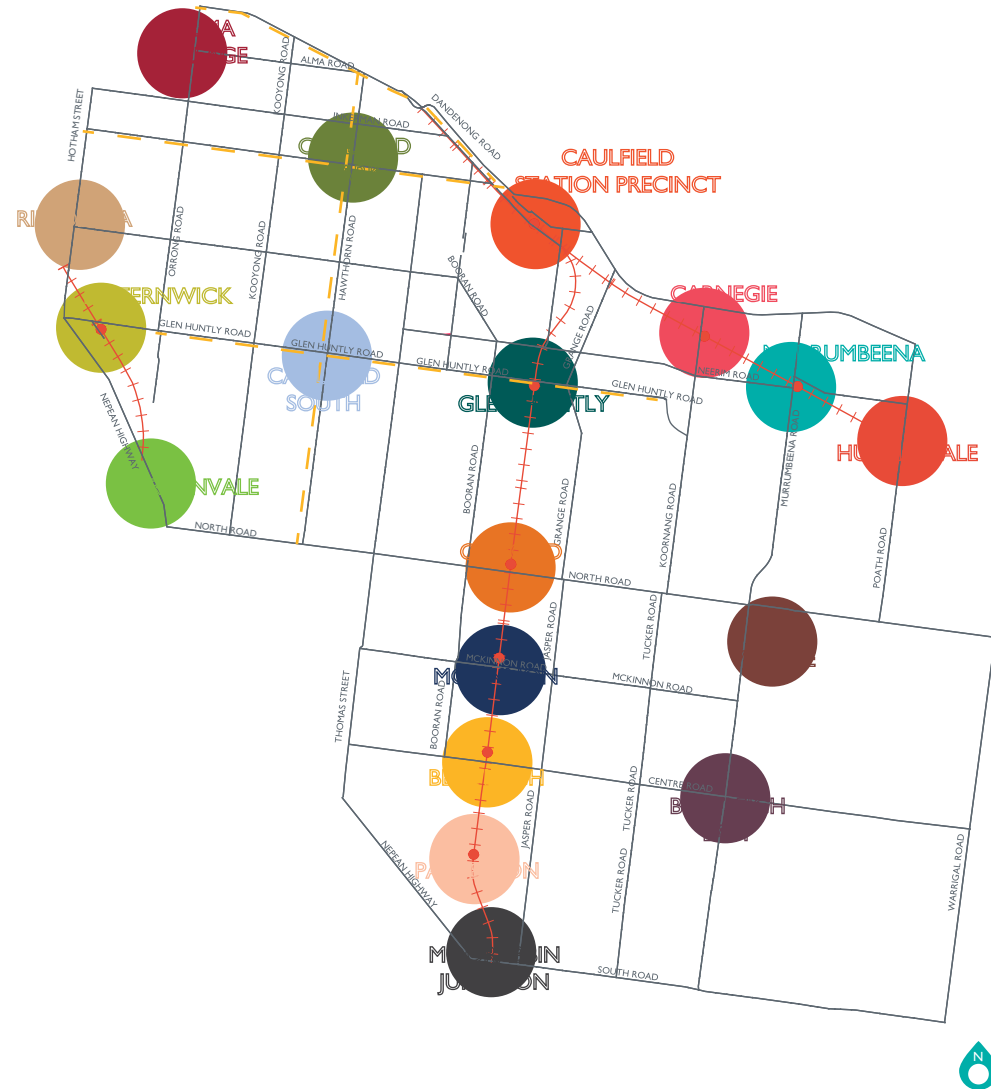
- > Create places for people that are vibrant and have a greater focus on family and vibrancy within our centres.
- > Cleaner, greener and better connected centres that are easily accessible for all members of the community.
- > The identity of each of Glen Eira's neighbourhoods needs to be strengthened and a greater emphasis placed on making these centres family friendly.
- > Improve car parking conditions and decrease traffic congestion in activity centres.

Glen Eira is made up of a number of distinct neighbourhoods that each have their own unique identity. The individuality of each place is a contribution of many factors, including the buildings, public spaces, community services, people and culture of the area.

As our local centres become more affected by globalised and mobilised markets, it is even more important to create community rich experiences within these centres that cannot be bought online.



















Accessibility of our centres is also a high priority to ensure services and experiences are easily available to the community, particularly by foot and bicycle.

Developing a clear neighbourhood identity will reinforce the community bond and improve social wellbeing and inclusiveness. This will result in a strong, supported local economy that reflects the needs of the community.



SHARED VISION STATEMENTS

These shared vision statements have been formed based on the feedback we received from two rounds of community consultation involving more than 4,150 community survey responses, comments, submissions and in-person discussions. These statements will form a 15 year guide for decision-making for both private development and public realm works.

<p>CAULFIELD STATION PRECINCT</p> <p>Caulfield Station Precinct will be a regional destination for education, employment, and events.</p> <p>Anchored by the university, it will be a vibrant, accessible and integrated centre that supports a diverse local residential population that values the active night-life, public transport options and pedestrian friendly streetscapes.</p> 	<p>ELSTERNWICK</p> <p>Elsternwick will be a safe, accessible and liveable centre that embraces its historic character and strong cultural and village feel.</p> <p>The centre will be a destination for its longstanding cultural and entertainment offerings, business and employment opportunities, and a range of quality local retail outlets and community spaces.</p> 	<p>CARNEGIE</p> <p>Carnegie will be a safe, connected and welcoming centre that embraces its authentic urban character and cultural identity.</p> <p>The centre will be a destination for night-life, shopping and employment, supporting a range of businesses and interconnected spaces that meet the needs of the local community.</p> 	<p>MOORABBIN JUNCTION</p> <p>Moorabbin Junction will be a vibrant, accessible and safe centre with a strong focus on arts, nightlife and community connections.</p> <p>As an emerging growth hub, the centre will support a diverse range of housing and commercial activity with dining and entertainment options available during the day and into the night.</p> 	<p>BENTLEIGH</p> <p>Bentleigh will be an accessible, local shopping destination with a vibrant cafe and restaurant culture.</p> <p>It will maintain its community feel with open space, places for people to meet and gather and a broad range of local businesses which meet the needs of a diverse community.</p> 	<p>GLEN HUNTLY</p> <p>Glen Huntly will use Booran Reserve and the emerging cultural offerings to become a new, exciting destination that acts as a focal point for the local community with a diverse range of retail and hospitality experiences.</p> <p>The centre will be attractive, clean and safe, and support pedestrian and cycling access.</p> 
<p>EAST VILLAGE</p> <p>East Village will be a sustainable mixed use precinct with a focus on innovative employment and education opportunities.</p> <p>Enhanced by green spaces and places for people, it will be supported by a diverse range of high quality housing and retail that caters for all.</p> 	<p>BENTLEIGH EAST</p> <p>Bentleigh East will be a welcoming and connected centre that caters for all.</p> <p>The centre will be enhanced by a range of retail and dining options to meet the everyday needs of its local community.</p> 	<p>CAULFIELD SOUTH</p> <p>Caulfield South will be a convenient, diverse and attractive shopping strip that is vibrant both during the day and at night.</p> <p>Enhanced pedestrian and cycling amenity and greenery will foster an active, safe and friendly environment.</p> 	<p>CAULFIELD PARK</p> <p>Caulfield Park will be a local hub, which embraces its strong culture and heritage.</p> <p>A transport junction anchored by green open space, the centre will maintain a strong sense of community and connected village feel.</p> 	<p>ALMA VILLAGE</p> <p>Alma Village will be a charming and accessible local centre with quality shopping and eating options that cater for residents' everyday needs.</p> 	<p>GARDENVALE</p> <p>Gardenvale will be a friendly neighbourhood centre with tree lined streets and public amenity, which supports social interaction.</p> <p>The centre will provide for residents' everyday needs and encourage strong connections between the community and traders.</p> 
<p>HUGHESDALE</p> <p>Hughesdale will be a rejuvenated and inviting centre with a mix of small local businesses, cafes and restaurants boosted by strong transport connections.</p> <p>The family-friendly centre will have a cohesive community feel enhanced by consistent urban treatments, including green spaces and opportunities for social interaction.</p> 	<p>MCKINNON</p> <p>McKinnon will be an accessible centre with a strong village feel, which recognises and celebrates its heritage and local history.</p> <p>With a unique offering of retail and hospitality options, the centre will cater for the local community while retaining its charm.</p> 	<p>MURRUMBEENA</p> <p>Murrumbeena will be a leafy and green local centre with a strong community and environment focus.</p> <p>With a mix of local businesses to meet residents' daily needs, the accessible, pedestrian-friendly centre will maintain a safe village feel and embrace its local history.</p> 	<p>ORMOND</p> <p>Ormond will maintain a local feel with a strong sense of community connection, which is enhanced by greenery and landscaping.</p> <p>Embracing its local character and heritage, the centre will be an accessible and well-connected destination for urban retail and dining.</p> 	<p>PATTERSON</p> <p>Patterson will be a connected and vibrant creative hub embracing local art and music.</p> <p>The centre will be enhanced by a leafy green streetscape and lively cafes and restaurants which strengthen the close-knit village atmosphere.</p> 	<p>RIPPONLEA</p> <p>Ripponlea will be an intimate and unique centre, which embraces its culture and heritage charm.</p> <p>The centre will provide a mix of retail and dining offerings creating a vibrant street life and community feel, which is consistent throughout the centre.</p> 

THEME TWO: LOCAL ECONOMY

VIBRANT ACTIVITY CENTRES WITH A THRIVING LOCAL ECONOMY

What we heard through our community engagement:

- > A high proportion of residents (85 per cent) indicated that they were either satisfied or very satisfied with the current weekly food shopping options in their local area. A similar number were satisfied with the local specialty food on offer.
- > The community want our local centres to have a vibrant night-life.
- > Our centres should provide experiences, not just transactions.

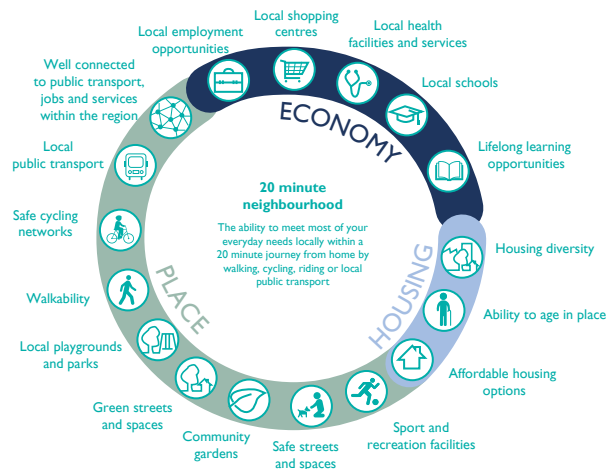
Glen Eira's network of activity centres should provide the community with daily and weekly shopping needs as well as adequate employment opportunities within a short distance of their homes. The principle for the 20 minute neighbourhood outlined in both the *Glen Eira Council and Community Plan 2017–2021* and *Plan Melbourne* aims to create accessible, safe and attractive local areas where people can reach employment, services and infrastructure within a 20 minute walk, cycle or local public transport trip.

A recent economic analysis of our municipality indicated that one third of Glen Eira's working residents are professional 'white collar' workers with the largest employment sector (professional, scientific and







technical services) set to grow further over the coming years. Despite this fact, only 9.6 per cent of local jobs service this sector with the large majority of our residents required to commute to the CBD for work.

The number of local job opportunities within Glen Eira is low when compared with other municipalities. Only 20.1 per cent of working residents are employed within the municipality, making Glen Eira the fourth lowest council across Melbourne to locally employ its own residents. Comparable councils such as Boroondara and Bayside, have rates in the range of 24.4 to 25.4 per cent. These statistics suggest that employment options for jobs, particularly within professional employment sectors, are limited within Glen Eira.

We must plan for the future employment needs of the community by ensuring more jobs are provided for our residents that are in close proximity to their homes, and that these jobs service leading employment industries. Our neighbourhoods should also provide accessible and diverse housing choices to accommodate employees that service particular employment precincts, such as health and education nodes.



Source: Glen Eira Community Profile, .idcommunity: <http://profile.id.com.au/glen-eira>

		MAJOR FOCUS FOR EMPLOYMENT INTENSITY	HIGH FOCUS FOR EMPLOYMENT INTENSITY	MODERATE FOCUS FOR EMPLOYMENT INTENSITY	LOW FOCUS FOR EMPLOYMENT INTENSITY
	OFFICE Major office and smaller suites for professional, knowledge and innovation sectors, as well as business incubators, co-working offices and home-office.	<ul style="list-style-type: none"> > Health, education and innovation precincts — within identified urban renewal areas — such as Caulfield Station Precinct and East Village. > Major activity centres within identified urban renewal areas — such as Carnegie, Elsternwick and Moorabbin. 	<ul style="list-style-type: none"> > Strategic sites within major activity centres and neighbourhood centres. 	<ul style="list-style-type: none"> > Shop-top office across all major activity centres and neighbourhood centres. > Ground floor office along transport corridors. 	<ul style="list-style-type: none"> > Home office on ground floor within residential apartment buildings.
	HEALTHCARE Hospitals, medical centres, clinics, gyms and other fitness studios, etc.	<ul style="list-style-type: none"> > Health, education and innovation precincts within identified urban renewal areas — such as Caulfield Station Precinct and East Village. 	<ul style="list-style-type: none"> > Health and education area — cluster healthcare businesses around major hospitals. 	<ul style="list-style-type: none"> > Strategic sites within major activity centres. 	<ul style="list-style-type: none"> > Along transport corridors. > Within neighbourhood centres.
	EDUCATION University, high schools, primary schools, kindergartens, tutoring classes, night classes, adult learning centres, etc.	<ul style="list-style-type: none"> > Health, education and innovation precincts within identified urban renewal areas — such as Caulfield Station Precinct and East Village. 	<ul style="list-style-type: none"> > Within major activity centres. 	<ul style="list-style-type: none"> > Health and education area — cluster education businesses around education facilities. 	<ul style="list-style-type: none"> > Along transport corridors. > Within neighbourhood centres.
	RETAIL Major retailing, hospitality, entertainment, convenience and specialty retailing, etc.	<ul style="list-style-type: none"> > Strategic sites particularly major activity centres around train stations. 	<ul style="list-style-type: none"> > Major activity centres across all ground floor premises opportunities. > Health, education and innovation precincts. 	<ul style="list-style-type: none"> > Neighbourhood centres, particularly larger neighbourhood centres, focused around public transport. 	<ul style="list-style-type: none"> > Local centres and transport corridors.
	HOSPITALITY Restaurants, cafes, bars, takeaway food, etc.	<ul style="list-style-type: none"> > Major activity centres, focused around train stations. > Urban renewal areas. 	<ul style="list-style-type: none"> > Major activity centres across all ground floor premises opportunities. > Health, education and innovation precincts. > Larger neighbourhood centres. 	<ul style="list-style-type: none"> > Neighbourhood centres across all ground floor premises opportunities. 	<ul style="list-style-type: none"> > Local centres and transport corridors.
	MANUFACTURING Light industrial uses.	<ul style="list-style-type: none"> > Best located elsewhere in a region with better infrastructure, such as Monash employment cluster or Dandenong. 	<ul style="list-style-type: none"> > Best located elsewhere locally with better infrastructure, such as Moorabbin industrial precinct. 	<ul style="list-style-type: none"> > Industrially zoned land on arterial roads. 	<ul style="list-style-type: none"> > Industrially zoned land.

THEME THREE: HOUSING

QUALITY HOUSING AND BUILDINGS FOR THE FUTURE

What we heard through our community engagement:

- > Our community want new buildings to be of quality design and responsive to their immediate context.
- > Our community want new buildings to respect the character of the area.
- > The environment is of growing concern and we must act now to minimise our impacts for the future.

Glen Eira is currently experiencing a housing boom with our municipality experiencing a 55 per cent increase in development applications from 2012 to 2016. Recent statistics released by State Government (*Victoria in Future 2016*) indicate that Glen Eira's population is likely to increase by a further 15 per cent over the next 15 years, resulting in the need for an additional 9,000 dwellings. These projections emphasise the need for us to proactively manage change within our municipality.

When considering Glen Eira's future housing and development, it is important to understand the different needs of our community and the different stages of household life cycles.

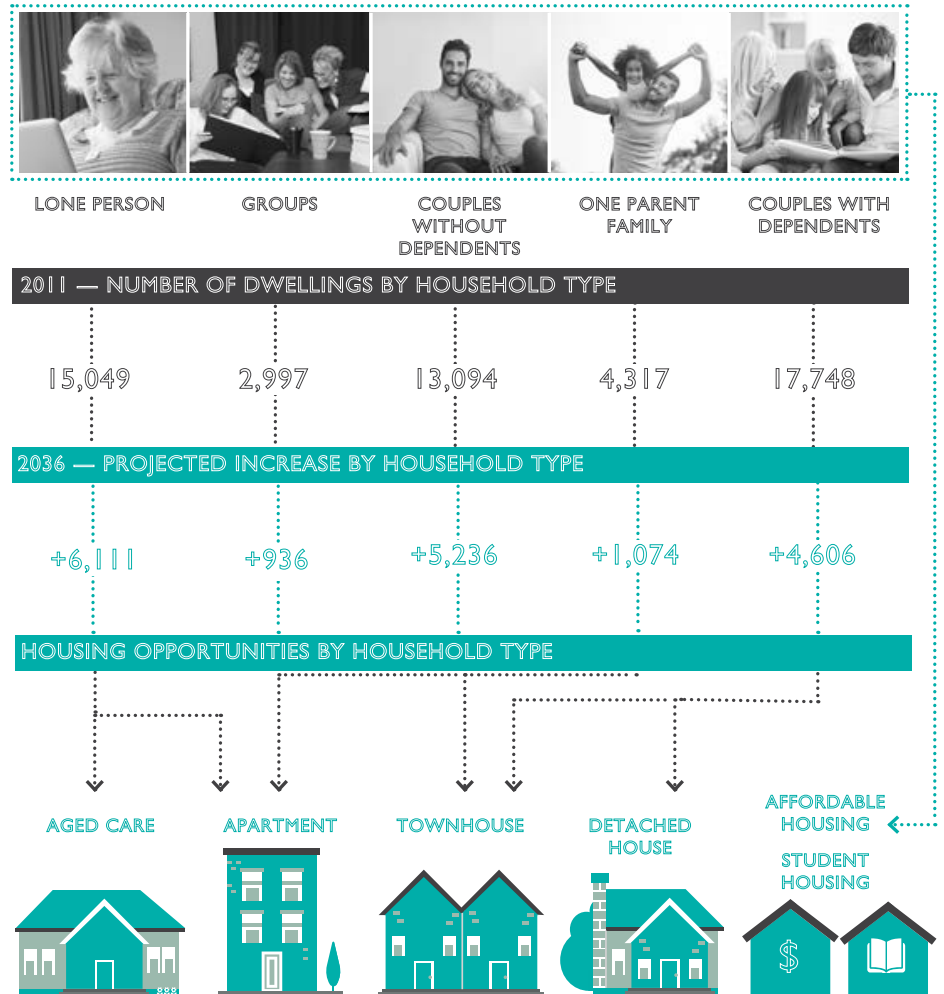
Glen Eira has recently seen strong growth of young families, welcoming 1,700 new young families between 2001 and 2011, while single parents with young children saw a decline of five per cent in that same period. Glen Eira's close-knit neighbourhoods make for attractive places to raise a family due to the provision of schools, parks and community services in the area. However, there is currently a supply shortage of available and affordable family homes.

Glen Eira is currently experiencing a generational transition with 8.7 per cent of our community aged over 75 years in 2011, including a retiree living alone in one in every nine family homes across the municipality. Our neighbourhoods are currently lacking options of fit-for-purpose, age-friendly housing for our ageing community. Age-friendly housing addresses a number of social and health issues, including social isolation and dispersed health services; it can also assist in releasing greater numbers of family homes.



Glen Eira has the fourth highest residential density of all councils in Victoria. The current housing boom has resulted in many of our residential suburbs experiencing unprecedented development activity. While providing new homes is important, it can result in tension with the immediate neighbourhood.

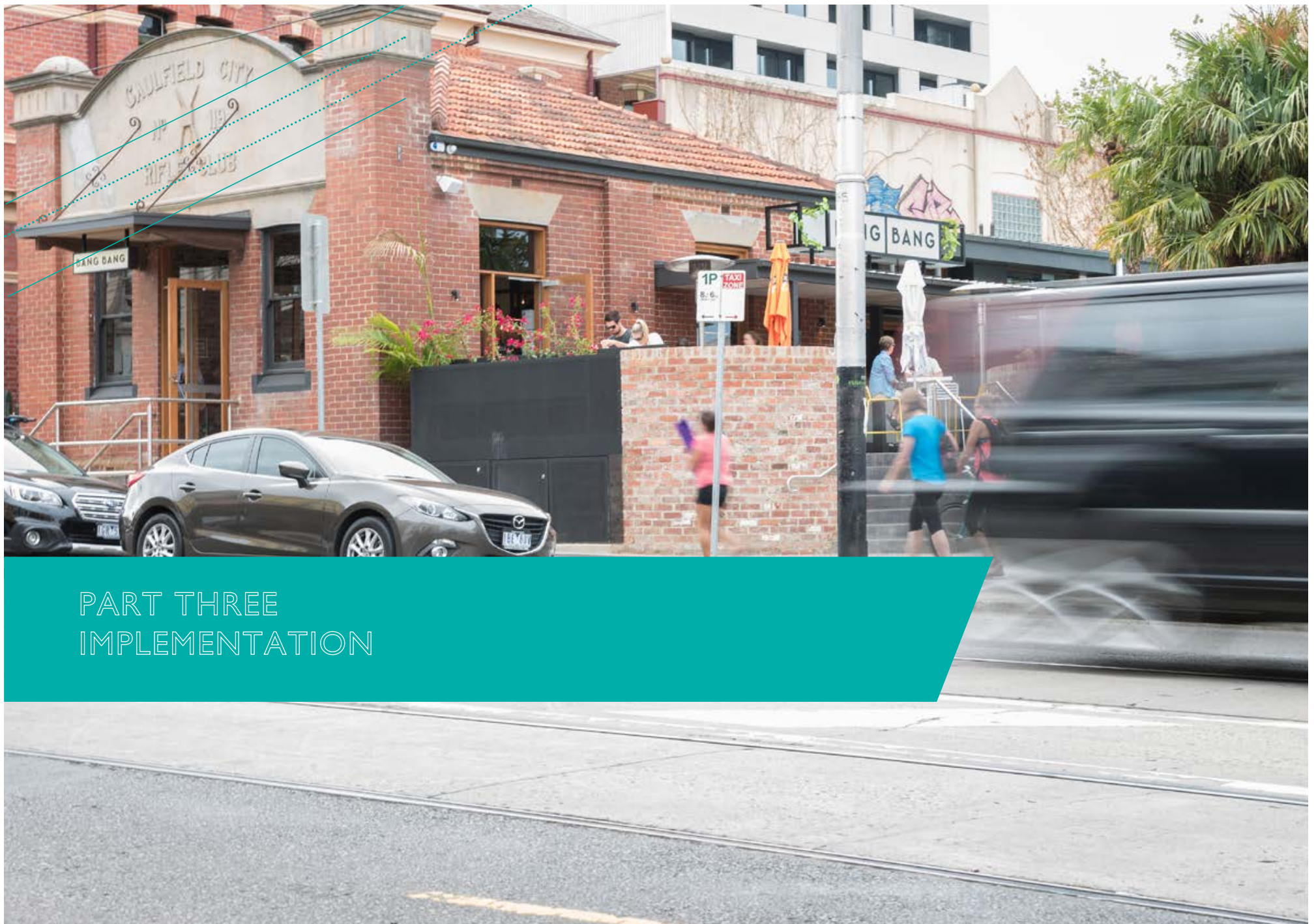
The *Glen Eira Council and Community Plan 2017–2021* has a strong focus on delivering a diverse range of housing, including an increased supply of social and affordable housing and ageing in place opportunities. When planning for our City's future households needs, we must explore ways to accommodate all of our community's needs.

TYPES OF HOUSEHOLDS IN GLEN EIRA



Source: Glen Eira Community Profile, .idcommunity: <http://profile.id.com.au/glen-eira>

		MAJOR FOCUS FOR SCALE AND DENSITY	HIGH FOCUS FOR SCALE AND DENSITY	MODERATE FOCUS FOR SCALE AND DENSITY	LOW FOCUS SCALE AND DENSITY
	APARTMENT — MIXED USE Taller buildings with a mix of residential, office and commercial uses.	> Designated urban renewal precincts with a high degree of accessibility to public transport.	> Designated urban renewal precincts.	> Strategic sites within major activity centres.	> Strategic sites within neighbourhood centres and larger neighbourhood centres.
	SHOP-TOP Commercial/retail at ground floor with office and residential uses above.	> Shops on major and arterial roads with good access to public transport.	> Shops in major activity centres and larger neighbourhood centres.	> Shops in sensitive areas within major activity centres and neighbourhood centres.	> Shops in local centres.
	APARTMENT — RESIDENTIAL ONLY BUILDING Multiple apartment dwellings with ground floor home office within low rise buildings in a garden setting.	> Designated precincts within major activity centres with good access to public transport.	> Residential areas along arterial roads.	> Residential sites fronting major roads and transport corridors.	> Designated precincts within larger neighbourhood centres.
	FAMILY TOWNHOUSE Medium density housing in a garden setting to accommodate couples and families.	> Along major roads in major activity centres and neighbourhood centres.	> Residential areas within major activity centres.	> Residential areas within neighbourhood centres. > Properties fronting major or arterial roads outside of activity centres.	> Suburban residential areas. > Sensitive residential areas within major activity centres and neighbourhood centres (heritage).
	AFFORDABLE/ SOCIAL/SHORT-TERM HOUSING Key worker accommodation, crisis accommodation, shared care accommodation.	> Designated urban renewal precincts with a high degree of accessibility.	> Designated urban renewal precincts. > Strategic sites within major activity centres.	> Residential sites fronting tramlines or arterial roads. > Designated precincts with good access to public transport.	> Strategic sites within neighbourhood centres.
	AGED CARE Retirement living, aged care, nursing home.	> Designated urban renewal precincts with a high degree of accessibility to public transport.	> Strategic sites within major activity centres.	> Residential sites fronting tramlines or local arterial roads. > Designated precincts with good access to public transport.	> Designated precincts within neighbourhood centres.
	STUDENT HOUSING Accommodation for students studying at tertiary institutions.	> Designated innovation and education precincts with good access to public transport. > Designated urban renewal precincts with a high degree of accessibility to public transport.	> Sites within major activity centres with good access to public transport.	> Neighbourhood centres and transport corridors.	> Suburban residential areas.



PART THREE IMPLEMENTATION

BACKGROUND

Many different strategies and factors have been taken into consideration during the preparation of this *Strategy* to ensure a holistic and integrated approach has been taken when planning for the future of Glen Eira:

GLEN EIRA COUNCIL AND COMMUNITY PLAN 2017–2021

Council recently released its *Glen Eira Council and Community Plan*, which is based on five central themes:

- > Liveable and well designed.
- > Accessible and well connected.
- > Safe, healthy and inclusive.
- > Clean and sustainable.
- > Informed and engaged.

This new *Plan* is based on comprehensive community engagement carried out throughout 2016 and 2017.

This *Strategy* particularly focuses on the Liveable and well designed theme, which has the following objectives:

1. Create prosperous, accessible and vibrant urban places.
2. Encourage development that benefits the community.
3. Proactively plan for and manage change within our urban places.
4. Invest sustainably in our infrastructure and community assets.

PLAN MELBOURNE 2017–2050

Plan Melbourne 2017–2050 is State Government's metropolitan planning strategy, which sets out a plan for a sustainable future by ensuring a better distribution of business activity, jobs, housing, services, infrastructure and transport connections closer to where people live and work. To achieve this objective, *Plan Melbourne* clearly states that development opportunities must occur in inner and middle suburbs that are in close proximity to Melbourne's CBD, such as Glen Eira.

GLEN EIRA PLANNING SCHEME REVIEW 2016

In 2016, Council carried out a *Planning Scheme Review* which involved extensive community consultation. We heard that our community had concerns, particularly regarding development within our municipality. In response to community feedback, Council adopted

a comprehensive work plan, which includes updating Council's *Municipal Strategic Statement (MSS)* and local policies, as well as commencing structure planning across our key centres.

Council resolved to develop a new activity centre strategy (this document) which will guide the development of the *MSS* and local policies, as well as provide the strategic context to undertake the detailed precinct structure planning across our activity centres in Glen Eira.

ACTIVITY CENTRE PLANNING PROGRAM 2017

We have since embarked on further consultation focused around our activity centres. Between December 2016 and February 2017, we asked the community to tell us what they loved about their shopping strip. More than 2,100 online surveys were completed. Our second round of consultation in 2017 — *Transforming our neighbourhoods together* — investigated the issues at a more detailed level and proposed visions and objectives for each of our activity centres, as well as transformation concepts for our major centres and those undergoing level crossing removal works.

COMMUNITY CONSULTATION 2017

There were clear themes within the feedback. Our community want our centres to be places for people, with more community hubs and green spaces. There is a desire for an enhanced night-life with the community calling out for more local shops, bars, events and activities, as well as strengthened local experiences with new gyms and cafes. In terms of development in our centres, it was clear that the community want better quality and well designed buildings in our neighbourhoods, and to focus taller buildings in locations that limit impacts on Glen Eira's highly valued character and amenity.

GLEN EIRA ACTIVITY CENTRES STRATEGY 2005

A comprehensive economic analysis of Glen Eira's activity centres was carried out and multiple recommendations were made in the existing *Activity Centres Strategy* that was endorsed by Council in 2005. The 2005 *Strategy* formed a basis upon which this *Strategy* has been formed.

OTHER MUNICIPAL STRATEGIC DOCUMENTS

In the near future, Council will update a number of critical strategies that will assist in the development of the municipality, including the:

- > *Glen Eira Council and Community Plan 2017–2021*;
- > *Municipal Public Health and Wellbeing Plan 2017–2021*;
- > *Revised Open Space Strategy*; and
- > *Integrated Transport Strategy*.

Council has also recently adopted the:

- > *Environmental Sustainability Strategy 2016–2021*;
- > *Disability Action Plan 2017–2021*; and
- > *Glen Eira Libraries Strategy 2017*.

As such, this *Strategy* has not gone into great detail in the areas of community, health, open space, environmental or transport planning. However, where required, this *Strategy* has sought to provide high level guidance on how these issues may be considered in terms of a 'whole of place' planning approach.

2011 ABS CENSUS DATA










It should be noted that a large majority of statistics and forecasts used in this report are from the 2011 Census from the Australian Bureau of Statistics. This *Strategy* will be reviewed and updated in early 2018 to reflect findings from the 2016 Census.



ACTIVITY CENTRE FRAMEWORK — the following activity centre framework sets out the policy direction for each of the activity centre and place types

Places of change:

- Major
- Minor

		LOCAL ECONOMY		HOUSING	ACTIVITY CENTRES			
	FUNCTION	EMPLOYMENT	ECONOMY/ RETAIL	HOUSING	TRANSPORT	OPEN SPACE	LIVEABILITY	LOCATION
HEALTH, EDUCATION AND/OR INNOVATION PRECINCT (WITH URBAN RENEWAL OPPORTUNITIES) 	<ul style="list-style-type: none"> > Specialised centres that support health, education and/or innovation services with opportunity for clustering of like businesses. > Includes urban renewal sites in strategic locations that provide opportunity to take advantage of underutilised land close to jobs, services and public transport infrastructure, to provide new housing, jobs and services. 	<ul style="list-style-type: none"> > Major focus for professional employment growth opportunities that complement the specialised function of the centre. > Greater than 1:1 new jobs to new housing ratio. 	<p>Specialised economic functions should be reinforced and they should provide major opportunity for ancillary health and education services, or growth within the innovation and knowledge industry.</p> <p>Retail should provide for the weekly needs of an approximate 800 metre to two kilometre residential catchment. Typically this may include:</p> <ul style="list-style-type: none"> > a minimum of (or demonstrated capacity to accommodate) approximately one supermarket or similar fresh food market; > business services; > speciality retailing; > hospitality; and > entertainment. 	<ul style="list-style-type: none"> > Major focus for housing growth opportunities. > Major focus on new single, aged care and affordable households. 	<ul style="list-style-type: none"> > Centre should be well serviced by public transport. > Opportunity to create new street networks to ensure a high level of walkability and accessibility. > Due to broader catchment, driving to the centre is required, however aim for majority of visits to be accessible by public transport, foot or bike. 	<p>Major focus for implementation of new open space preferably with walking and bicycle linkages.</p>	<ul style="list-style-type: none"> > A major focus for universities, high schools, hospitals or professional employment, centres should also provide services that complement these services. > Actively explore opportunities for shared use of facilities. 	<ul style="list-style-type: none"> > Caulfield Station Precinct > East Village (emerging)
MAJOR ACTIVITY CENTRE (WITH URBAN RENEWAL OPPORTUNITIES) 	<ul style="list-style-type: none"> > Centres that provide access to a wide range of goods, services and activities, including commercial, retail, entertainment and community facilities. > Includes urban renewal sites in strategic locations that provide opportunity to take advantage of underutilised land close to jobs, services and public transport infrastructure, to provide new housing, jobs and services. 	<ul style="list-style-type: none"> > Major focus for employment growth opportunities, particularly professional employment, retail and hospitality to a lesser degree. > 1:1 new jobs to new housing ratio. 	<p>Retail should provide for the weekly needs of an approximate 800 metre to two kilometre residential catchment. Typically this may include:</p> <ul style="list-style-type: none"> > a minimum of (or demonstrated capacity to accommodate) approximately two supermarkets or similar fresh food market; > business services; > speciality retailing; > hospitality; and > entertainment. 	<ul style="list-style-type: none"> > Major focus for housing growth opportunities. > Major focus on new family, single, aged care and affordable households. 	<ul style="list-style-type: none"> > Centre should be well serviced by public transport, particularly fixed transport. > Opportunity to create new street networks to ensure a high level of walkability and accessibility. > Due to broader catchment, driving to the centre is required, however aim for majority of visits by public transport, foot or bike. 	<p>Major focus for implementation of new open space preferably with walking and bicycle linkages.</p>	<p>Typically, centres should provide services for the wider community, including a range of the following:</p> <ul style="list-style-type: none"> > a library; > a community hub; > an entertainment complex; > maternal child health care services; > child care; > a senior citizens centre; > medical centres; and > a chemist. 	<ul style="list-style-type: none"> > Carnegie > Elsternwick > Moorabbin
MAJOR ACTIVITY CENTRE 	<p>Centres that provide access to a wide range of goods, services and activities, including commercial, retail, entertainment and community facilities with suitable residential development opportunity that responds to its urban context in and around the centre.</p>	<p>High focus for employment growth.</p>	<p>Retail should provide for the weekly needs of an approximate 800 metre to two kilometre residential catchment, including:</p> <ul style="list-style-type: none"> > a minimum of (or demonstrated capacity to accommodate) approximately two supermarkets or similar fresh food market; > speciality retailing; > hospitality; and > entertainment. 	<ul style="list-style-type: none"> > High focus for housing growth opportunities. > Major focus on new family households. 	<ul style="list-style-type: none"> > Centre should be well serviced by public transport, particularly fixed transport with opportunity for active transport options. > Due to broader catchment, driving to the centre is required, however aim for majority of visits to be accessible by public transport, foot or bike. 	<p>High level of focus for implementation of new open space or developer contribution.</p>	<p>Typically, centres should provide services for the wider community, including a range of the following:</p> <ul style="list-style-type: none"> > a library; > a community hub; > an entertainment complex; > maternal child health care services; > child care; > a senior citizens centre; > medical centres; and > a chemist. 	<ul style="list-style-type: none"> > Bentleigh > Glen Huntly (emerging)
NEIGHBOURHOOD CENTRE 	<p>Local centres that provide access to local goods, services and employment opportunities that serve the needs of the surrounding local neighbourhood, with suitable residential development opportunity that responds to its urban context in and around the centre.</p> <p>Greater focus on delivering these outcomes in larger neighbourhood centres.</p>	<p>Medium focus for employment growth.</p>	<p>Retail should provide for the weekly needs of an approximate 400 metre residential catchment, typically this may include:</p> <ul style="list-style-type: none"> > a maximum of one small community supermarket to serve local neighbourhood only; > convenience retailing; and > hospitality. 	<ul style="list-style-type: none"> > Moderate focus for housing growth opportunities. > Major focus on new family households. 	<ul style="list-style-type: none"> > Centre should provide good access to public transport with opportunity for active transport options. > Aim for the large majority of visits to be accessible by foot or bike, from local neighbourhood. 	<p>Moderate level of focus for implementation of new open space or developer contribution.</p>	<p>Typically, centres should provide services for the local community, such as:</p> <ul style="list-style-type: none"> > a community space/hall; > maternal child health care services; > child care; > a senior citizens centre; > medical centres; and > a chemist. 	<ul style="list-style-type: none"> > Bentleigh East (large) > Caulfield South (large) > Alma Village > Caulfield Park > Gardenvale > Hughesdale > McKinnon > Murrumbenea > Ormond > Patterson > Ripponlea
HEALTH AND EDUCATION AREA 	<p>Specialised local centres that support health, education and/or innovation services with opportunity for clustering of like businesses.</p>	<p>Moderate focus for employment growth opportunities, by clustering like health and education uses.</p>	<p>Specialised economic functions should be reinforced and provide moderate opportunity for ancillary health and education services, or growth within the innovation and knowledge industry.</p>	<p>Low opportunity for housing growth.</p>	<ul style="list-style-type: none"> > Centre should provide good access to public transport with opportunity for active transport options. > Due to broader catchment, driving to the centre is required, however aim for majority of visits to be accessible by public transport, foot or bike. 	<p>Major focus for implementation of open space.</p>	<p>A local focus for universities, high schools and hospitals.</p>	<p>Local hospitals and schools.</p>
LOCAL CENTRE 	<p>Small groups of shops with reasonable convenience retailing, specialist retailing or commercial services role with small catchments covering the immediate residential area.</p>	<p>Low opportunity for employment.</p>	<p>Convenience retail that services the daily retail needs of the immediate residential area or suit short-term vehicle access.</p>	<p>Low opportunity for housing growth.</p>	<ul style="list-style-type: none"> > Short-term vehicle access. > Some visits by foot or bike, from local neighbourhood. 	<p>Focus for implementation of open space or developer contribution dependent on gap area.</p>	<p>Low focus for community services.</p>	<p>Small groups of shops with a total size of less than 4,000 square metres of retail and commercial development.</p>
EMPLOYMENT AREA 	<p>Land best used for solely employment uses, often with some amenity concerns that mean these employment types are not suited to be clustered within activity centres.</p>	<p>High opportunity for employment.</p>	<p>Convenience retail that suit the needs of the local employee catchment.</p>	<p>Not applicable.</p>	<p>A high proportion of both freight and private vehicle movement required.</p>	<p>Focus for implementation of open space or developer contribution dependent on gap area.</p>	<p>Low focus for community services.</p>	<p>Industrial and commercial two zoned land away from public transport.</p>
TRANSPORT CORRIDOR 	<p>Highly accessible areas of housing and employment diversity along tram routes and selected main roads.</p>	<p>Low opportunity for employment.</p>	<p>Low opportunity for retail and services.</p>	<p>Moderate focus for housing growth opportunities.</p>	<p>Areas along arterial roads that are also highly accessible by tram, bus or train.</p>	<p>Focus for implementation of open space or developer contribution dependent on gap area.</p>	<p>Low focus for community services.</p>	<p>Tram routes and selected main roads.</p>
AREA OF MINIMAL CHANGE 	<p>Residential areas located outside activity centres, where neighbourhood character should be preserved with a focus for low scale residential development.</p>	<p>Low opportunity for employment.</p>	<p>Low opportunity for retail and services.</p>	<p>Low opportunity for housing growth.</p>	<p>Accessible via local streets and some bus routes.</p>	<p>Focus for implementation of open space or developer contribution dependent on gap area.</p>	<p>Low focus for community services.</p>	<p>Residential areas outside activity centres.</p>

SUMMARY OF THEMES, OBJECTIVES AND KEY ACTIONS

Vision — Glen Eira 2031

Glen Eira will be a city of walkable neighbourhoods that are centred on a network of vibrant, socially inclusive and well designed activity centres, providing for the needs of and reflecting the character of their communities.

KEY ACTIONS:

1. Update strategic vision for municipality (Municipal Strategic Statement).
2. Undertake structure plans (or similar precinct planning approach) for Glen Eira's activity centres.
3. Engage with community to develop an Integrated Transport Strategy.



THEME ONE: WELL CONNECTED AND DISTINCTIVE NEIGHBOURHOODS

OBJECTIVES

1.1 Culturally rich communities

Our activity centres will be culturally rich places, reflecting the unique characteristics and aspirations of their local neighbourhood.

1.2 Create places for people

We will continue to create open spaces that contribute to the recreational, physical and social needs of all community members.

1.3 Connected neighbourhoods

We will ensure that population growth is supported by a range of sustainable travel choices that reduce car dependency, including walking; cycling; motor cycling; and public transport. Simultaneously, a strategic approach will be taken to mitigate car parking and traffic issues.

1.4 Better quality and greener streetscapes

We must improve the walkability of our neighbourhoods by increasing pedestrianisation of our centres and ensuring safe and convenient access for all members of the community.

KEY ACTIONS

4. Undertake a major heritage review across Glen Eira.
5. Explore opportunities to integrate public realm improvements with private development or planned state or Council infrastructure works.
6. Introduce developer contributions for public infrastructure across change areas.
7. Update Council's *Open Space Strategy* and policies.
8. Introduce tree protection policy for new developments.
9. Undertake precinct-wide car parking and traffic plans that include future thinking solutions, such as introducing new parking planning provisions across activity centre areas.

THEME TWO: VIBRANT ACTIVITY CENTRES WITH A THRIVING LOCAL ECONOMY

2.1 More local jobs — less commuting

We must reduce the negative impacts of commuting by improving the number of local jobs in our City, in particular, through the creation of new office space for professional employment.

2.2 Foster human experiences by strengthening the heart of the community

Our activity centres will become the centre of community life, thanks to contemporary well-placed and well-serviced community hubs and experience based businesses.

2.3 Build a thriving local connection economy

We will support a thriving local business economy that is built on strong connections and collaboration.

2.4 Vibrant night-life and weekends

We must proactively foster our centres as vibrant night-life and weekend destinations through the creation of additional floorspace designated to hospitality uses.

THEME THREE: QUALITY HOUSING AND BUILDINGS FOR THE FUTURE

3.1 Provide housing for all

We must plan for the housing needs of the community and ensure that diverse housing options are made available to accommodate all situations and aspirations.

3.2 Respect amenity and local character

We must plan for the right development in appropriate locations by encouraging buildings that respond to their immediate urban context.

3.3 Plan for the future housing needs of the community

We must proactively plan for change by considering the future needs of the community.

3.4 Build a sustainable future

We must demonstrate a clear focus on environmental sustainability.

10. Review and update Council's *Business Development Strategy*.

11. Review Census data when released (mid-2017) to determine and plan for employment trends within the municipality.

12. Review and update Council's *Municipal Strategic Statement* and local policies to integrate policies that respond to the changing economy and employment trends.

13. Carry out detailed consultation with the community about building design and development guidelines.

14. Undertake a precinct by precinct review of development controls for each neighbourhood.

15. Implement new environmental and water sustainable design policies.

THEME ONE: PLACE-MAKING

WELL CONNECTED AND DISTINCTIVE NEIGHBOURHOODS

OBJECTIVES

1.1 CULTURALLY RICH COMMUNITIES

Glen Eira's neighbourhoods have long and layered histories, which are reflected in many heritage listed buildings and streetscapes.

Glen Eira is a proudly multicultural municipality that is made up of a range of ethnicities, including Indian, Chinese, Greek and Israeli communities. Glen Eira is also home to one of Australia's largest Jewish communities, with 18.9 per cent of our population identifying as Jewish (compared to 1.1 per cent across greater Melbourne). Our diversity should be celebrated and enhanced through local activities that build on these unique features.

Our activity centres will be culturally rich places, reflecting the unique characteristics and aspirations of their local neighbourhood.

1.2 CREATE PLACES FOR PEOPLE

Our neighbourhoods should be centred around a shopping strip that not only provides for the shopping needs of the surrounding residential areas but also provides spaces and enjoyment for the community, including green spaces.

Glen Eira has the lowest amount of open space as a proportion of land area available and per person in Melbourne. Parks, gardens and public spaces enhance our centres by providing the community with meeting points and areas of enjoyment that are accessible by all members of the community.

We will continue to create open spaces that contribute to the recreational, physical and social needs of all community members.

1.3 CONNECTED NEIGHBOURHOODS

Car parking and traffic congestion is a common concern for the Glen Eira community. The State Government has recently invested more than \$2 billion into Glen Eira to facilitate the removal of seven level crossings, rebuild six train stations and construct approximately 3.8 kilometres of elevated rail and new open space.

We will ensure that population growth is supported by a range of sustainable travel choices that reduce car dependency, including walking; cycling; motor cycling; and public transport. At the same time, a strategic approach will be taken to mitigate car parking and traffic issues.

1.4 BETTER QUALITY AND GREENER STREETSCAPES

Our streetscape and public realm are a major contributor to the identity of a neighbourhood. Our centres should be clean and attractive, and they should promote active transport options, particularly walking.

We must improve the walkability of our neighbourhoods by increasing pedestrianisation of our centres and ensuring safe and convenient access for all members of the community.

OUTCOMES

- I.1.1 Celebrate the local uniqueness of each neighbourhood and its people.
- I.1.2 Strengthen our unique cultural communities (both long-standing and emerging).
- I.1.3 Explore ways to celebrate the history, heritage and stories of each place.
- I.1.4 Enrich our centres through place-making, art and community festivals.
- I.1.5 Preserve historical buildings, places of interest and culturally important features.
- I.1.6 Ensure new buildings in key cultural and heritage locations are well designed buildings that reflect the local community and its aspirations.

- I.2.1 Encourage family-friendly and socially inclusive places that cater to the needs of all community members.
- I.2.2 Provide functional, multipurpose community hubs and public spaces.
- I.2.3 Create safe and exciting places for people that become a destination for the wider community.
- I.2.4 Promote events that cater to all members of the community.

- I.3.1 Implement the 20 minute neighbourhood concept, by creating a greater mix of uses within neighbourhoods.
- I.3.2 Proactively plan for the future in an integrated manner by undertaking a precinct approach to all future planning and project matters.
- I.3.3 Encourage an innovative approach to car parking and take a strategic approach to transport planning.
- I.3.4 As the technology of cars change in the future, actively explore ways to reduce the impact of cars and car parking on the place and its people.

- I.4.1 Create green spaces and streetscapes with large canopy trees and lush plantings.
- I.4.2 Upgrade streetscapes and public realm for enjoyment by the local community.
- I.4.3 Promote the upkeep and maintenance of existing buildings and shopfronts.
- I.4.4 Strongly encourage walking and cycling as the main travel methods to local centres through creating safe, friendlier and tree lined routes.

THEME TWO: LOCAL ECONOMY

VIBRANT ACTIVITY CENTRES WITH A THRIVING LOCAL ECONOMY

OBJECTIVES

2.1 MORE LOCAL JOBS — LESS COMMUTING

Plan Melbourne estimates that there will be an additional 60,000 jobs required within Melbourne's inner south east region within the period of 2015 to 2031, representing an annual growth rate of 1.3 per cent per annum. Key industries supporting this growth will be retail trade; healthcare and social assistance; professional, scientific and technical services; and education and training.

By 2036, the total number of working residents in Glen Eira will increase by 21 per cent from 70,030 to 84,980. The professional, scientific and technical services; and financial and insurance services sectors are together expected to account for 34 per cent of this growth, with the healthcare and social assistance sector accounting for a further 24 per cent. To ensure residents do not need to commute to the CBD for work, more jobs need to be provided within Glen Eira, particularly within these growing industries.

There is opportunity to co-locate employment opportunities for professional industries within designated nodes to strengthen Glen Eira's competitive and innovative capacity. Greater employment options should also be encouraged that cater to the employment demands of the community.

We must reduce the negative impacts of commuting by improving the number of local jobs in our City, in particular through the creation of new office space for professional employment.

2.2 FOSTER HUMAN EXPERIENCES BY STRENGTHENING THE HEART OF THE COMMUNITY

In terms of the retail sector, changes are occurring due to a number of different factors, including demographic changes; the global financial crisis; recent level crossing removals; and the movement towards a digital economy. New and innovative ways to conduct business are constantly being created, such as the introduction of online shopping, which leads to a reduction in the need for physical retail space.

These changes lead to a shift in the composition of our shopping strips with more opportunities arising for physical experiences and less for mere transactions. Across our centres, there is the opportunity to create new community hubs that are the anchor for social interaction and community life.

It is important that Glen Eira's activity centres are great places to visit with shops and services providing human experiences that cannot be found online.

Our activity centres will become the centre of community life, thanks to contemporary well-placed and well-serviced community hubs and experience based businesses.

2.3 BUILD A THRIVING LOCAL CONNECTION ECONOMY

The growth of Glen Eira's economy is supported by small business and the highly-skilled professionals within our City. Changes are occurring in traditional ways of employment and collaboration, with many individuals involved in and open to a variety of initiatives and enterprises.

Council's community consultations and findings from economic forecasting reports, both point to the approach for achieving the goals of businesses, individuals and the municipality as a whole; that value is created through connection and collaboration.

To create a thriving local business economy, it is important to leverage off local expertise by facilitating and encouraging the professional community to connect with each other.

We will support a thriving local business economy that is built on strong connections and collaboration.

2.4 VIBRANT NIGHT-LIFE AND WEEKENDS

A total of 2,178 businesses in Glen Eira are located at ground floor in activity centres, 34 per cent of which are in Carnegie, Bentleigh and Elsternwick. Only a small percentage of stores are open after dark.

Hospitality related activities, such as cafes and restaurants, represent the biggest driver for night-time and weekend activity, they also represent an increasing amount of floorspace (approximately 64,000 square metres). Together with takeaway food outlets, they account for 32 per cent of total floorspace within all activity centres.

We must proactively foster our centres as vibrant night-life and weekend destinations through the creation of additional floorspace designated to hospitality uses.

OUTCOMES

- 2.1.1 Encourage the growth of employment opportunities that meet the needs of the present and future community, particularly within professional industries (office, health and education).
- 2.1.2 As jobs in the future become more mobile, ensure our neighbourhoods can adapt to provide more local jobs close to local homes.
- 2.1.3 Facilitate the clustering of 'smart industries' based around anchor uses such as government offices, universities, hospitals or schools.
- 2.1.4 Explore opportunities to facilitate local flexible working opportunities, such as co-working spaces or expanded library areas.
- 2.1.5 Explore ways to ensure 'fit-for-purpose' new office stock is constructed as part of large development opportunity sites.

- 2.2.1 Ensure activity centres have sufficient diversity to serve the retail needs of the current and future local population, with a focus on local community businesses.
- 2.2.2 Locate and group together contemporary regional community services in major activity centres and neighbourhood community services in neighbourhood centres.
- 2.2.3 Foster 'bottom-up' change through a focus on place-making and guide future change based on the community-owned place vision.
- 2.2.4 Plan for future trends in the economy and embrace the digital era, and strategically locate future parcel pick-up stations and other digital transactions facilities within activity centres that encourage community interaction.

- 2.3.1 Facilitate collaborative forums for businesses and working professionals.
- 2.3.2 Help our local businesses respond to the needs and aspirations of our community by providing focused information, facts and insights.
- 2.3.3 Explore opportunities for co-working spaces, maker labs and other such collaboration environments.
- 2.3.4 Facilitate collaborative learning through local mentorship, both traditional and peer-to-peer.
- 2.3.5 Continue to connect with our local education facilities to provide a strong innovation culture and opportunities for mutual learning.
- 2.3.6 Continue to support our local women in business and employment.

- 2.4.1 Promote extended trading hours for both commercial and community uses.
- 2.4.2 Encourage a broad range of entertainment and recreational venues particularly around public spaces and train stations.
- 2.4.3 Facilitate footpath trading to create street life and vibrancy.
- 2.4.4 Explore a range of street festivals and markets that foster community life.
- 2.4.5 Improve safety at night with high quality pedestrian lighting and street activity at key locations.
- 2.4.6 In areas with little night-time or weekend activity, explore the potential of short-term businesses, such as food trucks or markets to initiate more permanent activity in the future.

THEME THREE: HOUSING

QUALITY HOUSING AND BUILDINGS FOR THE FUTURE

OBJECTIVES

3.1 PROVIDE HOUSING FOR ALL

It is likely that by 2031, an additional 9,000 dwellings will be required within Glen Eira. These additional dwellings should be best considered as 'homes' that are proactively planned for to address the future needs of the community.

Young family households are the fastest growing household in Glen Eira, increasing by 22.6 per cent between 2001 and 2011. The established family home is therefore in high demand and new apartment developments are limited in the range of household types that they attract.

By prioritising a greater supply of medium density three-bedroom townhouses, a range of household types can be accommodated, including young families.

We must plan for the housing needs of the community and ensure that diverse housing options are made available to accommodate all situations and aspirations.

3.2 RESPECT AMENITY AND LOCAL CHARACTER

Council's existing, long standing policies closely link housing growth with our activity centre hierarchy. Although we must accommodate an increase in our population, a centre that is of a higher order can not necessarily accommodate large scale buildings.

Housing capacity and building scale can be separated from activity centre hierarchy by clearly identifying housing types that can accommodate growth in strategic locations that respond to their immediate context and neighbourhood character, and also reduce impacts on amenity.

We must plan for the right development in appropriate locations by encouraging buildings that respond to their immediate urban context.

3.3 PLAN FOR THE FUTURE HOUSING NEEDS OF THE COMMUNITY

Population increases lead to increased development pressure, especially considering that *Plan Melbourne* directs 70 per cent of housing growth to occur within our established suburbs.

To ensure that development does not unreasonably impact on our community's amenity, we must plan for growth by identifying areas that are suitable for development and ensuring the type of development that occurs is respectful of the area.

We must proactively plan for change by considering the future needs of the community.

3.4 BUILD A SUSTAINABLE FUTURE

Plan Melbourne states that energy use in buildings accounts for around a quarter of Australia's greenhouse gas emissions. By implementing sustainable development initiatives, we can attempt to mitigate the effect our increased population has on the environment for the benefit of the future Glen Eira community.

We must demonstrate a clear focus on environmental sustainability.

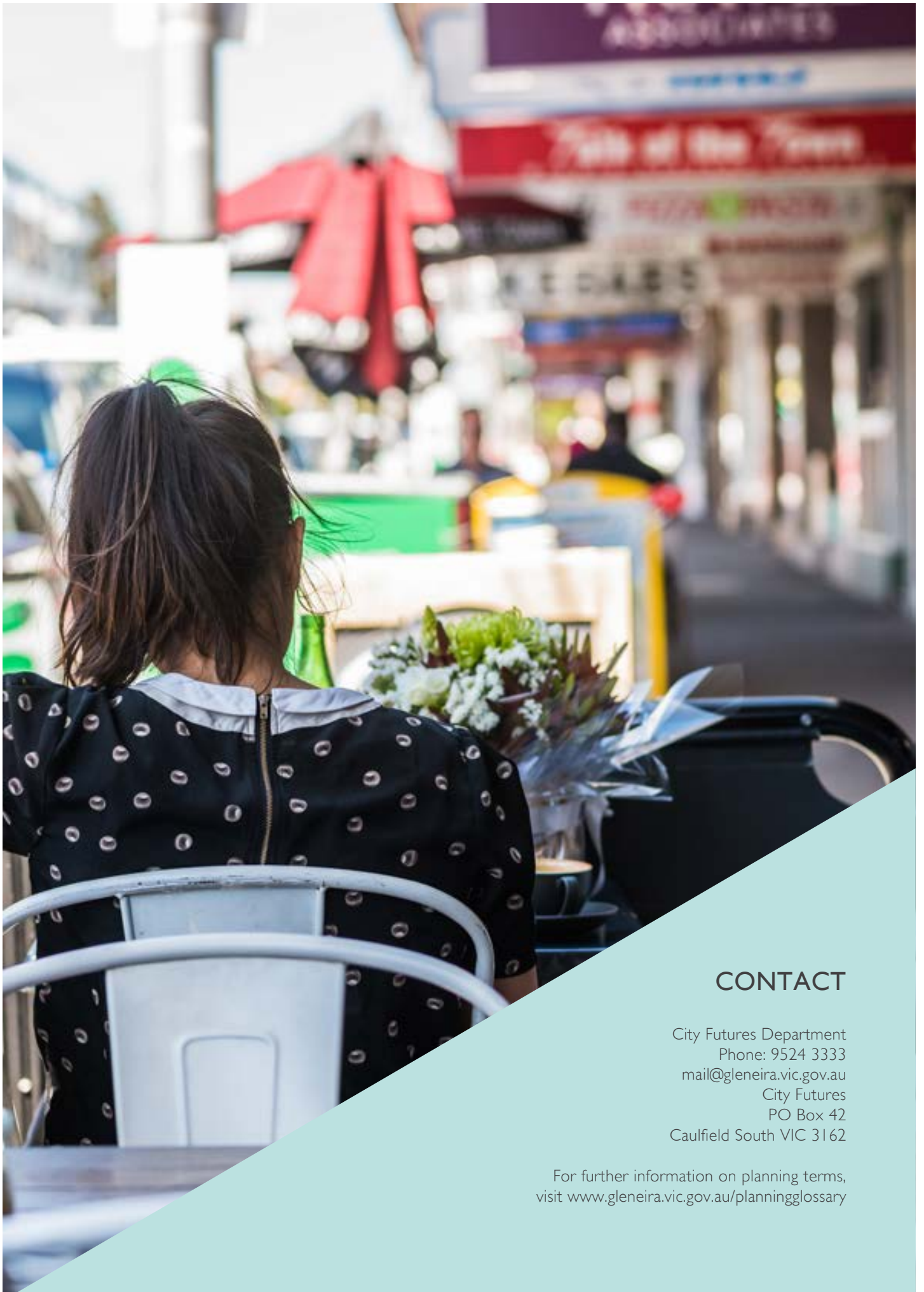
OUTCOMES

- 3.1.1 Plan for and manage the supply of new housing in the right locations to meet future population growth, demographic changes and social needs.
- 3.1.2 Focus the majority of new housing close to existing services, jobs and public transport.
- 3.1.3 Provide dwelling choice that caters to a broad demographic and the needs of the community.
- 3.1.4 Prioritise a greater supply of affordable medium density family housing within a broad mix of household types located close to activity centres and public transport.
- 3.1.5 Assist older community members to age in place by encouraging a greater supply of well-located, age-appropriate developments.
- 3.1.6 Encourage development that caters to low to moderate-income households, such as affordable or social housing.

- 3.2.1 Ensure amenity of existing residents is protected.
- 3.2.2 Celebrate our heritage and unique places.
- 3.2.3 Provide certainty about the scale of growth within established neighbourhoods.
- 3.2.4 Ensure new buildings add to the sense of place and local character.
- 3.2.5 Ensure buildings appropriately respond to their immediate context.

- 3.3.1 Encourage larger buildings to be in larger sites and located where amenity impacts can be best managed.
- 3.3.2 Create fit-for-purpose, forward thinking urban renewal precincts that cater for the emerging community.
- 3.3.3 Facilitate development that demonstrates local community benefit.
- 3.3.4 Encourage well designed and sustainable buildings.
- 3.3.5 Implement developer contributions for community infrastructure.

- 3.4.1 Encourage greener buildings and facilitate development that minimises impacts on the environment and climate change.
- 3.4.2 Plan for the future by ensuring that larger developments and urban renewal sites include advanced precinct wide sustainability measures.
- 3.4.3 Promote sustainability as a matter of priority.



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GLEN EIRA CITY COUNCIL

DRAFT GLEN EIRA ACTIVITY CENTRE, HOUSING AND LOCAL ECONOMY STRATEGY CONSULTATION RESPONSES

BENTLEIGH
BENTLEIGH EAST
BRIGHTON EAST
CARNEGIE
CAULFIELD
ELSTERNWICK
GARDENVALE
GLEN HUNTLY
MCKINNON
MURRUMBEENA
ORMOND
ST KILDA EAST

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ONLINE SURVEY

ACTIVITY CENTRE FRAMEWORK	
Basically agree. Need to manage and specify urban renewal sites carefully and clearly to avoid creating different expectations.	Main consultation page
Agree with Glen Huntly's change of status	
Please clarify your intentions regarding the protection of local heritage value of buildings that were constructed along these activity centre shopping strips. What are your intentions to protect these structures. Residents are sick of hearing about GROWTH, GROWTH, GROWTH! Plenty of beautiful cities in the world have grown, Paris , Rome without sacrificing their architectural heritage, though somehow areas like Carnegie and Bentleigh have been decimated at the hands of Council. What is your plan to restore this balance and prevent further losses to the amenity of the area because believe it or not , heritage adds to amenity, not just apartment blocks and bike paths!	Main consultation page
The main issue re this area is parking and traffic. I prefer a no traffic thoroughfare along the shopping strip in Koornang Rd Carnegie. Therefore more parking close by will be required as train users will also be parking in the area. There is so much foot traffic and pram and wheelie frames that an open street to pedestrians would be such an advantage to traders and consumers. It is a lively, family friendly area that is becoming too congested. Many people walk to the shops as there has been and will be in the future, medium density dwellings. Pedestrians must be catered for if this shopping hub is to continue to be an attraction. The Carnegie Library is also a great draw card to the area and is providing wonderful service to both young and old. Many people use this as an open space for children's recreation and again with children living in small apartments this must be accessible and free of heavy traffic.	Main consultation page
<p>Glen Huntly Activity Centre</p> <p>1. Glen Huntly is designated as a Major Activity Centre in Plan Melbourne. The local planning policies of the Glen Eira Planning Scheme must be amended to designated its status as a Major Activity Centre rather than a Neighbourhood Centre which it is not.</p> <p>2. Future design controls such as Design and Development Overlay should be placed over Glen Huntly Activity Centre (including residential, commercial and mixed use areas) to designate future built form and uses, including reduced setbacks, increased heights, increased site coverage, increased density and increased intensity. This should assist to invigorate Glen Huntly Activity Centre which being at the booked of Glen Huntly Road has always been too low scale and underutilised with many older non-renovated and vacant shops, missing vibrancy and street appeal, absent of activity after 6:00pm (and perceived lack of safety and surveillance) as compared to Elsternwick Activity Centre further west and Carnegie Activity Centre further east.</p> <p>3. Draft strategy document incorrectly states that Glen Huntly only has access to Train and Tram services whilst it has direct access to 2 bus services (Bus Route 623 & 624) on Neerim Road only 150 north of Woolworths Supermarket. It is one of only a handful of centres in Glen Eira that has access to all 3 modes of public transport.</p> <p>4. Investigate repercussions of VCI10 onto the General Residential Zone Schedule 1 (GRZ1) surrounding the Glen Huntly Activity Centre. In particular, the recently introduced mandatory 35% mandatory garden areas (for lots over 650m2) as part of</p>	Main consultation page

VC110 in a GRZ effectively diminishes opportunity for increased residential density within the Glen Huntly Activity Centre in an area where increased residential density is required. Prior to VC110 building site coverage within a GRZ was discretionary and averaged between 60% to 75% whilst now with the mandatory 35% garden areas requirement this has decreased to 40%-45% given basement ramps, paths, verandahs, any under cover areas (including building or balcony overhangs above), vegetation strips less than 1.0m wide and building footprints are all excluded from garden areas calculation. In order to continue to achieve the required growth and increased housing in the Glen Huntly Activity Centre areas of the GRZ would need to be rezoned to either Residential Growth Zone or Mixed Use Zone which does not have the 35% mandatory garden areas.	
The activity centre framework seems logical and describes the existing role of the different areas. The key challenge is how to achieve these visions for the different areas. In some cases it is too late. Caulfield Park neighbourhood centre has all but been destroyed by inappropriate development, lack of parking and a mix of retail/services which do not support neighbourhood needs	Main consultation page
Look good	Bentleigh East
Strongly supported.	Carnegie
Agree that there should not be any changes to the boundaries of Caulfield Park; it should remain as a neighbourhood hub	Caulfield Park
This area should remain as it is as a commercial zone for our future generation and local business. People shouldn't be shortsighted only looking at current property market value of the side. If elected council really serves for locals, should all put their hand up say 'no' to the money hungry developers or land owners.	East Village
Great initiative,	East Village
East Village - prefer not to include housing in the proposed change in policy. There is already too much traffic congestion in that area and building more housing will only worsen it.	East Village
A leisure centre with public pool would be great	Elsternwick
I think your vision for Elsternwick is not specific and I worry that you will commence any inappropriate buildings without full consultation from us residents first.	Elsternwick
Overall I agree with the framework.	Elsternwick
Good to see Nepean Highway Elsternwick highlighted as opportunity for jobs and housing as part of urban renewal.	
Seems to take in the diverse needs of residents. I seem to note that it does not address the needs of young people compared to the number of references made to the elderly - this may be due to the fact that the elderly are more likely to respond to community forums.	Gardenvale
How does this draft translate into specific planning for the Hughesdale rail crossing removal in Poath Road?	Hughesdale
Seems to highlight the most active parts of the municipality, and realistically explain a vision for each.	McKinnon
Lower density needed	McKinnon
Make spaces available for local artists to display/show their work or allow external walls and paths to be used as "canvas".	McKinnon
I like the inclusion of a village feel so that it is a different feel to Centre and North Road shopping strips.	McKinnon
Overall it seems quite common sense, however I'm not sure how growth can be predicted to fall so dramatically given how many people have piled into the area in the last few years.	Murrumbeena
The activity centre concept has been a spectacular failure in Carnegie it is now ugly and rampantly over developed mess. I had to sell my home at great expense to avoid it. The	Murrumbeena

activity centre concept was sold as creating vibrant community living, but in reality it was politically and economically driven, to cram as many people into a modern ghetto as possible appeasing a political agenda and creating a gift for developers whose monstrous intrusions are indicative of their contempt for community	
As per previous surveys, there is no support for the closure of Neerim Rd and "transition into a pedestrian friendly centre. Why would you close Neerim Rd, why would you divert traffic from the main Rd to the suburban streets. That's what will happen. Business will not survive if Neerim Rd is closed and made into a "mall". Listen to the residents. Listen to the business's.	Murrumbeena
<p>The document does not indicate the boundaries of each (a) Major Activity Centre, (b) Activity Centre, (c) Neighbourhood Centre, (d) Local Centre and (e) Areas of minimal change, or provide any information as to where the boundaries can be found.</p> <p>The document attempts to use symbols (squares, triangles, stars, etc., some with differing shading or secondary symbols) to indicate different levels of change, but there is no legend to clearly indicate their meaning and they do not seem to be consistently applied.</p> <p>This is a serious deficiency as the community is being asked to comment on draft strategy and policy without knowing precisely the areas involved.</p>	Murrumbeena
The framework is a step in the right direction.	Ormond
traffic should be slowed on North Road to at least 50kmh. The lane nearest the footpath is particularly dangerous as impatient drivers speed along this lane even when the other lanes are stopped at the lights. Makes entering North Road hazardous. Too much development in narrow streets. The increased parked cars in the area makes it difficult to negotiate the streets. This is of particular concern for access for emergency vehicles.	Ormond

THEME ONE: PLACE MAKING AND VISIONS	
Carnegie's vision statement should not include "growing population" as the whole area is not a new residential area or new suburb but an area undergoing incremental, and hopefully managed, population growth. The words "growing population" in Carnegie's vision statement, compared to others, would create a false impression that Carnegie (but really only the urban renewal areas) would host most of Glen Eira's population growth.	Main consultation page
You have not commented about security and council's plans to guarantee that neighbourhood security and amenity is ensured as you press forward with your vested interests to create "vibrant night time activity centres". In other cities and towns, there is overwhelming evidence that this draws undesirable elements associated with transforming what were residential family places to live into rubble. This is NOT what we want for our suburb!!!!	Main consultation page
Much has already been done to draw residents to the activity centre but no mention of traffic relief.	Main consultation page
Place making is crucial as is neighbourhood identity. But many of the smaller centres eg Caulfield Park have lost any identity. Streetscape is non-existent. Accessibility is impossible even though the area is well served by trams. A 60kph speed limit makes crossing roads difficult. Crossing to Caulfield Park is dangerous. Speeds should be 40 kph in both directions. There should be benches and trees. There is no night life which should be encouraged. Cafes are closed by 5 pm.	Main consultation page
<p>I agree that "the identity of each of Glen Eira's neighbourhoods need to be strengthened and a greater emphasis needs to be placed on making these centres family friendly". I also agree that "As our local centre become more affected by aglobalised and mobilised markets, it becomes more and more important to create community rich experiences within these centres that cannot be bought online."</p> <p>I would like to pose the question: if the focus is on strengthening the identity of neighbourhoods and creating community rich experiences, is it adequate to formulate a vision that does not include any reference or connection to the present built environment? As this is a planning strategy, shouldn't there be some reference to what is currently in place and how that is to be treated? If there is no link to the present, in the not too distant future, I believe all shopping strips and streets will look very vanilla. It will be the Metricon and Steller-built designs that are the same whether they are in Carnegie, Elsternwick, Caulfield, Footscray, Cranbourne or Boroondara. If nothing is done to link strategies to the built character of existing places, it will all look the same in the future.</p> <p>In my submission, the Carnegie vision should read something like: Carnegie will be a vibrant, safe and attractive centre that retained its cherished character. Home to families and singles from around the world, its community welcomed and integrated its fair share of Melbourne's growing population.</p> <p>The draft vision, to my mind, did not include enough recognition of Carnegie being a family-focused neighbourhood. It also did not include sufficient recognition of the need to protect the character of the shopping strip. In addition, what I would like to see included in the Draft Strategy or related planning documents:</p> <ul style="list-style-type: none"> - Heritage overlays of the facades of the shopping strip - Ensuring that someone standing on one side of the street, looking the other way, is still able to see sky above the shops on the opposite side. This is one of the things that – to me- characterises Carnegie as suburban shopping strip. 	Main consultation page
The urban villages must have a corporate plaza developed, which will house corporate /	Main

government offices located in these plaza.	consultation page
Looks good	Bentleigh East
Sounds like you've answered the concerns raised in the survey, just keen to make sure building heights in the suburban streets doesn't get higher than two stories.	Bentleigh East
I strongly endorse the eastern car park option and the green spaces as well as the extension of the tram line.	Carnegie
It would be good to include something about sustainability as it promotes the idea of local shopping and there is also the excellent public transport access to Carnegie. The other point is the range of services people can access in close proximity. Walkability is important.	Carnegie
Recognising that Glen Eira has the 4th highest housing/population density in Melbourne, perhaps more of the population growth should be focussed elsewhere and the focus in Glen Eira on a modest population growth and quality of housing/life issues.	Carnegie
It is an awesome hub as is with many hundreds of residents gathering there throughout the week for various activities; as president of the local junior football (soccer) team my concerns are for the state of the grounds and that there is not enough "ownership" and pride shown in CP by the tenant clubs nor pride from council about the clubs; there could also be smarter use of the fringe recreational facilities; there could be a more permanent cafe type facility for the park users and that could be run by special needs people; dog poo problem is terrible; there also needs to be thought around the street fencing to minimise potential accidents with balls, children and cars; a need for more dog fountains, poo bag dispensers and rubbish bins; apart from all of that we are extremely lucky to have such a park on our doorstep	Caulfield Park
Hopefully you are including Bambra Rd in this vision. We didn't receive either of the first DRAFTS, so were unable to comment. More footpath trees/shrubbery/greenery would be nice	Caulfield South
More green spaces Integrated environment and services	East Village
I agree with all of the feedback from recent community engagement: >> Create places for people that are vibrant and have a greater focus on family and vibrancy within our centres. >> Cleaner, greener and better connected centres that are easily accessible for all members of the community. >> The identity of each of Glen Eira's neighbourhoods need to be strengthened and a greater emphasis needs to be placed on making these centres family friendly. >> Improve car parking conditions and decrease traffic congestion in activity centres.	East Village
Virginia Park should remain as a commercial zone! A cancer research centre, a pharmaceutical company, a proper children's hospital, a retirement village, a age care centre, a supermarket, a sport hub...list could go on. All of these will benefit not only local but also our society.	East Village
East village is great opportunity to shape East Bentleigh and Glen Eira community center. It is a once of opportunity to make East Bentleigh unique and special .	East Village
The word "innovation" is unclear - please be more specific about what this means or remove it. I disagree with including the term 'housing affordability' as it could mean commission/social housing, which is undesirable.	East Village

I would prefer if "housing" was removed altogether. I think it should include "retail", "hospitality", "recreation", "better public transport links" and "useable green open spaces".	
Agree with philosophy of placemaking. People make places.	Elsternwick
Fantastic! I don't mind development in the area but too many flats that look like shoe boxes. Flats should be made with attractive facades that conform to the character of elsternwick.	Elsternwick
More focus on preserving heritage buildings and homes rather than just respecting character.	Elsternwick
We strongly apposed to the word Vibrant which at the time of the meeting you deleted and now you have put back, why? Please advise back to me. We were also not liking the word entertain as we didn't want to be a night long bar hoping type of area.	Elsternwick
The word 'vibrant' needs to be used carefully as it can be misinterpreted. People using Places make things vibrant ... not the other way round. Small retail businesses have been the heart of Elsternwick .. yet there is not a mention of the importance of retail in this vision. They will be lost if it is not recognised.	Elsternwick
Policy making for planning across Glen Eira essential. But what exactly is happening to on the ground planning at Poath Rd Hughesdale Rail removal. What integration is occurring with Monash Council and the Rail Crossing Removal Authority?	Hughesdale
Focus on preserving the suburb	McKinnon
It is important that McKinnon retains its village atmosphere and eclectic collection of retail and food establishments. How this can be done when council entertains ridiculous planning applications remains to be seen.	McKinnon
I work in the Moorabbin activity centre and would love to see more safety measures taken. It's quite dark and poorly lit.	Moorabbin
There is not enough detail here for informed feedback.	Murrumbeena
Capturing or enhancing the identity of a place is important. Activity centres typically attract development for cheap housing to overseas students, very profitable for some but they contribute nothing to the sense of place and completely destroy existing identity. Reinforce and enhance what we have. Small business that support the community.	Murrumbeena
As per previous surveys, there is no support for the closure of Neerim Rd and "transition into a pedestrian friendly centre. Why would you close Neerim Rd, why would you divert traffic from the main Rd to the suburban streets. That's what will happen. Business will not survive if Neerim Rd is closed and made into a "mall". Listen to the residents. Listen to the business's.	Murrumbeena
The history boat has well and truly sailed from Murrumbeena; the last we saw of it was the wanton destruction of Frogmore. The areas that have remained untouched are an enclave of privilege where residents do all in their power to exclude people from the "village". Maintenance of a village feel and embracing history would have been a worthwhile goal five years ago.	Murrumbeena
We hope so, Murrumbeena shopping centre is charming and historic. Please preserve the character and keep the high rise apartments out. Also trees and greenery are always welcome especially when uncluttered with signage, absurd play equipment etc.	Murrumbeena
As per previous surveys, there is no support for the closure of Neerim Rd and "transition into a pedestrian friendly centre. Why would you close Neerim Rd, why would you divert traffic from the main Rd to the suburban streets. That's what will happen. Business will not survive if Neerim Rd is closed and made into a "mall". Listen to the residents. Listen to the business's.	Murrumbeena
We think the draft shared vision statement for Murrumbeena is a reasonable start "...will be a leafy and green local centre with a strong community and environment focus. It will	Murrumbeena

<p>maintain a safe village feel and embrace its history". However, as the statement suggests is Murrumbeena known as a "Local Centre"? Due to its size, I consider it should be a Local Centre, and it should not be a Neighbourhood Centre or an Activity Centre.</p> <p>The document does not really give any detail concerning how the "safe village feel" or "how its history will be embraced", but I would hope in time these will be expressed with better clarity for further public comment. I hope the tangible results will soon be apparent in building height limits (much lower than Carnegie for example) and design guidelines, including use of heritage appearance construction materials or finishes.</p>	
<p>Although this is a step in the right direction, Play equipment for young children would be a further asset, as many young families will benefit from this over the years to come.</p>	Ormond
<p>So why are you so fixated with car parking?</p>	Ormond
<p>Glad to find that North Road will be tree lined. At the moment it is the ugliest shopping centre in Melbourne. All other suburbs seem to have developed tree planting in even the bleakest streets. North Road is an eyesore.</p>	Ormond

THEME TWO: LOCAL ECONOMY	
Agree with concept of working and living locally. Difficult to achieve in Melbourne - maybe greater focus on getting to and from work and home in reasonable time and ease.	Main consultation page
<p>Glen Huntly Activity Centre</p> <p>1. Recommend increasing the commercial and residential intensity of the Glen Huntly Activity Centre and more use of shop top housing given the current under-utilisation of the centre. The can be undertaken by rezoning entire Woolworths and U3A car park from a Mixed Use Zone to a Commercial Zone 1 and applying a Design and Development Overlay that seeks to enable the future redevelopment of the car park, including Woolworths and U3A as a 6-storey retail, office, education and residential mega development with double-basement car parking. Only something this substantial will assist in invigorating this near lifeless and severely under-utilised Major Activity Centre.</p> <p>2. Recommend increasing the residential intensity and mixed use intensity of the Glen Huntly Activity Centre. There is under-utilised land directly opposite the primary core of the Activity Centre which is Woolworths and U3A car park. The land is identified as Nos.5, 7, 9, 9A, 11 & 11A Manchester Grove which comprises older 1930's single dwelling, 1930's one of a pair dwellings and 1980's dual occupancy in the same ownership. It would make sense to increase the shopping precinct at its primary core thereby rezoning the aforementioned under developed land to a Mixed Used Zone thereby in turn providing a buffer between the residential and commercial zones of the Activity Centre. This would invigorate the primary core by increasing increase retail activity at ground and providing shop top housing abo</p>	Main consultation page
As stated above unless areas are attractive with trees benches businesses that serve local needs and which offer activities in the evenings areas will be dead. Speeds need to be reduced foot paths widened etc if areas are to be vibrant. Car parking is important but not essential if walkability and easy public transport is provided. Bicycle parking is needed too.	Main consultation page
<p>I was shocked that Glen Eira is the fourth lowest council across Melbourne to locally employ its own residents. As such, a priority should be increasing local employment opportunities and making 20-minute neighbourhoods a reality. Not 20 minutes to the train station to commute into town, but 20 minutes to work in a local activity centre.</p> <p>Council is not going to be able to act as employer. But Council has impact on the planning scheme and what is being built in its area. As such, it should introduce vertical zoning to ensure that shopping strips and commercially zoned properties contain more space for businesses than simply the ground floor. Especially in the major activity centres, this should be a must.</p>	Main consultation page
<p>The corporate plaza employment planned & developed, housed in each urban village will create sufficient white collar jobs suitable for Urban village communities.</p> <p>This shift in jobs, private/Government, to corporate Plaza in urban village will prevent further congestion in Melbourne CBD, and will create local jobs for population in Urban village.</p>	Main consultation page
Looks good	Bentleigh East
Support for small business would be appreciated. Rent hikes are a problem. My rent has almost doubled in 8 years!	Caulfield South
Rezoning won't benefit local economy. Locals will lost opportunity to work near home. Furthermore locals will suffer from overdeveloped over populated. I can't imagine how	East Village

will travel along East Boundary Rd and North to work.	
Create an innovation and high tech center to attract international business this will attract more and more quality populations and successful business	East Village
Need a Woolworths or Coles supermarket as the nearest ones to East Village are still too far away. Focus on offices, healthcare, education, retail and hospitality. No need for industrial use.	East Village
Support traders and keep shops open	Elsternwick
Not clear.	Elsternwick
Agree with local economy .. but where is the recognition and focus on ensuring small retail businesses thrive?	Elsternwick
Working well	McKinnon
Combination of commercial/housing is great idea.	McKinnon
Tech industry workers in the area are predominantly employed by banks, Telstra and consulting companies (IBM, Deloitte, Accenture, PWC, Dimension Data). None of these are likely to establish offices in Glen Eira. It would seem that retail, hospitality and potentially education are the most likely to grow.	Murrumbeena
Supporting local businesses that provide for the community's needs is important. Having local businesses such as grocers, butchers, newsagents, green grocers and other retail means people don't need to drive to shop elsewhere. These businesses also provide life and activity, a sense of place and identity. They are also important for the elderly and those who cannot drive. More streets lined with dumpling restaurants and cafes is not what we need.	Murrumbeena
As per previous surveys, there is no support for the closure of Neerim Rd and "transition into a pedestrian friendly centre. Why would you close Neerim Rd, why would you divert traffic from the main Rd to the suburban streets. That's what will happen. Business will not survive if Neerim Rd is closed and made into a "mall". Listen to the residents. Listen to the business's.	Murrumbeena
One of the key aspects to supporting the local economy is providing safe bike lanes along north road and grange / Jasper road. Although there are bike storage facilities at ormond station, the roads are too dangerous for many families to consider riding bikes to the main shopping strip and station. The positive environmental impact, health of community and access to shops and work would benefit from dedicated bike lanes.	Ormond
More buildings with mixed use of commercial and housing. But not "dog boxes" for apartments. Please ensure that they are liveable long term and not just suitable for short term use!	Ormond
Butcher. Butcher. Butcher. A neighbourhood centre without all of the weekly needs is not a neighbourhood centre. We need a butcher. And we need to keep our supermarket, baker, pharmacist. All with good pedestrian access. Not just cafes and more cafes.	Ormond

THEME THREE: HOUSING	
<p>Glen Eira is forecast to grow by 22,000 people, 9,000 dwellings and 9,500 jobs over the next 15 years.</p> <p>This is FAR too many for what used to be a nice quiet place to live.</p> <p>Older members of the community are being forced out by the ever increasing numbers of people and apartment developments.</p>	Main consultation page
<p>Your plan does NOT state what it intends to do to protect the local HERITAGE of the areas you seek to develop!!!! You have failed to protect heritage in the past. Eg. Frogmore mansion in Whagoo Road Carnegie. This plot remains a vacant lot where once a grande Victorian mansion of significant heritage value once stood. What do you intend to do to protect the NRZ within the allotted activity centres? Keen to get more detail and for Council to be more transparent on these intentions because frankly, we've had a gutfull!!!</p>	Main consultation page
<p>Due to the access to public transport and all required services people are wanting to live in the local area. Apartments must be built with family living in mind. They must be bigger and provide some open space within the boundary of the dwelling. People who are down grading from a large family home also do not want a tiny flat with no external environment. Developers must be encouraged to build larger apartments with outside areas for gardens and green!</p>	Main consultation page
<p>Glen Huntly Activity Centre</p> <p>I. Increased housing opportunities (i.e. apartments) into the General Residential Zone surrounding the Glen Huntly Activity Centre have been significantly diminished as a result of the recently introduced VC110. In particular, the recently introduced mandatory 35% mandatory garden areas (for lots over 650m²) as part of VC110 in a GRZ effectively diminishes opportunity for increased residential density within the Glen Huntly Activity Centre where increased residential density is required. Prior to VC110 building site coverage within a GRZ1 was discretionary and averaged between 60% to 75% whilst now with the mandatory 35% garden areas requirement this has decreased to 40%-45% given basement ramps, paths, verandahs, under cover areas (even balcony overhangs above), vegetation strips less than 1.0m wide and building footprint are all excluded from garden areas calculation. In order to continue to achieve the required growth and increased housing in the Glen Huntly Activity Centre areas of the GRZ1 would need to be rezoned to Residential Growth Zone or a Mixed Use Zone (where it directly interfaces the commercial precinct) which does not have the 35% mandatory garden areas.</p>	Main consultation page
<p>It is crucial to retain the character and amenity that attracted people to an area in the first place. Developer greed has seen large parts of Glen Eira destroyed and replaced by the modern versions of 1960's flats. Trees in private gardens have been flattened. A tree protection policy on private land is urgently needed. Medium density housing must be carefully integrated not allowed to destroy residential amenity for others. Big brother planning has gone too far. The infrastructure, parks, parking, local streets etc cannot take too many people. Higher density housing should be located near major transport hubs not simply scattered across the area. Preserving larger blocks with individual houses is a benefit for all in the provision of breathing space, trees and greenery</p>	Main consultation page
<p>To ensure housing supply meets the needs of the community, Council should articulate targets around dwelling types.</p>	Main consultation page
<p>Urban village like Bentleigh is sufficiently populated by now.</p> <p>There is an urgent need to stop overcrowding in this Urban village to maintain status Quo of quality of living. Over crowding this urban area by apartments will compromise the quality of living of the residents living here for long time, although apartment living will have no effect on the newly arrived residents,</p> <p>Hence, new constructions in Bentleigh Urban village be authorised/ approved for</p>	Main consultation page

Townhouse only comprising of three or more bedrooms at a maximum of three levels of height.	
My main concern that plans do not change to allow buildings higher than 2 stories. It happened in the street I live in without warning. It's only one end of our street and it cannot come down further. It's already traffic congested down the other end due to the High school	Bentleigh East
Affordable but quality housing is key. The trend to 3-5 storey apartments along Neerim Road for example is a blight. Density yes, loss of character NO!!	Carnegie
There is a lack of acknowledgement of the multiple roles of housing with gardens including for older people. Benefits include growing vegetables, supporting biodiversity, having a safe place to be outdoors, sharing with neighbours, decreasing flood runoff, minimising urban heat island effects. Instead the document seems to have a not to subtle push to get older people out of their homes.	Carnegie
The unique and charming Californian bungalow style of Caulfield South, seems to be disappearing to be replaced with box like, uniform housing that has no style or identity.	Caulfield South
Can't see there's any need to rezoning for housing needed. If you want to call it East Village, please keep it village character. We don't need to build another Shanghai style or elsternwick!	East Village
High density and high level buildings (more than 10 stories) large apartments is ideal solution to the demand and the growing population. maximize housing solutions to accommodate professionals resources.	East Village
If new housing is mandatory in East Village, focus on single storey units and aged care, not apartments. The height limit should only be 2 to 3 storeys. Low density only as there is already too much traffic congestion in the area.	East Village
Quality development only. Trees and plants not paved or concrete development	Elsternwick
There needs to be a specified limit of levels to the definition of 'tall' dwellings/ apartments in urban village areas. To ensure against overdevelopment and prevent ghetto like sky scrapers	Elsternwick
Its not clear on Elsternwick	Elsternwick
High Density Housing along Nepean Highway!	Elsternwick
The area will expand dramatically over the years - there needs to be more access to apartments and units.	Gardenvale
There needs to be a minimum apartment/dwelling size implemented in Glen Eira, as well as reasonable height restrictions and adequate parking for all new developments to avoid overcrowding of roads, schools, parks and other fundamental facilities. I think most longterm residents bought in the area for the open spaces, tree-lined streets and community feel, with the bonus of having good schools. Slowly, the character of our suburbs is being drained by overcrowded streets and not being able to reverse out of your own driveway!	McKinnon
Too many apartments	McKinnon
A mixture of housing types to allow people of all abilities and social backgrounds to live in a great neighbourhood.	McKinnon
I'd hate to see high rise, high density housing spread into the small local streets. I think it needs to be restricted to the main activity centres.	Moorabbin
Affordable housing is a great addition to the area. Current house prices are prohibitive for young families; townhouses are not an adequate solution to the problem when they cost almost as much as a detached dwelling but have no access to outdoor space. I would hope that any new development includes requirements for garden space.	Murrumbeena
Housing is important if it is well designed. The shoddy concrete monstrosities that characterise activity centres condemn and devalue the lives of those who live in them.	Murrumbeena

When they become ghettos those who live in them will do so only out of poverty. Rigorous regulation demanding significantly better build and design quality is required urgently throughout Glen Eira. Reusing existing buildings or construction of new building to scale and designed in sympathy with existing buildings is necessary.	
Housing is okay.	Ormond
A good mixture of housing to ensure that people of all abilities and social economic backgrounds can enjoy the great facilities of the area.	Ormond
Housing needs to support the neighbourhood centre e.g. design of housing needs to support easy pedestrian access. Not only for the residents of each dwelling but for the whole neighbourhood e.g. no more apartment blocks that are hostile to pedestrians by not providing shade, green space, or are outright dangerous for pedestrian children to pass by hidden, underground parking exits.	Ormond

OTHER COMMENTS ABOUT THE DRAFT ACTIVITY CENTRE, HOUSING AND LOCAL ECONOMY STRATEGY	
Document provides high-level framing without precise and specific information for areas	Main consultation page
I live next to the Elster Canal in Gardenvale. My suggestion is to work with South East Water about the possibility of covering over the canal as they have done along Union St, East Brighton. This could then become parkland with a walking and bicycle path that could be used by the community rather than the present use - undesirables, tagging and destroying the area.	Main consultation page
Your plan does NOT state what Council or the vic govt . intends to do to protect the local HERITAGE of the areas you seek to develop!!!! You have failed to protect heritage in the past. Eg. Frogmore mansion in Whagoo Road Carnegie. This plot remains a vacant lot where once a grandVictorian mansion of significant heritage value once stood. What do you propose to do to guarantee heritage preservation and retention of this element of our local amenity. It's been wallpapered over in the past and we've had a gutful!!!	Main consultation page
It is understood that Glen Eira is forecast to grow by 22,000 by 2031 and to achieve this an additional 9,000 dwellings are required. The Housing id report indicates that on average 1,600+ new dwellings per annum have been created over the last three years (with potentially up to 2,000 new dwellings this year). It also highlights that there are (at least) 21,695 new dwelling opportunities in Glen Eira. Given this situation, it would appear that Glen Eira will well and truly exceed this growth forecast. My feedback is that the Draft Strategy does not currently provide any commentary on this situation or the potential for excessive population growth and any associated actions. This is a very critical issue for consideration due to the potential impact on sustainability, liveability and maintaining neighbourhood character.	Main consultation page
This is great effort. How to actually make things happen which benefit all is the challenge	Main consultation page
My comments are general rather than specific, and centre around the proposed Glen Huntly activity Centre. The heritage of the shopping centre is an important component of this area. Any heritage review is likely to be years behind the other planning, leaving the area open to inappropriate or unsympathetic developments. The sites along the shopping strip that have been developed over the last years have been unsympathetic to the heritage values that give the shopping centre heritage values. Streets around the Glen Huntly rail station have over the last 5 years have become increasingly congested with traffic and parked cars now narrow some streets to one lane. Is there going to be any carparking strategy to help alleviate this growing problem? Proposed increased dwelling density levels of 200 to 20 seem to high. Glen Eira open space levels are the State's lowest and will only continue to fall per head of population as the population increases. The Draft mentions the provision of public open space within the activity centre, but offers no strategy or method on how this provision of open space could be achieved.	Main consultation page
<p>I am a resident of Carnegie and also run my consulting business from office space rented on Koornang Road. I have also been involved in planning matters as objector to a number of the developments going in to Carnegie. This has included several appearances at VCAT.</p> <p>I love this neighbourhood and would like to provide feedback on the Draft Activity Centre, Housing and Local Economy Strategy (the "Draft Strategy").</p> <p>To ensure the strategy is linked to reality "on the ground" , council should track dwelling approvals.This will help with articulating achievement of State Government housing and</p>	Main consultation page

<p>job targets (p.6 of the Draft Strategy).</p> <p>I believe the Glen Eira Community has been providing more accommodation in recent years than required to achieve the State Government accommodation targets. This is an important dimension to consider when designing and evaluating housing targets.</p> <p>As we are “ahead of the curve”, there is room to put greater demands (than mere compliance with RESCODE) on developers. Council is the only player in this development process that can put community amenity front and center of the process. The developers won’t and neither will the State Government.</p> <p>- One way to put the focus on community amenity is to provide monthly reporting on dwelling type approvals, as per p. 23 of the Draft Strategy. This reporting should show how dwelling approvals are tracking for each household type identified.</p> <p>- In addition, Council should require developers to provide accommodation in proportion the percentage of the projected increase by household type.</p> <p>E.g. of the projected dwelling increase by 2036 of 17,963 dwellings (adding the figures on p.23), apartments are seen as providing a solution to the Lone Person, Groups, Couples without Dependents and One Parent Family household types. Council should have a discussion about what percentage of those they want to see as catered to by apartments, as the figure could range between 5% (if just the “Groups” household type is accommodated in apartments) to 74% (if all other household types’ demands were accommodated in apartments). And after that discussion, articulate what percentage of apartment housing type council would like to see.</p>	
Please do not allow for increases in the height of buildings amongst our suburban streets. Two stories is enough.	Bentleigh East
As an owner of a property at the corner of Neerim and Koornang Roads I would be keen to see council provide incentives for sustainability initiatives such as roof top gardens etc.	Carnegie
Fenced dog parks in the area?	Carnegie
To truly encourage local cycling current unsafe conditions that favour car parking over safe more segregated cycling corridors need to be implemented. Koornang Rd is a good example of dangerous cycling conditions.	Carnegie
Actually a lot of local who live in the affected area didn't get the chance to attend community meetings which held on 24 May. I believe they lots to say. This area should remain as it is as a commercial zone for our future generation and local business. People shouldn't be shortsighted only looking at current property market value of the side. If elected council really serves for locals, should all put their hand up say 'no' to the money hungry developers or land owners.	East Village
Take example from http://www.landcom.com.au/publication/masterplan-3/	East Village
Thank you for the work so far! Elsternwick is a great place!	Elsternwick
More focus is needed on greening up Glen eira and examples provided. Eg identifying areas for creating open space and tree planting.	Elsternwick
This is not specific for Elsterniwick which concerns me.	Elsternwick
I would like to believe the council has the best interests of its current residents at the heart of this plan.	McKinnon
I'd like to see more cohesive work between Glen Eira, bayside and Kingston councils. It seems most of these strategic plans are developed in isolation. Given the junction between the 3 councils at Moorabbin Activity centre this is more important than ever.	Moorabbin
Amongst all the development, I would like to see local infrastructure and open space to be	

of high importance. It's great to incorporate high density housing into activity centres, but the infrastructure and open space to accommodate the increased density per capital is just as important.	
No, 'nuff said	Murrumbeena
As per previous surveys, there is no support for the closure of Neerim Rd and "transition into a pedestrian friendly centre. Why would you close Neerim Rd, why would you divert traffic from the main Rd to the suburban streets. That's what will happen. Business will not survive if Neerim Rd is closed and made into a "mall". Listen to the residents. Listen to the business's.	Murrumbeena
<p>1. I expect this draft has taken many weeks, if not months, to prepare and release. It is extremely disappointing and unreasonable that the community has only 14 days to consider and respond. I would have expected such important policy documents should be available for at least 30 days and preferably 60 days to allow for residents who are on holidays, are unwell for a period, or who have heavy work or family commitments, and a host of other reasons, to be given a more reasonable period to digest and understand the document and to develop and express their views.</p> <p>2. It is quite astonishing that the Stage 3 – Planning Document does not seem to adopt, embrace or discuss all results from the Stage 2 – Planning, as contained in the document “MURRUMBEENA_STAGE_2_CONSULTATION_SNAP-SHOT_30May17”. This document indicates that a substantial majority of respondents are opposed to the “Link Road”, and any substantive changes to Neerim Road, Hobart Road, etc. It seems to me the Stage 2 & 3 planning documents are quite independent. We want to know when and how decisions will be made on these road and traffic concepts, and when the community will get a further chance to comment on them before they are finalised?</p>	Murrumbeena
Disappointed in Key Action 8 "Introduce tree protection policy for new developments". You already have a tree protection policy and it is blatantly ignored. e.g. In line with your policy I objected to a development on the corner of North Rd and Anthony St where a significant tree was removed one day before the plans were submitted. And my objection was ignored. You don't need a new policy - you need integrity and the guts to enforce your existing policies.	Ormond

SUBMISSIONS

SUBMISSION 1

From: [REDACTED]
Sent: Thursday, May 18, 2017 11:29 AM
To: Aidan Mullen
Subject: elsternwick community consultation

Hi Aidan

Thanks for your hard work yesterday capturing the comments from the tables in the room about the Structure Plan.

Can I just make the follow-up point that no-one mentioned multi-storey car parks as something that they wanted. There were many good suggestions (no doubt captured by your good self) but there was no support expressed for the multi-storey car park idea. In my experience with these processes, sometimes lack of support is interpreted as "no opposition".

I appreciate that the Vision was put up as a foil for people to respond to and that certainly worked. We now know that no-one wants vibrancy!!!

But how (in the the draft material issued) you went from that Vision, as a very first step, to a multi-storey car park is still beyond me. Of all the things that come to mind to implement even that flawed draft Vision, multi-storey car parks do not make the grade.

I shall assume that the idea is now well and truly laid to rest.

Thank again for your efforts.

Regards
[REDACTED]

SUBMISSION 2

-----Original Message-----

From: [REDACTED]
Sent: Monday, May 22, 2017 10:03 AM
To: Aidan Mullen
Subject: Elsternwick 2017 - Planning Review

Dear Aidan,
You spoke to us (our table) briefly last Wed nite at Elsternwick RSL.
Following that meeting, I thought I should make a personal submission (see attached).

My vision for Elsternwick would be copy a European style with;
* reduced parking along Glenhuntly Rd, but increased parking stations in the Gordon/Selwyn area, Stanley St area, Orrong Rd Nth area
* pedestrian & bikes encourage
* Improve the public transport links by expanding the bus inter-change in Horne St & Rippon Grove. Remove the buses from Glenhuntly Rd.
* a place of families to live. Developments should have a significant element aimed a families and social housing.
Regards,

[REDACTED]

SUBMISSION

GLEN EIRA PLANNING SCHEME REVIEW 2016

City of Glen Eira Planning Scheme Review - Elsternwick 2017

Name: [REDACTED]

Organisation (if applicable): [REDACTED]

Postal address: [REDACTED]

Suburb: [REDACTED]

Postcode: [REDACTED]

Email: [REDACTED]

COMMENTS

Please refer to Glen Eira Planning Scheme — A Discussion Paper, which can be found online at www.gleneira.vic.gov.au/psr for planning themes that you may wish to comment on. Comments on other planning issues are also welcome.

SUBMISSION

Having attended the public meeting at Elsternwick ESC on 17/05, I wanted to make this submission to the Elsternwick structured plan.

1) Elsternwick already has many great features:

- parklands & open spaces
- arts & entertainment
- schools & education
- good retail & some commercial
- good public transport links

These features should be enhanced.

2) Elsternwick has problems with

- parking
- north & south access
- congestion East/West along Glenhumpy Rd
- No height restrictions on development.
Say maximum of 7 storeys



GLEN EIRA
CITY COUNCIL

Bentleigh | Bentleigh East | Brighton East | Carnegie
Caulfield | Elsternwick | Gardenvale | Glen Huntly
McKinnon | Murrumbeena | Ormond | St Kilda East

Page 1 of 1

Elsternwick vision should incorporate:

- being an area that caters for families
It should include social housing
- being an area that encourages retail / commercial / cultural expansion.
(this provides employment)
- being an area that strives to emulate European cities whereby pedestrian & bike usage around the activity centre is encouraged and vehicle traffic discouraged.

4.) Ideas to meet Elsternwick vision.

- 4.1) • Improve parking with high rise & a ground parking.
• Create good access from parking to retail / arts / commercial activities.
• Put a fresh face on rear laneways and their connection parking and surrounds.
• Remove parking from Glenbury Rd
- 4.2) • Create a recreational strip along the railway line from Garden Vale to Rippon Lea so they are connected via pedestrian & bike paths.

end your completed submission to:

Glen Eira Planning Scheme Review
Strategic Planning Department
Glen Eira City Council
PO Box 42
AULFIELD SOUTH VIC 3162

Privacy

Personal information requested in this form is required to contact you about upcoming meetings regarding the Glen Eira Planning Scheme Review 2016. Information will only be shared with officers directly responsible for providing that service. If you do not provide the information, we may not be able to advise of future meetings. Comments in your submission will be used for the purpose of the Glen Eira Planning Scheme Review 2016 and may be quoted in future publications. If you would like to know more about privacy at Glen Eira City Council, including your right to seek access to your personal information, contact Council's privacy officer on 9524 3333. Council's Privacy Policy can be downloaded at: www.gleneira.vic.gov.au/privacy

Page 1 of 2

- 4.3) Create a new park / zoo / bird sanctuary in part of Pippa's Estate lands that abutt the railway line. On up access to this area from the South.
- 4.4) Develop the ABC Gordon St site into a mix to residential housing estate.
- 4.5) Develop ^{net of} the ABC Selwyn St should incorporate a new Library & community hub.
- 4.6) The current Standlands Library site to become site to expand pre-school / kindergarten facilities
- 4.7) Create a new vehicle access to Elsternwick from the South. ^{by} a bridge between Piddell Rd and Nepean Hwy via existing streets.
- 4.8) All new developments to have bike facilities for each dwelling.

For your completed submission to:

Glen Eira Planning Scheme Review
 Strategic Planning Department
 Glen Eira City Council

Box 42

FIELD SOUTH VIC 3162

Personal information requested in this form is required to contact you about upcoming meetings regarding the Glen Eira Planning Scheme Review 2016 only be shared with officers directly responsible for providing that service. If you do not provide the information, we may not be able to advise future meetings. Comments in your submission will be used for the purpose of the Glen Eira Planning Scheme Review 2016 and may be quoted in publications. If you would like to know more about privacy at Glen Eira City Council, including your right to seek access to your personal information, contact Council's privacy officer on 9524 3333. Council's Privacy Policy can be downloaded at: www.gleneira.vic.gov.au/privacy

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SUBMISSION 3

25 May 2017

Dear Aiden,

Further to the public meeting on 17/05 re above.

Two ideas from that meeting was to;

1. Create a recreational strip along railway lands from Gardenvale to Ripponlea and incorporate pedestrian, bike, jogging paths etc.
2. Improve vehicle, bike, pedestrian access to Elsternwick from the South.

I recently noted the property at 1 Riddell Pde (triangle shaped block that abuts the railway line) is on the market & to be auctioned soon (Briggin & Scott).

If council purchased this property, the development of the above two ideas would be significantly enhanced.

Over to you or to the appropriate council person to seriously consider.

Regards,

[REDACTED]

27 May 2017

Dear Tess,

I have forward you the below email, as maybe it should have been directed to you rather than Aiden.

I feel the purchase of the below property by the council, would be a strategic important asset in fulfilling the Elsternwick vision.

The property is scheduled to be Auction 4 June 2017.

If the property is purchased by a developer, there will likely be lots of difficulties in getting an appropriate development approved due to;

- Triangle land dimensions
- Abuts railway line
- Heritage overlay
- Etc

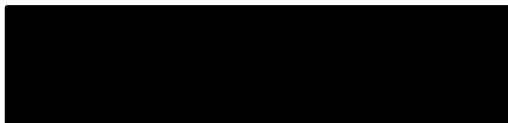
Purchase by the council will avoid all these planning issues & disputes.

Regards,

[REDACTED]

SUBMISSION 4

My Vision for East Village



1. Mandatory height limits – 4- 6 storeys
2. Number of apartments containing 3 bedrooms made mandatory along with social housing
3. Open space not to be smaller than 800 square metres
4. Council to exact land contribution instead of cash for open space
5. Bus route changes
6. Provision of visitor car parking mandatory and not in stackers
7. Number of dwellings specified and made mandatory – no more than 2000
8. Ensure that development plans are set in concrete and can't be changed as with the Caulfield village
9. Limit height of school building and ensure adequate playing fields for school without taking any open space that already exists in Glen Eira
10. esd provisions spelt out fully and not based on minimalist standards as currently proposed

25

SITE - (20.2 ha or 202,400 sqm)

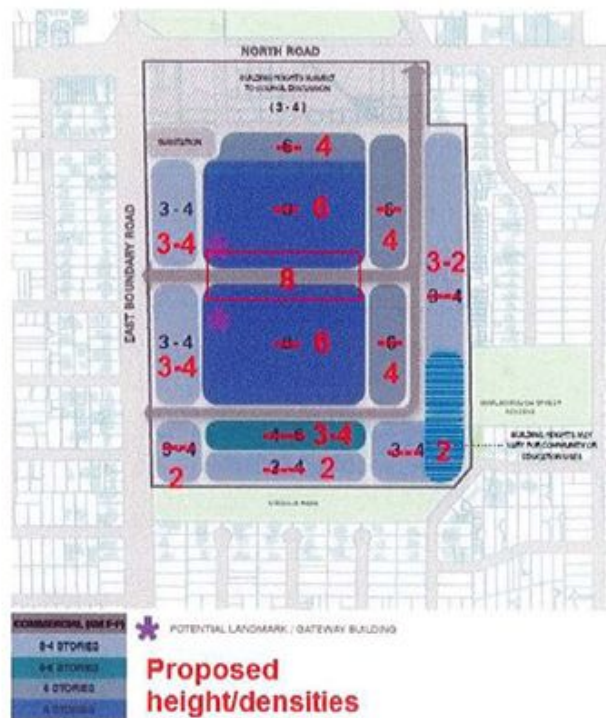


Although a “brown field” site, to ensure future development results in a sustainable, socially and economically viable community that enhances the surrounding area, the site should be viewed as “green field”. Vehicular and pedestrian access to the site and the site’s facilities, are key to determining the viability of the redevelopment. The creation of precincts (ie. designated areas within the site that provide various community oriented facilities or business focuses) is good, however, determining the location and heights/densities of precincts based on the site’s existing internal road network may not result in a desired community outcome.

Vision for Site

- Building Heights/Densities – ranging from 2 to a “core height” of 8 stories.

Refer to below illustration (previously presented in November, 2016 presentation) for clarification on heights/densities.



- Core of Village to comprise
 - Retail and Commercial areas, including shops and stores as per planning definitions (GE Planning Scheme - Clause 72)
 - Public transport connections
 - Open Space provisions (ie. communal areas and playground)
 - Potential location for Retirement Village
- Buildings
 - All buildings above 2 stories to have graduated setbacks to reduce building dominance
 - All residences to have private open space (eg. courtyard at ground level, balconies at higher levels).
 - Density levels defined and applied to site.
 - Diversity of housing types (townhouses vs. apartments) and sizes (1,2, 3 bdr). Ratio specifying no. of 3 bdr to 1 & 2 bdrs dwelling defined and applied.
 - Mandatory requirement for inclusion of social housing.
 - ResCode parking requirements applicable across site (no waivers granted)
 - Below ground basement carpark areas not to exceed above ground building envelope
- Precincts/Areas differentiated by architectural variations and landscaping.
- Proposed bus route

- Road accommodating bus route to accommodate bus stops without impacting traffic (vehicle and cyclist) flow.
- Road network
 - Vehicle movements to/from site impact on existing traffic congestion in North and Boundary Roads to be minimized.
 - To include free, time restricted on/off street parking provisions
 - Possible inclusion of paid off street parking
- Pedestrian connectivity
 - Safe pedestrian connectivity between all precincts/facilities and adjoining parkland (Marlboro Reserve and Virginia Park)
 - If shared pedestrian vehicular connectivity, separation between vehicles and pedestrians provided (e.g. kerbing, bollards)
- Proposed School
 - Provision of vehicle drop off/pick up points
 - Proximity to public transport to be considered
 - Height limits (consistent with surrounding precincts/areas) to be defined and applied if proposed school does not eventuate
- Proposed Retirement Village
 - One on-site car park provided for each unit, on-site visitor parking to be provided
 - Height limits (consistent with surrounding precincts/areas) to be defined and applied if proposed retirement village does not eventuate
 - Possible location in “core” precinct/area to be considered
- Vegetation
 - Mature canopy trees to be planted in ground (not above ground planter boxes) – refer requirement for below ground basement carparks not to exceed above ground building envelope
- Open Space
 - Given the magnitude of the site, medium density development will generate a substantial increase in the demand for, and usage of, surrounding parkland. The proposed Open Space Levy of 6% (being marginally higher than that charged for smaller developments – 5.7%), is felt to be inadequate to meet the open space needs of the future residents. A more appropriate levy would be 8-10%.
 - Within the site, open space (grassed areas and playgrounds) to be provided in accordance with forecast demographics

SUBMISSION 5

From: [REDACTED]
Sent: Thursday, 25 May 2017 6:17 PM
To: Glen Eira City Council
Subject: Draft council and Community Plan comment

Hello,

I would like to make a comment in regard to the Draft Council and Community Plan particularly in relation to the proposed 'Ormond Sky Tower' to be erected over Ormond Station.

I would like to see Council commit to much stronger advocacy, partnering and putting in place measures to ensure:

- that any such development is in keeping with the local heritage and character of the area by ensuring it is kept within a reasonable height limit (no more than 5 stores high). If not, how will we maintain the village- like quality that the Plan notes as a positive for our City?

- That the people living in and around such a redevelopment have access to internal space, daylight, natural ventilation, quietness, outdoor space.

- that social and affordable housing options are sufficiently moderate in terms of size, and supported to integrate with the present community rather than introduced ad hoc and in numbers that will threaten community cohesion, and safety.

- that there been full and fair consideration of social sustainability - how will this affect the local community in terms of economy, environment, security, liveability, social equity, education, social inclusion?

- that plans are made to limit any further traffic congestion around this area as it is already struggling to cope.

- that capacity for community and shared common spaces, parks, services and infrastructure are fully taken into account when such development proposals are suggested. For example - sporting clubs are already struggling to find space for kids to play. How will the area cope if the proposed Sky Tower is built? Rubbish on the surrounding streets is a constant problem now - this will only increase if a massive development is added in this area. Lets not create more people who experience the condition of 'nature-deficit'. Its not just about growing a few more trees.

- that every opportunity is taken for Council to show the lead in what transparent community inclusive planning, sustainable, long term, quality, integrated and harmonious increased density living can look like in Glen Eira.

Here is a chance for the council to look at innovative, sensitive ways to approach planning and creating higher density living, rather than standing by whilst a huge, unwanted and divisive tower is plonked in our midst that will create an eyesore that we all have to live in or beside for years to come.

[REDACTED]

SUBMISSION 6

City Future's Department
City of Glen Eira,
Corner Glen Eira & Hawthorn Roads,
Caulfield 3162,

28 May 2017

Dear Future Department,
Re: East Village

My input into your new East Village Structure Plan is detailed below. It is totally different to that which has been put forward until now, and should be considered in part or as a complete alternative.

It is of interest that the combined size of the property is almost the same as that of Riverside South, Manhattan, New York City: a largely residential complex of 23 ha overlooking the Hudson River. This project inspired some of my ideas below:

- Contrary to local requests for low-density housing, my vision is to construct hi-rise towers graduating downwards to medium-rise with as many views of Packer Park as possible. These towers should be built to suit family life with large apartments, in contrast to the small 7 sq dog boxes that dot the City of Glen Eira. It is possible to spread and connect medium-rise apartments over an area and top some of them with high rise towers.
- There could be a restaurant on each top floor of the hi-rise towers, facing the park.
- Recreational facilities are already on the doorstep with sporting facilities already invested in.
- Parking and truck delivery areas should be underground, enabling the whole area to be pedestrian and cyclist friendly.
- The centre of the project should include community facilities.
- Supermarkets can be built into the first floor of the towers.
- A shopping atrium can be a feature of one or more of the towers, including banks and services such as hairdressers and shops.
- There is a new development that should be watched closely: it is called Masdar City in Abu Dhabi (Emirates.) They have built a personal rapid transit system by Podcar which is a point to point transport solution that runs with automotive electric powered vehicles. This system could ring the property and deliver residents and visitors to public transport, shopping, community areas and even under North Road to Packer Park.
- A high-tech secondary college, rather than an extension of another local one should be built on the property, again high rise to enable maximum use of space. The location of this college should be adjacent to the bus depot to minimize foot traffic throughout the project. Again, recreational facilities are immediately opposite at the park. Roof space could be used for lunchtime and recess, with a gym and hall created within the building.
- Office space will be a necessity both to replace the existing office facilities on the site, and to provide employment.
- A bus depot should be at the far end of the property, away from Packer Park with bus stops at all sides of the property. Currently there is insufficient public transport in the area. The bus depot can include eateries and possibly a supermarket.
- The success of the project will depend upon keeping the quality of residents clean-living. "Affordable housing" should not be an invitation to mix in families who will bring drug and crime issues into the area.
- Accommodation for the elderly and community facilities for them should be an important part of the project.
- A hotel could be considered.

- There should be a walkway to the park – preferably underground with escalators.
- Architects for the project should concentrate upon alternative energy, environmental sustainability and clean technology.
- Ugly installations such as the power installation which is there at present should be surrounded by trees or moved to the southern end of the project.
- Flora and fauna should make the project a showcase.
- The name: “East Village” is inappropriate. We are looking forward to this and next century with this project. Village connotes a European-type small-thinking spot on the map. Something such as “GREEN CITY”, “EAST PARK CITY” “PARKSIDE CITY” or similar would be more appropriate.

FUNDING OF THE PROJECT

1. The School: Funded in total by the State Government including upkeep.
2. Accommodation for the Elderly: Rental only not purchase – funded by the Council, religious and community organisations.
3. Retail Space, Supermarket & Atrium: High rentals paid to Council. Note: Council to retain commercial properties when agreements are made with investors to keep rentals in perpetuity to recoup investment in the whole project.
4. Bus depot: Funded by the State Government. Attached retail precinct funded by investors.
5. Residential apartment buildings and towers: partnership between investors and Council.
6. Hotel: fully funded by a hotel chain.
7. Infrastructure and community buildings: Applications for funding to State and Government.

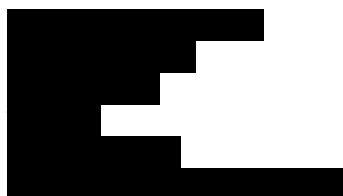
There are already multiple roads leading into the property, plus other services.

ALTERNATIVE FUNDING ARRANGEMENTS

There could be the right for residents of Glen Eira only to purchase units of shares in the development of both residential buildings and commercial offices, with a view to profit once these are sold or rented. Local residents could also be offered first right of purchase once apartments and offices become available. If 10,000 residents invested \$5,000 each this would total \$50m (or multiples thereof) which would help begin the project; to this could be added institutional, Australian and overseas investors.

The way that I have submitted my project is dependent upon quality and large-sized apartments. There are very few open blocks of land overlooking a park with full facilities in inner Melbourne. I do understand that the surrounding population would prefer single or double-storey homes with grassy back yards, but that mentality can be well served throughout the rest of the City of Glen Eira.

Presently there is an unmet demand in Glen Eira for 3 – 4 bedroom apartments within easy reach of the inner-Melbourne work-places, an ageing population require accommodation close to their families in this area and this is an opportunity to build the next-generation city adjacent to a beautiful park, close to GSAC and with the space to set this up as a showcase for quality living.



SUBMISSION 7

Dear Tess Angarane,

My wife and I attended the first meeting on the 17th of May to get involved with the exciting new developments of Elsternwick.

I've lived in [REDACTED] for 15 years and lived in the area for nearly 30 years. My profession is a graphic designer, so a large part of my job is visualisation and concept development.

Over the last few years I've noticed the intersection of Staniland Grove / Glenhuntly Rd / Carre Street has become very hectic and quite concerning at busy times of use.

With the age of digital phones I have noticed more and more people frequently cross these intersections without looking up from their screens - assuming cars will stop for them. Cars often won't leave a clearway because they too have their head down distracted by phones.

When exiting from Staniland grove and Carre Streets into Glenhuntly Road it does take a little skill (with eye contact) from motorists and pedestrians to merge into traffic flow. I think its just a matter of time before an accident happens.

I believe we need to close these concerning intersections to create a green Mall which can also segway across to the new proposed community centre and green space where Staniland Grove car park is.

I think the community of Elsternwick needs a square or a Mall to create a central focal point and green hub for the area similar to the new development next to Bang Bang.

I've taken the liberty of putting some ideas down to create this idea, using some images as inspiration to generate a look and feel of what it could look like.

I would appreciate if you could please take the time look over my idea's,

Best Regards [REDACTED]

[REDACTED]

[REDACTED]



REFERENCE IMAGES FOR THE MALL CONCEPT FOR STANILAND GROVE AND CARRE STREETS ELSTERNWICK



SUBMISSION 8

Hello Tess,

Thank you for the Summary document. It was hard reading and at the conclusion I did not get any sense of what the possible direction would be from a traffic standpoint.

Could the team provide a clearer indication of what the survey has concluded from a traffic standpoint please.

Regards

A black rectangular redaction box covering the signature of the sender.

SUBMISSION 9

From: [REDACTED]
Sent: Tuesday, 30 May 2017 3:15 PM
To: Tess Angarane
Subject: Carnegie town centre

Hi Tess,

I have been speaking to some of my older relatives who are originally from the Carnegie, Ormond, Murrumbidgee area. They mentioned that one of the good things about Carnegie was that it had its own cinema, as did Ormond and Bentleigh. You can still see the façade of the old cinema in

I'm thinking something that might add a bit more life to the town centres would be those old school arthouse style cinemas. The sort where you get away from the mainstream and see films that are otherwise only played at the Astor or the Classic during the film festivals.

The Classic cinema is probably the best example of the older style cinema in this area. Maybe something similar to the Classic but smaller would be a good addition to the community?

Just a thought.

From: [REDACTED]
Sent: Thursday, 1 June 2017 2:23 PM
To: Tess Angarane
Subject: Something else for the list.

Tess,

More community feedback.

Have heard from many men in the Community that they are going all the way to the Bentmoor Men's Shed because there isn't one in Glen Eira.
Has this come up in discussions yet with the community?

By the way, the one in Moorabbin, Bentmoor isn't close to the train station and the fellows are catching a train and then a bus to get there.

SUBMISSION 10

From: [REDACTED]
Sent: Wednesday, 31 May 2017 8:32 AM
To: Tess Angarane
Subject: Re: Update on activity centre planning for Murrumbeena

Hi Tess,

I note planning options are unchanged and are really just 3 minor modifications of closing off or partially closing off shopping strip at Murrumbeena to traffic.

I've already expressed my dismay.

It will kill off traders in Neerim Rd. strip at junction to Murrumbeena Rd.

People will not be able to access by car. It will be deserted at night & unsafe for train travellers.

It makes no difference to improving traffic movement in Neerim Rd.

The whole purpose of raising the rail line is improving traffic flow!! - why compound with these improvements until tested??

Finally there is no co-ordinated planning with Rail Authority, and no indication where or size of new parking for rail commuters & local shoppers will park their cars??

[REDACTED]

SUBMISSION 11

From: [REDACTED]
Sent: Thursday, 1 June 2017 5:42 PM
To: Tess Angarane
Subject: Re: Update on activity centre planning for Murrumbeena

Hi Tess,

Thanks for the update. I note that the majority of respondents do not support closing Neerim road to traffic, and I am hoping that the council will make future plans taking residents wishes into account.

On a slightly related note, who do we speak to about the changed traffic at the corner of Ardyne and Kangaroo? As residents of [REDACTED], we have had our access to home significantly restricted by these changes and are surprised that we were not consulted, or at least notified prior to the changes.

As we regularly need to access home from the East, these changes force us to use other local streets (Gerald, Inellan, or round the back of Murrumbeena park e.g. Erin Avenue etc), because obviously until the grade separation, Murrumbeena road is often blocked past Kangaroo road so entering M'beena road from Kangaroo road with a view to turning immediately right into Thomson Avenue is frequently difficult.

If the council did traffic modelling on this, how did they propose residents of Thomson Avenue and Burns Avenue in particular were to access their streets when coming from work, school etc east of home? There may need to be "Keep clear" signs on Murrumbeena road in future so that we can turn right into our street if it was intended that we head up to Murrumbeena road instead of turning right into Ardyne, as the lights at Kangaroo road mean traffic now blocks our access.

I would appreciate knowing who is the relevant person to discuss this with,

Thanks

[REDACTED]

SUBMISSION 12

Dear Sir/Madame,

I am writing to strongly object to the proposal to close Beavis Street and have trucks servicing Coles to use Orrong Rd. I live at [REDACTED], Elsternwick [REDACTED] and I believe this would have a very negative effect for residence in Maysbury Avenue and Orrong rd residences.

Orrong Rd is very congested as it is and having trucks leaving and entering will make this worse. I understand residents in Beavis st may not like the trucks but it is not a main Rd as is Orrong rd and causes much less disruption. Moving the trucks will only create a much bigger problem for a different set of Glen Eira residents & road users.

I would hope council would look closely at the traffic flow in Orrong Rd as being a T intersection and pedestrian crossing turning right into Glenhuntly Rd does not flow well causing congestion, also at school times it becomes particularly congested with horns frequently blowing everyday as people become frustrated. In addition people trying to turn into Coles causes congestion,

I strongly object to this proposal and hope you will consider the ramifications for Orrong Rd residences and Maysbury Avenue residents.

Yours sincerely,

[REDACTED]

SUBMISSION 13

From: [REDACTED]
Sent: Monday, 5 June 2017 5:16 PM
To: Glen Eira City Council
Subject: Neighbourhood Centre, Bentleigh East.

Thank you for the opportunity to express my thoughts regarding Council's plans for the future.

In Volume 227 of Glen Eira News you have presented a map (of proposed activity centre types) which includes mention of

Neighbourhood Centre on the corner of Centre Rd and East Boundary Rd.

What is a neighbourhood centre? Is it another name for the suburb of Bentleigh East?

How does your description of an activity centre differ from a neighbourhood centre?

Could you explain what you have in mind for this corner currently taken up by the Boundary Hotel?

How does it differ from what's there already?

What tangible, visible changes to this area, designated neighbourhood centre, will make nearby residents rejoice?

What proportion of funding will be allocated to transforming this particular suburb into a neighbourhood centre?

Cheers, [REDACTED]

[REDACTED]

[REDACTED]

SUBMISSION 14

Thankyou for your email.

Council has been busy sending out for comment proposals for transforming Murrumbeena and its environs. Of particular interest were the alternatives for the Link Road options with the completion of the Sky Rail.

There were various alternatives for amended traffic flows put forward for consideration which in part examined prevention of rat running between Dandenong Road and Kangaroo Road.

As far as we are aware from published information that's all this is - "proposals".

So, it has come as a real surprise to us that within the last couple of weeks, amended traffic flows have already been implemented at the Kangaroo Road intersections with Ardyne St and Second Avenue. There are overtones of decisions having already been made in advance of whatever other arrangements, yet to be finalised, regarding traffic flows in the area.

We're interested to know why it is that these changes mentioned have already been implemented without consultation and in advance of every other decision affecting traffic in this area.

Obviously, the redirection of traffic has consequences for other streets in the surrounding area.

Your detailed response to the matters we have raised is sought .

[REDACTED]

Murrumbeena

SUBMISSION 15



Carnegie VIC 3163

Feedback on the DRAFT Activity Centre, Housing and Local Economy Strategy

Dear Madam / Sir,

I am a resident of Carnegie and also run my consulting business from office space rented on Koornang Road. I have also been involved in planning matters as objector to a number of the developments going in to Carnegie. This has included several appearances at VCAT.

I love this neighbourhood and would like to provide feedback on the Draft Activity Centre, Housing and Local Economy Strategy (the "Draft Strategy").

To ensure the strategy is linked to reality "on the ground", council should track dwelling approvals. This will help with articulating achievement of State Government housing and job targets (p.6 of the Draft Strategy).

I believe the Glen Eira Community has been providing more accommodation in recent years than required to achieve the State Government accommodation targets. This is an important dimension to consider when designing and evaluating housing targets.

As we are "ahead of the curve", there is room to put greater demands (than mere compliance with RESCODE) on developers. Council is the only player in this development process that can put community amenity front and center of the process. The developers won't and neither will the State Government.

- One way to put the focus on community amenity is to provide monthly reporting on dwelling type approvals, as per p. 23 of the Draft Strategy. This reporting should show how dwelling approvals are tracking for each household type identified.
- In addition, Council should require developers to provide accommodation in proportion the percentage of the projected increase by household type.
E.g. of the projected dwelling increase by 2036 of 17,963 dwellings (adding the figures on p.23), apartments are seen as providing a solution to the Lone Person, Groups, Couples without Dependents and One Parent Family household types. Council should have a discussion about what percentage of those they want to see as catered to by apartments, as the figure could range between 5% (if just the "Groups" household type is accommodated in apartments) to 74% (if all other household types' demands were accommodated in apartments). And after that discussion, articulate what percentage of apartment housing type council would like to see.

Proposed Activity Centres Framework

I agree with classifying Carnegie as Urban village, but would like to ensure that the existing zones are maintained (i.e. not further expansion of the residential growth zone).

Theme One: Place-Making

I agree that “the identify of each of Glen Eira’s neighbourhoods need to be strengthened and a greater emphasis needs to be placed on making these centres family friendly”. I also agree that “As our local cdntre become more affected by aglobalised and mobilised markets, it becomes more and more important to create community rich experiences within these centres that cannot be bought online.”

I would like to pose the question: if the focus is on strengthening the identity of neighbourhoods and creating community rich experiences, is it adequate to formulate a vision that does not include any reference or connection to the present built environment? As this is a planning strategy, shouldn’t there be some reference to what is currently in place and how that is to be treated? If there is no link to the present, in the not too distant future, I believe all shopping strips and streets will look very vanilla. It will be the Metricon and Steller-built designs that are the same whether they are in Carnegie, Elsternwick, Caulfield, Footscray, Cranbourne or Boroondara. If nothing is done to link strategies to the built character of existing places, it will all look the same in the future.

In my submission, the Carnegie vision should read something like:

Carnegie will be a vibrant, safe and attractive centre that retained its cherished character. Home to families and singles from around the world, its community welcomed and integrated its fair share of Melbourne’s growing population.

The draft vision, to my mind, did not include enough recognition of Carnegie being a family-focused neighbourhood. It also did not include sufficient recognition of the need to protect the character of the shopping strip.

In addition, what I would like to see included in the Draft Strategy or related planning documents:

- Heritage overlays of the facades of the shopping strip
- Ensuring that someone standing on one side of the street, looking the other way, is still able to see sky above the shops on the opposite side. This is one of the things that – to me – characterises Carnegie as suburban shopping strip.

Theme Two: Local Economy

I was shocked that Glen Eira is the fourth lowest council across Melbourne to locally employ its own residents. As such, a priority should be increasing local employment opportunities and making 20-minute neighbourhoods a reality. Not 20 minutes to the train station to commute into town, but 20 minutes to work in a local activity centre.

Council is not going to be able to act as employer. But Council has impact on the planning scheme and what is being built in its area. As such, it should introduce vertical zoning to ensure that shopping strips and commercially zoned properties contain more space for businesses than simply the ground floor. Especially in the major activity centres, this should be a must.

Theme Three: Housing

To ensure housing supply meets the needs of the community, Council should articulate targets around dwelling types.

Background

Before adopting the Strategy, I would ask that Council see if the 2016 census figures change some of the calculations around population growth and dwelling types.

Additional ideas to increase community amenity

- Require all developments that combine lots to provide a minimum area of publicly accessible micro park at ground level. This is especially important for the residential growth zone.
- Council should purchase strategically placed vacant lots and also consider purchasing a strategically placed shop or shops on Koornang Road to demolish and turn into a micro-park.
- Introduce a 100-year (full life of the building) planning cycle. Whilst our world will look very different, human needs remain. It'd be great to be living in a municipality that really looked at what the constant, connecting, enduring characteristics of communities are. And then built something that people in 100 years will still love coming to and calling home.

Thank you for the opportunity of contributing to the development of our local community.

Kind regards,



SUBMISSION 16



13 June 2017

Mr Aidan Mullen
Manager City Futures
Glen Eira City Council
Corner Glen Eira and Hawthorn Roads
CAULFIELD VIC 3162

Dear Aidan,

ACTIVITY CENTRE, HOUSING AND LOCAL ECONOMY STRATEGY SUBMISSION

1. INTRODUCTION

[REDACTED] continue to act on behalf of [REDACTED] with regard to the land at [REDACTED] (referred to as the [REDACTED] from this point forward), Elsternwick and have been instructed to lodge a submission to the draft *Activity Centre, Housing and Local Economy Strategy: Draft May 2017*.

Our client is generally supportive of the abovementioned strategy being prepared and commends Council on undertaking this task. However, it is considered that there should be stronger emphasis on retail uses being located on sites in proximity to public transport and an existing / future activity hub i.e. in proximity to Glenhuntly Road.

This submission discusses the various themes and includes recommendations as appropriate.

2. SUBMISSION

The draft *Activity Centre, Housing and Local Economy Strategy* contains three themes, being:

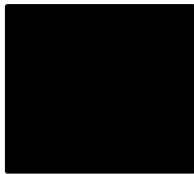
- Place-making
- Local Economy
- Housing

Our feedback on these themes is discussed below.

Our client generally supports the identified policy direction for Major Activity Centres, with strong support for the recognition that local economies should provide for the weekly needs for the community, inclusive of a minimum of approximately 2 supermarkets.

Within the liveability section of the policy direction, it is considered that a supermarket should be included as a service that should be provided for the wider community. In addition to local shops such as butchers, bakeries etc. supermarkets perform a vital service to the immediate and wider community





not only to meet their weekly shopping needs, but also for employment opportunities as well as attracting people to the area.

It is recommended that the policy directive for major activity centres under liveability (page 32) reads: *Typically, centres should provide services for the wider community, including a range of the following: a library; a community hub; an entertainment complex; maternal child health care services; child care; at least one full-line supermarket; medical centres; and a chemist.*

2.1. PLACE-MAKING

Our client agrees with Council that the Elsternwick Activity Centre should be identified as a Major Activity Centre and is generally supportive of the vision statement.

2.2. LOCAL ECONOMY

Our client is supportive of major retailing as having been identified to be located within major activity centres (page 21), however request clarification as to the acceptable proximity and access of a site to train stations which Council would consider as being focussed around the train station. We also consider that sites with good access to public transport i.e. in proximity to Glenhuntly Road, should also be considered as a major / high focus for employment intensity for retail uses.

Sites which have good access via public transport will help to encourage the community to use alternate means other than a car to access the area and will help to implement council's vision of reducing car dependency. Additionally, enabling retail activity along public transport routes will help to encourage increased activity and attract people to the area

Our client also agrees that major retailing and convenience stores should be located within major activity centres around train stations and across all ground floor premises opportunities.

Given the nature of Elsternwick and the variety of uses along Glenhuntly Road, the surrounding area and the [REDACTED] is considered that there is the potential for true mixed-use developments to occur. In doing so, it will help enable and encourage Elsternwick to be developed to create a vibrant hub which also has activity outside of the standard business hours.

It is recommended that the outcome 2.3.3 be updated to read *'Ensure key community needs are provided in each centre (such as banks, post office, grocers, butchers, supermarket and bakers).*

It is recommended that an additional outcome be included to encourage mixed-use developments where there is access to public transport and would help bring activity to the area and could read something like: *Locate mixed-use developments (with one or more of retail, commercial, entertainment, or hospitality at ground floor) in areas close to public transport and is in proximity to an existing / future activity hub.*

It is recommended that strategic sites within major activity centres be identified as sites, under the retail use, as either a major focus for employment intensity; or high focus for employment intensity.

2.3. HOUSING

Our client is generally supportive of what council is proposing, but considers it would be appropriate to slightly alter the description in the explanation to 'apartment - mixed use' to read *'Taller buildings with a mix of residential, office, retail and / or commercial uses'.*



2



3. RECOMMENDATIONS

The following recommendations are made with respect to the *Activity Centre, Housing and Local Economy Strategy* and include that:

- The policy directive for major activity centres under liveability (page 32) be slightly altered to read: *'Typically, centres should provide services for the wider community, including a range of the following: a library; a community hub; an entertainment complex; maternal child health care services; child care; at least one full-line supermarket; medical centres; and a chemist.'*
- The outcome 2.3.3 be updated to read *'Ensure key community needs are provided in each centre (such as banks, post office, grocers, butchers, supermarket and bakers).'*
- An additional outcome be included (on page 36 under local economy) which reads *'Locate mixed-use developments (with one or more of retail, commercial, entertainment, or hospitality at ground floor) in areas close to public transport and is in proximity to an existing / future activity hub.'*
- Strategic sites within major activity centres be identified as sites, under the retail use, as either a major focus for employment intensity; or high focus for employment intensity.

4. CONCLUSION

Our client commends Council on their forward thinking and taking the initiative to undertake the process to undertake an activity centre, housing and economic strategy.

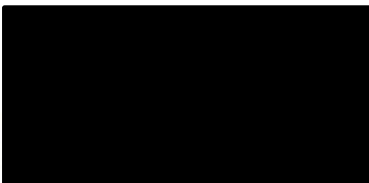
With respect to what has been proposed the [REDACTED] presents an excellent opportunity for a mixed-use development which can help to service the needs of the community, as appropriate and in doing so help to attract visitors to the area and invigorate the area. Encourage retail uses to be located on sites close to public transport and in areas in proximity to existing / future activity hubs would go a long way to achieving this.

Our client would be open minded to entering discussions with Council around place making, local economy and housing.

As with any development, any future development of the [REDACTED] will need to consider its surrounding environs and the character of the area. Our client has established a working relationship with and has been liaising with the current Jewish facilities representatives in the area.

Should you have any queries or wish to discuss any of the above please don't hesitate to contact the undersigned on [REDACTED]

Yours sincerely,



3

SUBMISSION 17

From: [REDACTED]
Sent: Tuesday, 13 June 2017 11:59 PM
To: Glen Eira City Council
Subject: Attn: City Futures Department: Draft Activity Centre, Housing and Local Economy Strategy

Dear Sir / Madam,

To quote from the Draft Activity Centre, Housing and Local Economy Strategy:
"

3.1 PROVIDE HOUSING FOR ALL

It is likely that by 2031, an additional 9,000 dwellings will be required within Glen Eira. These additional dwellings should be best considered as 'homes' that are proactively planned for to address the future needs of the community.

Young family households are the fastest growing household in Glen Eira, increasing by 22.6 per cent between 2001 and 2011. The established family home is therefore in high demand and new apartment developments are limited in the range of household types that they attract.

By prioritising a greater supply of medium density three-bedroom townhouses, a range of household types can be accommodated, including young families.

We must plan for the housing needs of the community and ensure that diverse housing options are made available to accommodate all situations and aspirations.
"

2017 - 2031 is a 14-year period

9,000 additional dwellings are required over 14 years

This means that 643 additional dwellings are required in Glen Eira every year

Glen Eira is 38.7 square km in area

For this exercise, we divide Glen Eira into two zones:

the highest-growth 20% (7.7 sq km)

the lowest-growth 80% (30.9 sq km)

Scenario 1: All growth occurs in the highest-growth 20% zone, as has been the emphasis in recent years. No growth occurs in what is currently called the NRZ.

Additional dwellings required per sq km per year: 83.5

Additional dwellings required per hectare per year: 0.835

Scenario 2: No growth occurs in the previously highest-growth 20% zone, the opposite of the emphasis of recent years. All growth occurs in what is currently called the NRZ.

Additional dwellings required per sq km per year: 20.8

Additional dwellings required per hectare per year: 0.208

The above 2 scenarios are for illustrative purposes - obviously growth will occur as a combination of both scenarios.

Those in favour of high-density growth will tend to smokescreen the above scenarios by stating that parks, industrial areas, roads etc need to be factored in. I invite them to assume only 50% of NRZ is habitable (deliberately underestimated), and double the 0.208 additional dwellings required per habitable NRZ hectare per year to 0.416.

It's still less than a dwelling per hectare per year.

It's not Tokyo is it?

Both the above scenarios, and all combinations in between - Illustrate that we could probably stop building apartments now. Ok - let's be reasonable - slash apartment building by 90%.

Additionally the statement *"By prioritising a greater supply of medium density three-bedroom townhouses, a range of household types can be accommodated, including young families."* correctly highlights the fact that many families who have lived in their free-standing houses in Glen Eira for years are being driven out of their home suburb by (unnecessary) lot consolidation.

Glen Eira's recent growth has been off the top of the scale due to high-density development in areas like Carnegie. This has been primarily for the benefit of developers and real estate agents.

Many Glen Eira residents - particularly in Carnegie - feel betrayed by previous councils. They have had their homes rezoned without their consent (I have yet to meet anybody in Mimosa Rd who was consulted about the rezoning of the houses north of #86 years ago), and have been given nothing to redress this.

Glen Eira Council has the numbers - it counts dwellings and it collects rates after all. The census data has been available since April this year, so Glen Eira Council needs to come clean on how we are tracking for both absolute population numbers, and for population density. It then needs to take back control of what we build, and for whom.

Yours sincerely,

A black rectangular redaction box covering the signature of the sender.

SUBMISSION 18

Attn: City Futures Department

I am very concerned about what the strategy has planned for the urban village and immediate surrounds in Carnegie. My interpretation is that Carnegie is being sacrificed to preserve the other suburbs.

The vision statement for Carnegie is the shortest of all suburbs and rings alarm bells:

"Carnegie will be a vibrant, safe and attractive centre that is welcoming to all and supports the growing population."

This statement along with other mentions of Carnegie in the document implies that Carnegie will support the majority of growth in Glen Eira including for affordable housing.

I strongly object to this for the following reasons:

- The Carnegie activity centres cannot support further growth. This now needs to be shared across the neighbourhood zones.
 - The parking and traffic is becoming impossible in Carnegie because there are too many residents in the activity centre with cars parked permanently on the streets and car parks.
 - How can you ensure the amenity of existing residents if you allow further ridiculous growth?
- The need for a better transition of density and giving respect to existing streetscapes was an important finding from the surveys which is not sufficiently tackled in the strategy. Why not?

- The strategy only mentions preserving the character in neighbourhood zones not in activity centres. Carnegie residents, like myself, who live just on the boundary of the urban zone are having our interests ignored yet again.
- How council are going to ensure that VCAT cannot ignore its' housing guidelines in respect of existing streetscapes and neighbourhood character in all zones? This is not articulated in the strategy.

3) The biggest increase in the population will be young families as the strategy states "Young family households are the fastest growing household in Glen Eira, increasing by 22.6 per cent between 2001 and 2011. The established family home is therefore in high demand and new apartment developments are limited in the range of household types that they attract."

- Why then, does the strategy fall short of stating that apartments will actively be discouraged?
- Will there be changes to the planning policy in this respect? This is not articulated in the strategy and it should be.
- [REDACTED] has clearly shown some sympathy with the residents of Carnegie and Bentleigh so the strategy should actively embrace this to try and protect us from this uncontrolled and unsustainable apartment development.

4) Affordable housing – Carnegie activity centre has also been targeted for this again but is this just because everything undesirable in other areas is dumped on Carnegie?

- I very much hope that a double standard will not be applied with this not being supported in Caulfield and so now being pushed into Carnegie.
- I very much oppose affordable housing in the Carnegie activity centre as this implies the promotion of further apartments as well as potentially a lowering of quality to achieve affordability.
- Affordable housing would be best accommodated in areas highlighted for promotion of community spirit rather than in an overcrowded activity centre.

Although at first glance the strategy looks attractive and it certainly does promise some improvements, I am extremely disappointed that there is no commitment to protect Carnegie and its' residents.

Carnegie activity centre is at risk of becoming an undesirable area with its concentration of everything that no one else wants in their suburb.

[REDACTED]

SUBMISSION 19

Hi Aidan,

Was nice to meet you and discuss about East Village and the future development plans in our area.

As discussed please find attached letter to formally apply for a rezoning of our property and the East Village Opportunity & Vision presentation we went through.

Looking forward to your reply,

Best regards,

[REDACTED]

20/06/2017

Att:

Mr Aidan Mullen, Manager City Futures
Planning and Place - Glen Eira City Council

Subject: Rezoning of [REDACTED]

Dear Sir,

We the undersigned are the owners of [REDACTED]

The property is currently Zoned Neighbourhood Residential (NRZ1)

The purpose of this letter, following discussions with Council, is to formally apply for a rezoning of the property to Mixed Use (Schedule 1)

1. Background.

- The property is located on the south east corner of North Rd and Cobar St East Bentleigh.
- North Rd is now a divided major arterial road with 2 lanes in each direction and carries high levels of traffic.
- In addition, following earlier road widening, the southern boundary of North Rd is very close to the front of our dwelling at [REDACTED]
- The western boundary of the property also fronts Cobar St which, together with its extension via Griffith Ave, provides access to the commercial, industrial and car parking usage on land bounded by North Rd, East Boundary Rd, Cobar St and Virginia Park to the south.
- The land opposite [REDACTED] across Cobar St is in an industrial zone but is more generally used for commercial premises including a substantial Honda car dealership on the south west corner of North Rd and Cobar St.
- South of [REDACTED] and the 3 adjoining properties along Cobar St, the land also comprises extensive commercial properties.
- It is apparent therefore that even at this time [REDACTED] is not suitable as a low density neighbourhood zone where development "respects the identified neighbourhood character" and which is a "minimal change area."

2. East Village.

2.1 A major planning process is under way to support the proposed large scale development of the land opposite [REDACTED] identified above as being bounded by North Rd, East Boundary Rd, Cobar St and Virginia Park to the south. The East Village Master Plan envisages :

- A mixed-use neighbourhood providing a range of residential types and sizes to cater for changing demographic needs of the area
- A community and education site allocation for a potential community and education facility or associated with an existing education facility
- A lifestyle, retail and services general zone to accommodate this need with a focus on open space

- An innovation and employment precinct including a dedicated area for modern employment plus:
- Aged care as part of a mixed-use residential area.

- 2.2 Building heights in the proposed East Village plan are indicated as being from 3-8 levels with the core area of the proposed development being at 6-8 levels.
- 2.3 McKinnon College has already indicated a potential plans to locate a new campus as part of the development.
- 2.4 Clearly there will be a major intensification of uses at East Village including high employment and visitor numbers together with traffic intensification, including along Cobar St which is designated as a key access point to the project.

Proposed Zoning

- 3.1 Clearly NRZ is not suitable now as a zoning for [REDACTED] East Bentleigh and this situation will increasingly be the case as East Village develops, either under the current Masterplan, if approved, or via alternative development if it is not approved, given that many uses on the existing East Village property have outlived their effective life.
- 3.2 A Mixed Use Zone is considered as appropriate for [REDACTED] because it allows for a range of uses compatible with the existing uses to the west of Cobar St and the uses proposed in the current East Village Masterplan.
- 3.3 Schedule 1 to the Mixed Use Zone is also considered as appropriate because it will enable flexibility in building height, including the possibility of residential over commercial uses, and thus assist in creating a transition area to the east of Cobar St as East Village proceeds.

We request your favourable consideration of this proposal.

Sincerely yours,

[REDACTED]



The Opportunity The Vision

MAKE EAST VILLAGE BENTLEIGH EAST AUSTRALIA Number 1 International Innovation and Technology Centre

[Click here](#) → *Innovation statement: PM Malcolm Turnbull calls for 'ideas boom' as he unveils \$1b vision for Australia's future*

[Click here](#) → Melbourne-ranked-top-tech-city-Australia

[Click here](#)

<https://www.themartec.com/insideloook/40-melbourne-startups-to-watch-in-2017>

EAST BENTLEIGH EAST

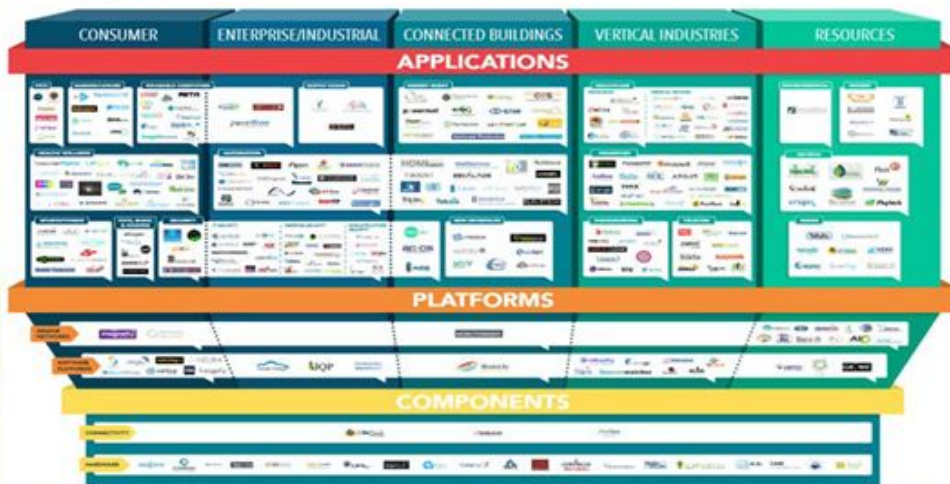
○ INNOVATION

○ INNOVATION

○ [Click here](#) → **INNOVATION**

**2015 ISRAELI INTERNET OF THINGS
Landscape**

INNOVATION
ENDORSERS





The Vision

What are the Benefits?

Better employment Sustainable employment hub for the 21st century

Better Education Integrate the need for education and community facilities

Better Traffic and Transport Add Traffic options and Improve Traffic flows *

Better Environment and Facilities More green spaces and public uses.

Better Housing Housing and community service opportunities *

Better work Life balance Development of the precinct to address community needs and priorities

[Click here → EAST VILLAGE MASTER PLAN NSW](#)

Best place to live in
Make Bentleigh East the Number One premium suburb!

How to achieve the Vision?

Engage the community

Engage the Federal Government

Engage Local and International Investors

Engage Research Institutes and The Chief scientist

Engage professionals and experts to make it happen

Engage at least one first world class Technology Organization



Encourage startups entrepreneurs young technology companies to operate and to BE in East Village

Provide Framework and Services to support INNOVATION



Provide Framework and Services to support INNOVATION

One stop shop innovation center to include all under one roof

Employment Hub

High-tech Industrial park and technology greenhouse

International Convention and Congress Centre

Governments offices chief scientist

Commerce law and legal firms

Training and Professional education

Travel and logistics services

Financial and accounting services

ICT Engineering Design and planning services

Commerce business development and Marketing

Retail shops restaurants and cafes

Sport and leisure facilities

Easy clean Transportation



Local and International Technology parks

[Click here → ISCAR Kfar Vradim](#) **ISRAEL**

[Click here → Tefen Industrial Park and the Open Museum](#)



The Industrial Parks are, in effect, incubators for the development of young and established industries. The primary goal of the Parks is to support and encourage the development of business ideas and initiatives, geared towards innovation and technology.

Technology parks around the world

- [Technology Park Bentley WA](#) - West Australia 
- [China's high-tech innovation industry](#) - China 
- [Singapore Science Park](#) - Singapore 
- [Matam Park](#) - Israel 
- [Norway's Cancer Innovation Park](#) - Norway 
- [Docklands Innovation](#) - Ireland 
- [Kanagawa Science Park](#) - Japan 

"Everything begins with an idea" Earl Nightingale



Science Museum Along green areas

Click here → <http://davidson.weizmann.ac.il/en/garden-of-science>



Interactive Garden, Skateboarding plaza

Booran Reserven



**Free LI-WI (New wi fi) Zone , Bluetooth
MUSIC and information points**



**Aged care and schools to establish Mutual Young and
Senior programs**



Local Radio\TV station



**Fruit and vegetables garden , Indoor Vertical garden, roof
top gardens , recycle rain and wastewater, generate solar
power to sell electricity back to the grid**

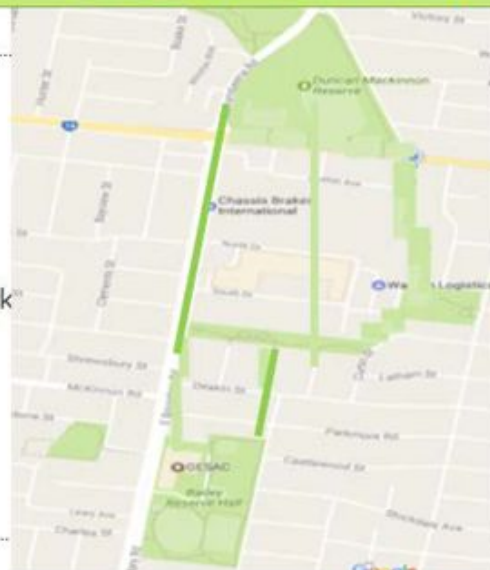


Click here → **Extend Duncan McKinnon reserve over North
Road and Get traffic under or over**

EAST VILLAGE BE IMAGINING THE
BENTLEIGH EAST
INDUSTRIAL PRECINCT

**Create a continues green corridor by connecting Packer park
,Duncan McKinnon Reserve Marlborough Street Reserve
, Virginia park and Bailey Reserve**

Click



EAST VILLAGE BE IMAGINING THE
BENTLEIGH EAST
INDUSTRIAL PRECINCT

Traffic -- Traffic --Traffic -- Traffic

Engage VPA -- VICROADS-- GE council -- DPC -- Traffic and infrastructure authorities

- ✓ Shuttle bus on North road towards Ormond, Gardenvale, Murrumbeena and Carnegie stations.
- ✓ Autonomous vehicles / buses (Long term)
- ✓ Encourage carpooling by giving benefits to drivers and passengers.
- ✓ Provide underground parking under east village site.
- ✓ Provide direct access to underground parking from main gateways
- ✓ Connect Frankston line and Pakenham line by Light Rail transit (LRT) along Murrumbeena Rd - East Boundary Road - Rowans Road.

What else we want to see in the precinct



Second McKinnon secondary campus



More options for after school activities and Education support services



Music and Art Centre Conservatorium Centre



Supermarket restaurants and specialized retail shops



Underground parking



Train or Tram station and Shuttle Buses



More options for night life such as Cinemas Theater, Culture Centre , Dance studio , multimedia studio



Community Centre to provide place to segments with unique needs Teenagers and Youth faculties



Closed off leash dog park and theme shop



Circular path for jogging , walking or cycling along the connected parks

SUBMISSION 20: PETITION WITH 123 SIGNATURES

To Whom It May Concerned

We are writing this letter with regard to the proposal of Virginia park rezoning plan. As our elected local councillor for Tucker Ward, we wish that you could represent all of the residents signed on this letter and pass on our proposal to the decision maker of Virginia Park / East Bentleigh Village redevelopment project.

WHAT WE DO NOT WANT:

1. Worsen local traffic congestion.

The proposal concentrate on providing a revamped business park with multiple housing and significantly increment of local population. This will worsen the already overloaded traffic. Current traffic flow of North Road, East Boundary Rd and Murrubeena Rd have reach its maximum capacity. Any plan to add regular or permanent resident will cause peak time traffic chaos.

2. Another new secondary school.

There is no need for a new secondary school in this area. There are four state high schools and a few independent and private schools in the areas. Most of schools haven't reach their capacity yet. There are mature transport networks for students to reach to these schools. Use these resources wisely! New secondary school is not needed in this small village! School causes significant traffic during two peak times and potential safety concerns for problem the commuters on these busy roads. Even the newly built childcare center on Bentleigh East had caused multiple traffic accidents, it is extremely dangerous for students to go to school built on a busy road during peak hours.

Please don't put our children in danger.

As per our discussion with hundreds of locals signed here, most of them thought the plan would include a new campus of Mckinnon secondary college. Would that eventually happen? What if there is no new campus? Please note no one would like to send their kids to a new school without any reputation.

3. Less business, less work opportunities.

Rezoning will cause local residents to lose their opportunities to work locally. Why can't we keep something for our future generation?

There are several businesses currently operating as usual in Virginia Park, I know that there are local people who work there. What will happen to them after rezoning? Shouldn't we encourage people to work closely to their homes to provide more efficiently work hours? Please also consider the future employment opportunities for our children. A sustainable business is the basis of a community development. The last piece of land in this area for commercial industrial/business is about to turn into a housing jungle. Do we really want that happen?

On the contrary, keep this area for commercial use only will create more job opportunities for the local community.

4. Overpopulated community

According to the newly published "Activity Centres Snapshot", this area is already overpopulated. We don't want to live in the jungle of residential properties. We need to correctly plan and use this commercial site to serve locals better.

As seen in the "activity centres snapshot comparative measurement" published on February 2017, the so called "East village": There is a 0.98% land use for commercial, while the population is 6909. Based on the 2011 census data, We are overcrowded already. Look at the population in this area now. Look at how many new subdivisions are in this area! We don't need any new residential properties built in this area. We are longing for a better commercial/ business side to serve locals better.

What we expect in the East village:

1. A new shopping district / supermarket so the current Bentleigh East residents don't need to drive to Bentleigh or Carnegie to shop for a bottle of milk or a loaf.
2. A community hub. The facility can be shared by locals, local primary and secondary schools. Especially for Mckinnon Secondary College, a sport center is required for school sport.
3. More companies , business, more job opportunities.
4. Retirement village / Age care.
5. Local medical Service – Children, Elderly, Emergency and etc.

Please provide more transparency on the plan progression and status. Every household in the area should be clearly informed if this plan goes ahead and of how it will affect their livelihood.

Only few of us have attended a community meeting for the so called "East Village" which is actually Virginia Park on 24 May 2017. There are still a lot of us who did not attend the community meeting, because some of us don't know what the "East Village" is really about? The meeting minutes published online is actually not very accurate.

Thank you for taking your time to read this email. Please forward this to any relevant departments or persons. More importantly, I wish that you could vote "NO" to the rezoning proposal. I look forward to hearing from you soon.

Kind Regards,

Please see attached signature from our local residents to support our proposal states here.

SUBMISSION 21

Dear planner:

this is regarding the development of east village. I currently am working in overseas so I could not attend the community session yesterday.

I have to object to the development.

Shopping centre :

I believe it is not possible to have a Coles/Woolworths supermarket, though many people may like them to come. other small chain, like IGA are very expensive, and there is already one on the corner of Centre Rd/ E Boundary Rd. small grocery shops are too hard to survive, 2 minutes drive to north or south, there are already existing shops. I live on east boundary for years, and I usually go to Oakleigh/Chadstone, two shopping centre are very well developed, many shops and restaurants, easy for people to meet and stay. otherwise I go Bentleigh, not far at all. there is no buses/train on E Boundary Rd.

New School:

new school is good idea, however, if it is not a migration of McKinnon SC, then I can't support the idea, we want good school, not new school. it take years to build that reputation. I have spend all my savings to live in the school zone, that zoning means my kid's future. can't agree with re-zoning McKinnon SC zone? unless it is the same school, same teacher, same principal. we have already so many townhouses and various developments in the area, and parking is already big issue in the area. big apartment is not acceptable to me. it is not necessary, developers only care about sales income, not the load on the community and infrastructure.

So leave it as it is:

i use the pool gym in virginia park, my kids go to train martial arts and play at kids place. we like it as it. affordable. we don't need underground parking in the suburb. if government want to create jobs and help business, i think building a better business park, a workplace and attract more people work on the site is much better direction. office building and industrial site is ok. more jobs is asset, more resident is a debt.

Regards

[REDACTED]

SUBMISSION 22

Submission to the Glen Eira Community Plan and Activity Centre, Housing and Local Economy Strategic Review, made on behalf of the Caulfield Community by the [REDACTED].

Glen Eira Council has emphasized, correctly in our opinion, that Community Consultation is the successful path to good governance, and it is currently preparing a 2017-2023 Community Plan. The Caulfield Commerce Association, by organizing a forum to discuss the future of its area, supported this premise and on 24 April some 50 concerned residents, tenants and property owners were introduced to Council's CEO, Ms. Rebecca McKenzie. She discussed the Community Plan, and the introduction of a City Futures Department whose officers are undertaking, for the first time in Glen Eira, a comprehensive Structure Plan. Following expressions of concern she offered to "look beyond the city's five major activity centres" to other areas, and to Caulfield in particular as being particularly suitable for higher density commercial development.

This concern is the focus of our submission.

At the forum participants expressed anxiety that Caulfield was treated as 'second rate'. It is rated in "Vision – 2031" as "no change", while Glen Huntly, Caulfield Station, East Village and Moorabbin are quietly elevated in status. We draw your attention to Caulfield's ranking as having the fifth greatest area of floor space dedicated to retail – refer to Council's "Activity Centres Snapshot" page 6.

We believe we deserve Activity Centre status.

Over the past thirty years we have watched as Council invested time and money in Elsternwick, and ignored Caulfield. Last month Council debated support for Elsternwick's traders during redevelopment of their supermarket, including parking and a rate levy to help promote the centre. Caulfield's request for a special rate scheme was rejected thirty years ago. Since then all four banks have closed, along with two newsagents and two greengrocers - only to be replaced by a plethora of cafes and restaurants – and empty spaces.

Caulfield recently lost an opportunity for a supermarket whereas two are presently on the drawing board for Elsternwick. We are fortunate to have retained 'anchors' such as the primary Post Office, the Caulfield Primary School, Penhalluriack's and quality pharmacies, but Caulfield also has many large sites just waiting to be developed. We don't want to see our 'anchors' close just to be replaced with three-level apartments – those "little boxes made of ticky-tacky" <https://www.youtube.com/watch?v=n-sQSp5jbSQ> that Pete Seegers' warned us about back in 1963.

We would like to see new buildings that accommodate people at work. This would encourage "shop local" and eliminate the need for our dormitory community to travel to Elsternwick or Glen Huntly.

Over many years locals have invested emotionally and financially in this area. They have made long-term investments in homes for their families, and created life-styles and employment in shops and offices. Many feel bitterly disappointed.

Caulfield has many significant consolidated land-holdings in excess of 2,000m². We would like to see a planning scheme that rewards larger sites, and encourages discretionary (not mandatory) development. This will return real benefit to the community – and that is also what our community wants.

We do not like playing second fiddle to Elsternwick and Glen Huntly, and we strongly recommend that council's planners takes a holistic view, and zone our two tram-lines as longitudinal business zones, with emphasis placed not just on housing but on facilities that 'both serve and service the local community'".

Caulfield has an important tram-junction that provides north-south access along Hawthorn Road and which has exciting potential to develop commercially, providing employment opportunities and encouraging local businesses to provide for the needs of residents living in the many new apartments in our area.

We also have excellent public transport and infrastructure, but have somehow been left adrift in the middle section of Glen Huntly Road, between the two railways.

We would like to nominate a member of the [REDACTED] to represent our community on any Committee, and to be actively involved in the strategic planning and future development of this as a commercial area.

Finally, you will notice we have used the name Caulfield throughout this submission. We feel this better reflects the community that we represent and for whom we speak. Melway indicates that Caulfield covers both the north and south sides of Glen Huntly Road, from Kooyong Road in the west to Grange and Booran Roads in the east, and as far north as the Town Hall on Glen Eira Road.

For your kind consideration please,

[REDACTED]

12th June 2017

SUBMISSION 23

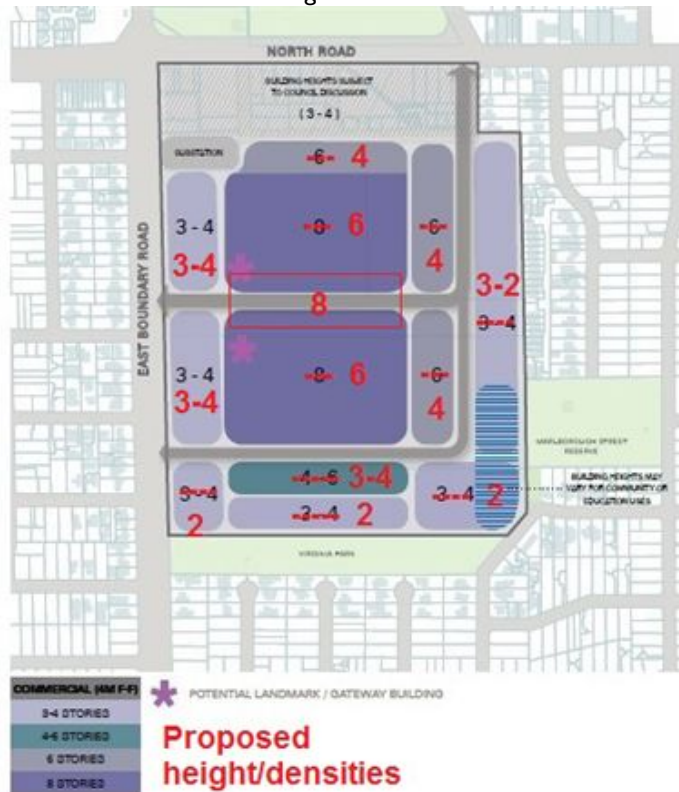
From: [REDACTED]
Sent: Sunday, 16 April 2017 10:08 AM
To: Glen Eira City Council
Subject: THOUGHTS ON THE FUTURE OF EAST VILLAGE

Although a “brown field” site, to ensure future development results in a sustainable, socially and economically viable community that enhances the surrounding area, the site should be viewed as “green field”. Vehicular and pedestrian access to the site and the site’s facilities, are key to determining the viability of the redevelopment. The creation of precincts (ie. designated areas within the site that provide various community oriented facilities or business focuses) is good, however, determining the location and heights/densities of precincts based on the site’s existing internal road network may not result in a desired community outcome.

[REDACTED] requests that the following points be considered

Building Heights/Densities – ranging from 2 to a “core height” of 8 stories.

Refer to below illustration (previously presented in November, 2016 presentation) for clarification on indicative heights/densities.



Core of Village to comprise

Retail and Commercial areas, including shops and stores as per planning definitions (GE Planning Scheme – Clause 72). To become a centrally located, vibrant village hub.

Public transport connections

Open Space provisions (ie. communal areas and playground)

Potential location for Retirement Village

Buildings

All buildings above 2 stories to have graduated setbacks to reduce building dominance

All residences to have private open space (eg. courtyard at ground level, balconies at higher levels).

Density levels defined and applied to site.

Diversity of housing types (townhouses vs. apartments) and sizes (1,2, 3 bdr). Ratio specifying no. of 3 bdr to 1 & 2 bdrs dwelling defined and applied.

Mandatory requirement for inclusion of social housing.

ResCode parking requirements applicable across site (no waivers granted)

Below ground basement car park areas not to exceed above ground building envelope

Precincts/Areas differentiated by architectural variations and landscaping.

Proposed bus route

Road accommodating bus route to accommodate bus stops without impacting traffic (vehicle and cyclist) flow.

Road network

Vehicle movements to/from site impact on existing traffic congestion in North and Boundary Roads to be minimized.

To include free, time restricted on/off street parking provisions

Possible inclusion of paid off street parking

Pedestrian connectivity

Safe pedestrian connectivity between all precincts/facilities and adjoining parkland (Marlboro Reserve and Virginia Park)

If shared pedestrian vehicular connectivity, separation between vehicles and pedestrians provided (e.g. kerbing, bollards)

Proposed School

Provision of vehicle drop off/pick up points

Proximity to public transport to be considered

Height limits (consistent with surrounding precincts/areas) to be defined and applied if proposed school does not eventuate

Proposed Retirement Village

One on-site car park provided for each unit, on-site visitor parking to be provided

Height limits (consistent with surrounding precincts/areas) to be defined and applied if proposed retirement village does not eventuate

Possible location in "core" precinct/area to be considered

Vegetation

Mature canopy trees to be planted in ground (not above ground planter boxes) – refer requirement for below ground basement car parks not to exceed above ground building envelope

Open Space

Given the magnitude of the site, medium density development will generate a substantial increase in the demand for, and usage of, surrounding parkland. The proposed Open Space Levy of 6% (being marginally higher than that charged for smaller developments – 5.7%), is felt to be inadequate to meet the open space needs of the future residents. A more appropriate levy would be 8-10%.

Within the site, open space (grassed areas and playgrounds) to be provided in accordance with forecast demographics



SUBMISSION 24

From: [REDACTED] >

Date: 6 July 2017 at 3:53:32 pm AEST

To: <amullen@gleneira.vic.gov.au>

Subject: City future development

Dear Aiden

I have just received an email from the President of the Caulfield Commerce Association.

He, and nearly all the traders of the South Caulfield Shopping Centre believe that our centre and the businesses that we operate within the centre are under threat.

Our shopping centre is the 4th largest in the City of Glen Eira has been designated as a fallen down structure ie NOT WORTHY OF COUNCIL'S FUTURE ATTENTION.
It has been declared as an area of NO CHANGE

Apparently this is a conclusion reached by council after community consultation.

As a rate payer of several properties within the City of Glen Eira I have not been consulted at all. Therefore I am not sure what consultative process you have undertaken.

Secondly as a business owner I find your conclusions that our shopping centre which has been designated as a "fallen down structure" and not worthy of council attention to be reprehensible and very short sighted.

We are part of the city that YOU work for and I would expect that the COUNCIL and its COUNSELLORS work for all the inhabitants and rate payers of the City of GLEN EIRA rather than some at the expense of others

IF you consider our shopping centre to be fallen down WHY should we continue to pay rates and taxes.

I am sure that I speak for the vast majority of rate payers that they would want their rates to be spent on their area of investment

Once again I think this pending decision is intolerable and I will do the utmost in my power to try to get the COUNCIL to do the MORALLY RIGHT thing and invest in our shopping centre as well.

Your course of action has the potential to send many good people down the path of ruin

Yours

[REDACTED]

[REDACTED]

I would appreciate a call so that we can discuss this very important matter

SUBMISSION 25

|

An important message from

Dear Neighbour,

Council has plans to downgrade what can be built in our area, and concentrate development in Elsternwick, Glen Huntly, Carnegie and around Caulfield Station. (The proposed Virginia Estate and the Caulfield Station/Phoenix/Monash University and the Melbourne Racing Club's development north of Station Street will together contain thousands of new multi-story dwellings.)

As a ratepayer (landowner or tenant) of the Caulfield/Caulfield South area it is in your interest to demand that your Council actively encourages significant development of our strip.

made a submission through a public meeting on 24 April when speakers requested equal status with Elsternwick and Glen Huntly. Despite attendance by Members of Parliament, Councillors and Council Officers **this has not translated into action**. Subsequently the made a formal submission, which is attached.

We suggest, since you are part of the Glen Huntly Road axis, that you make your personal feelings known by ringing or writing to:

Ms Rebecca McKenzie,
CEO, City of Glen Eira,
rmckenzie@gleneira.vic.gov.au
9524 3333
P.O. Box 42,
Caulfield South 3162.

For further information you can view the map of Council's draft strategic plan at: <http://www.gleneira.vic.gov.au/Planning-and-business/Strategic-Planning/Our-Citys-future/Draft-Activity-Centre-Housing-and-Local-Economy-Strategy>

To view the full strategy visit:
www.gleneira.vic.gov.au/planningforthefuture

A table showing the proposed ranking of Glen Eira's commercial districts is shown on page 2. That table says it all**Caulfield South "NO CHANGE"!**
Sorry Councillors/Council Officers, that's just not good enough.

3 July 2017

Page 1 of 2

Neighbourhood	Current policy status	Reason for proposed change in policy
Proposed activity centre type — health, education and innovation precinct with urban renewal		
Caulfield Station Precinct	Phoenix precinct	Updated position with stronger focus on job and education growth anchored off university.
Proposed activity centre type — emerging health, education and innovation precinct		
East Village	Affected by Minimal Change Area Policy though nominated as an employment hub within Council's Municipal Strategic Statement.	Updated position to realise the needs of future smart industry, within a mixed precinct of jobs, housing and retail.
Proposed activity centre type — major activity centre with urban renewal		
Carnegie	Urban village	Due to its proximity to Dandenong Road, there are greater opportunities for housing and job growth through urban renewal along Dandenong Road.
Elsternwick	Urban village	Due to its proximity to Nepean Highway, there are greater opportunities for housing and job growth through urban renewal along Nepean Highway.
Proposed activity centre type — emerging major activity centre with urban renewal		
Moorabbin Junction	Neighbourhood centre	Recognising the role of the entire centre of Moorabbin Junction which is shared with Glen Eira, Kingston and Bayside. Due to its proximity to Nepean Highway and South Road, there are greater opportunities for housing and job growth through urban renewal.
Proposed activity centre type — major activity centre		
Bentleigh	Urban village	Due to its suburban residential context, there is less opportunity for housing and job growth through urban renewal than other major activity centres.
Proposed activity centre type — emerging major activity centre		
Glen Huntly	Neighbourhood centre	A large centre with an existing supermarket, on a train and tram line. The centre has an existing dense population catchment, and opportunity for further growth through exploration of underutilised land, and a potential future grade separation project.
Proposed activity centre type — neighbourhood centre		
Alma Village	Neighbourhood centre	No change
Bentleigh East	Neighbourhood centre	No change
Caulfield Park	Neighbourhood centre	No change
Caulfield South	Neighbourhood centre	No change
Gardenvale	Local centre	Recognising the role of the entire centre of Gardenvale, which is located in both Glen Eira and Bayside.
Hughesdale	Neighbourhood centre	No change
McKinnon	Neighbourhood centre	No change
Murrumbeena	Neighbourhood centre	No change
Ormond	Neighbourhood centre	No change
Patterson	Local centre	Recognising that Patterson has a community supermarket and train station, serving the needs of its local neighbourhood.
Ripponlea	Local centre	Recognising the role of the entire centre of Ripponlea, which is located in both Glen Eira and Port Phillip.
Proposed activity centre type — commercially zoned land		
Oakleigh South	Emerging neighbourhood centre	Needs further exploration to better understand the potential of the centre to work with the Monash side to become a neighbourhood centre.

Submission to the Glen Eira Community Plan and Activity Centre, Housing and Local Economy Strategic Review, made on behalf of the Caulfield Community by the [REDACTED].

Glen Eira Council has emphasized, correctly in our opinion, that Community Consultation is the successful path to good governance, and it is currently preparing a 2017-2023 Community Plan. The [REDACTED], by organizing a forum to discuss the future of its area, supported this premise and on 24 April some 50 concerned residents, tenants and property owners were introduced to Council's CEO, Ms. Rebecca McKenzie. She discussed the Community Plan, and the introduction of a City Futures Department whose officers are undertaking, for the first time in Glen Eira, a comprehensive Structure Plan. Following expressions of concern she offered to "look beyond the city's five major activity centres" to other areas, and to Caulfield in particular as being particularly suitable for higher density commercial development.

This concern is the focus of our submission.

At the forum participants expressed anxiety that Caulfield was treated as 'second rate'. It is rated in "Vision – 2031" as "no change", while Glen Huntly, Caulfield Station, East Village and Moorabbin are quietly elevated in status. We draw your attention to Caulfield's ranking as having the fifth greatest area of floor space dedicated to retail – refer to Council's "Activity Centres Snapshot" page 6.

We believe we deserve Activity Centre status.

Over the past thirty years we have watched as Council invested time and money in Elsternwick, and ignored Caulfield. Last month Council debated support for Elsternwick's traders during redevelopment of their supermarket, including parking and a rate levy to help promote the centre. Caulfield's request for a special rate scheme was rejected thirty years ago. Since then all four banks have closed, along with two newsagents and two greengrocers - only to be replaced by a plethora of cafes and restaurants – and empty spaces.

Caulfield recently lost an opportunity for a supermarket whereas two are presently on the drawing board for Elsternwick. We are fortunate to have retained 'anchors' such as the primary Post Office, the Caulfield Primary School, Penhalluriack's and quality pharmacies, but Caulfield also has many large sites just waiting to be developed. We don't want to see our 'anchors' close just to be replaced with three-level apartments – those "little boxes made of ticky-tacky" <https://www.youtube.com/watch?v=n-sQSp5jbSQ> that Pete Seegers' warned us about back in 1963.

We would like to see new buildings that accommodate people at work. This would encourage "shop local" and eliminate the need for our dormitory community to travel to Elsternwick or Glen Huntly.

Over many years locals have invested emotionally and financially in this area. They have made long-term investments in homes for their families, and created life-styles and employment in shops and offices. Many feel bitterly disappointed.

Caulfield has many significant consolidated land-holdings in excess of 2,000m². We would like to see a planning scheme that rewards larger sites, and encourages discretionary (not mandatory)

development. This will return real benefit to the community – and that is also what our community wants.

We do not like playing second fiddle to Elsternwick and Glen Huntly, and we strongly recommend that council's planners takes a holistic view, and zone our two tram-lines as longitudinal business zones, with emphasis placed not just on housing but on facilities that 'both serve and service the local community'".

Caulfield has an important tram-junction that provides north-south access along Hawthorn Road and which has exciting potential to develop commercially, providing employment opportunities and encouraging local businesses to provide for the needs of residents living in the many new apartments in our area.

We also have excellent public transport and infrastructure, but have somehow been left adrift in the middle section of Glen Huntly Road, between the two railways.

We would like to nominate a member of the [REDACTED] to represent our community on any Committee, and to be actively involved in the strategic planning and future development of this as a commercial area.

Finally, you will notice we have used the name Caulfield throughout this submission. We feel this better reflects the community that we represent and for whom we speak. Melway indicates that Caulfield covers both the north and south sides of Glen Huntly Road, from Kooyong Road in the west to Grange and Booran Roads in the east, and as far north as the Town Hall on Glen Eira Road.

For your kind consideration please,

[REDACTED]

12th June 2017

SUBMISSION 26

From: [REDACTED]
Date: 7 July 2017 at 10:50:39 am AEST
To: "Aidan Mullen (AMullen@gleneira.vic.gov.au)" <AMullen@gleneira.vic.gov.au>, "mail@gleneira.vic.gov.au" <mail@gleneira.vic.gov.au>
Cc: "[REDACTED]"
Subject: Glen Eira Activity Centre, Housing and Local Economy Strategy Review
Dear Aidan,

Please see attached submission to the Activity Centre Strategy.

Kind regards,

7 July 2017

Aidan Mullen
Manager City Futures
City of Glen Eira
PO Box 42
Caulfield South VIC 3162

via: AMullen@glenelra.vic.gov.au

Dear Aidan

**Glen Eira - Planning for the Future
Activity Centre, Housing and Local Economy Strategy**

Thank you for the opportunity to provide this submission, which has been prepared

As Council is aware, our client has acquired a number of adjoining lots, and has assembled a site of over 6,500sqm that represents the largest development opportunity site within the centre.

Council has prepared a draft *Activity Centre, Housing and Local Economy Strategy*. Our client shares a number of concerns with the [REDACTED] in relation to the strategic directions identified for smaller order centres.

In particular:

- The [REDACTED] land will be consigned to an under-utilisation under the Strategy in its current form.
- The Strategy lacks vision for the economic growth of smaller order activity centres within the municipality. The "no-change" designation for "South Caulfield" is opposed because it does not allow the centre to grow and unreasonably prejudices the commercial viability of the centre in favour of the nominated larger centres.
- The Strategy proposes limitations on the type and *quantum* of retail development within the centre. We do not believe these limitations are soundly based, and their introduction will be detrimental to the commercial viability of this centre.

We request the opportunity to elaborate on this submission through any further public consultation or process.

Yours sincerely

**ITEM 9.3 QUALITY DESIGN PRINCIPLES AND DRAFT CONCEPT PLANS
FOR BENTLEIGH, CARNEGIE AND ELSTERNWICK**

Author: *Aidan Mullen, Manager City Futures*

File No: *17/1195311*

Attachments: *1. Quality Design Principles*
 2. Draft Concept Plans for Bentleigh, Carnegie and Elsternwick

PURPOSE AND SUMMARY

Throughout 2017, the Glen Eira community has been actively engaged in planning for the future of Glen Eira and setting clear new visions for our activity centres. This *Activity Centre Planning Program* represents the most significant strategic review in recent times and is responding directly to and informed by ongoing community feedback.

The *Quality Design Principles* and *Draft Concept Plans* are a culmination of the community discussion undertaken so far and will lead to the implementation of:

- structure plans for our major activity centres; and
- guidelines for building design within other development areas in Glen Eira.

It is recommended that community feedback is sought for the *Quality Design Principles* and *Draft Concept Plans* through two rounds of community engagement before final City-wide *Building and Design Guidelines* and structure plans for Bentleigh, Carnegie and Elsternwick are put to Council for adoption.

RECOMMENDATION

That Council endorses the Quality Design Principles and the Bentleigh, Carnegie and Elsternwick Draft Concept Plans for the commencement of two rounds of community engagement.

BACKGROUND

Throughout the year, the Glen Eira community has been actively engaged through multiple rounds of place-based discussions, with a focus on '*Tell us what you love about your shopping strip*' and '*Transforming our neighbourhoods together*'. Altogether, more than 4,150 responses were received through these two rounds via online surveys, attendance to drop-in sessions, social media comments and formal submissions.

During these rounds of engagement, transformation concepts were presented to the community for feedback. The transformation concepts proposed public works within Council's major activity centres and level crossing removal centres. Based on the comments received, the concepts have been further refined and have been developed into *Draft Concept Plans* for Bentleigh, Carnegie and Elsternwick.

In May, officers prepared the *Draft Activity Centre, Housing and Local Economy Strategy* which sets out a framework that will guide the future of Glen Eira's activity centres, economy and housing, including a vision statement for each of Council's activity centres. The *Strategy* forms the strategic basis for the ongoing *Activity Centre Planning Program*, including the update of Council's *Municipal Strategic Statement* and the implementation of structure plans,

including for Bentleigh, Carnegie, Elsternwick and East Village. The final *Strategy* will go to Council for adoption at the 25 July Ordinary Council Meeting.

The abovementioned projects all form a basis for the attached documents; the *Quality Design Principles* and the *Draft Concept Plans* for Bentleigh, Carnegie and Elsternwick.

ISSUES AND DISCUSSION

Clear community feedback has been received regarding development activity in Glen Eira:

- Respect and celebrate the unique character of our neighbourhoods.
- Provide a more appropriate transition between higher and lower density housing types.
- Maintain and enhance the garden corridors of our residential streets, including protecting large canopy trees.

These are clearly important and emotive issues and are not addressed by controlling building heights or managing development rates alone.

In order to successfully address these community concerns regarding development as well as achieving the community's aspirations for reinvigorated activity centres, a fresh approach is required.

This fresh approach can be best described as putting the 'right buildings in the right locations'.

The *Quality Design Principles* outline what the types of buildings are preferred in Glen Eira's streets — buildings that are designed enhance the local character and help achieve the future visions for our activity centres. The *Quality Design Principles* also seek to create a range of building types that will help provide an appropriate transition in height, character and housing types throughout our neighbourhoods.

The *Draft Concept Plans* seek to apply these building types to the activity centres of Bentleigh, Carnegie and Elsternwick, guided by the objectives stated within Council's *Activity Centres, Housing and Local Economy Strategy*. The *Draft Concept Plans* seek to protect our significant character and heritage areas in all centres while also nominating areas of urban renewal in both Elsternwick and Carnegie, in locations that have less amenity impacts on our existing neighbourhoods.

Quality Design Principles

The *Quality Design Principles* are the first of a two-staged process. This first stage aims to set clear building design principles and define particular building types that will occur in our municipality.

Following the first round of community engagement, officers will prepare *Quality Design Guidelines* for future residential, commercial, mixed use and urban renewal development within Glen Eira. The *Quality Design Guidelines* will be detailed guidelines that include further information on setbacks, heights and building design. Further feedback will be sought on these guidelines before seeking adoption by Council.

Draft Concept Plans

The *Draft Concept Plans* are also the first of a two-staged process. The first stage aims to locate the right buildings in the right locations by applying the principles outlined in the *Quality Design Principles* and *Activity Centre, Housing and Local Economy Strategy*.

The *Draft Concept Plans* for each centre include:

Transformation Concepts: these projects aim to transform our community to benefit existing and future generations through major upgrades including parks, car parks and community hubs. The projects have been further refined based on feedback received through the *Transforming your neighbourhood together* engagement.

Building Transition Plans: The *Building Transition Plans* implement the objectives of the *Quality Design Principles* by applying the proposed building types to each activity centre based on the preferred location and the context of the immediate area.

Following the first round of engagement, officers will prepare *Draft Structure Plans* for Bentleigh, Carnegie and Elsternwick. Further feedback will be sought on the *Draft Structure Plans* before seeking adoption by Council.

Transport, parking and movement will be incorporated into the second stage of engagement (*Draft Structure Plans*). This section of the plan will be based on the layout of buildings and land use previously consulted upon and will be further informed by Council's draft *Integrated Transport Strategy*.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

The financial and resource implications are within the normal operation of the Council's City Futures Department.

POLICY AND LEGISLATIVE IMPLICATIONS

The final documents — *Building and Design Guidelines* and *Draft Structure Plans* — will implement the themes, visions and objectives that have been formed throughout the *Activity Centre Planning Program*.

A *Planning Scheme Amendment* will be necessary to implement planning controls.

COMMUNICATION AND ENGAGEMENT

The *Activity Centre Planning Program* has incorporated multiple stages of community engagement throughout 2017 which have informed the *Quality Design Principles* and the *Draft Concept Plans*.

It is recommended that community feedback is sought for the *Quality Design Principles* and the *Draft Concept Plans* over two rounds of engagement commencing immediately following endorsement by Council in July.

LINK TO COUNCIL AND COMMUNITY PLAN

Liveable and Well Designed: A well planned City that is a great place to live.

Accessible and Well Connected: A City that is easy to move around, full of safe travel options and walkable neighbourhoods.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The *Quality Design Principles* and *Draft Concept Plans* have been prepared based on previous rounds of community engagement. It is recommended that community feedback is sought through two rounds of engagement commencing immediately following endorsement by Council.

GLEN EIRA CITY COUNCIL

QUALITY DESIGN PRINCIPLES

JULY 2017 FOR CONSULTATION



GLEN EIRA
CITY COUNCIL

A photograph of a modern building with a balcony and lush greenery in the foreground. The building has a white facade and a balcony with a glass railing. The foreground is filled with various green plants and a stone wall.

CONTENTS

3 OVERVIEW

- Purpose
- What have we heard?
- Next steps
- How to provide feedback

RESIDENTIAL PRINCIPLES AND BUILDING TYPES

- 5 Key principles
- 14 Preferred building types

COMMERCIAL PRINCIPLES AND BUILDING TYPES

- 21 Key principles
- 29 Preferred building types
- 34 Summary of preferred residential and commercial building types

OVERVIEW

PURPOSE

The purpose of Glen Eira City Council's draft *Quality Design Principles* is to provide direction for future residential and commercial development in Glen Eira.

WHAT HAVE WE HEARD?

Through extensive activity centre planning engagement with the community since November 2016, we have received feedback in regards to the development occurring within Glen Eira:

- > **Respect and celebrate the unique character of our neighbourhoods.**
- > **Provide a more appropriate transition between higher and lower density housing types.**
- > **Maintain and enhance the garden corridors of our residential streets, including protecting large canopy trees.**

These are important issues and that cannot be addressed by controlling building heights alone.

In order to successfully address these community concerns, as well as achieving the community's aspirations for reinvigorated activity centres, a fresh approach is required.

This fresh approach can be best described as putting the 'right buildings in the right locations'.

The *Quality Design Principles* outline what types of buildings are preferred in Glen Eira's streets — buildings that are designed to enhance the local character and help achieve the future visions for our activity centres. This document seeks to create a range of building types that will help provide an appropriate transition in height, character and housing types throughout our neighbourhoods.

NEXT STEPS

Council's draft *Quality Design Principles* is the first of a two-stage process to develop Council's *Quality Design Guidelines*. This document comprises the first stage of the process by introducing design principles and preferred building types for Glen Eira.

Following community feedback, we will develop draft *Quality Design Guidelines* (stage two) and seek further feedback.

The *Quality Design Guidelines* will provide more detailed guidance by building on the stage one principles, including requirements for building setbacks and mechanisms that allow sufficient deep soil plantings for canopy trees.

HOW TO PROVIDE FEEDBACK

The opportunity to provide feedback will close on Sunday 3 September. Feedback can be provided via:

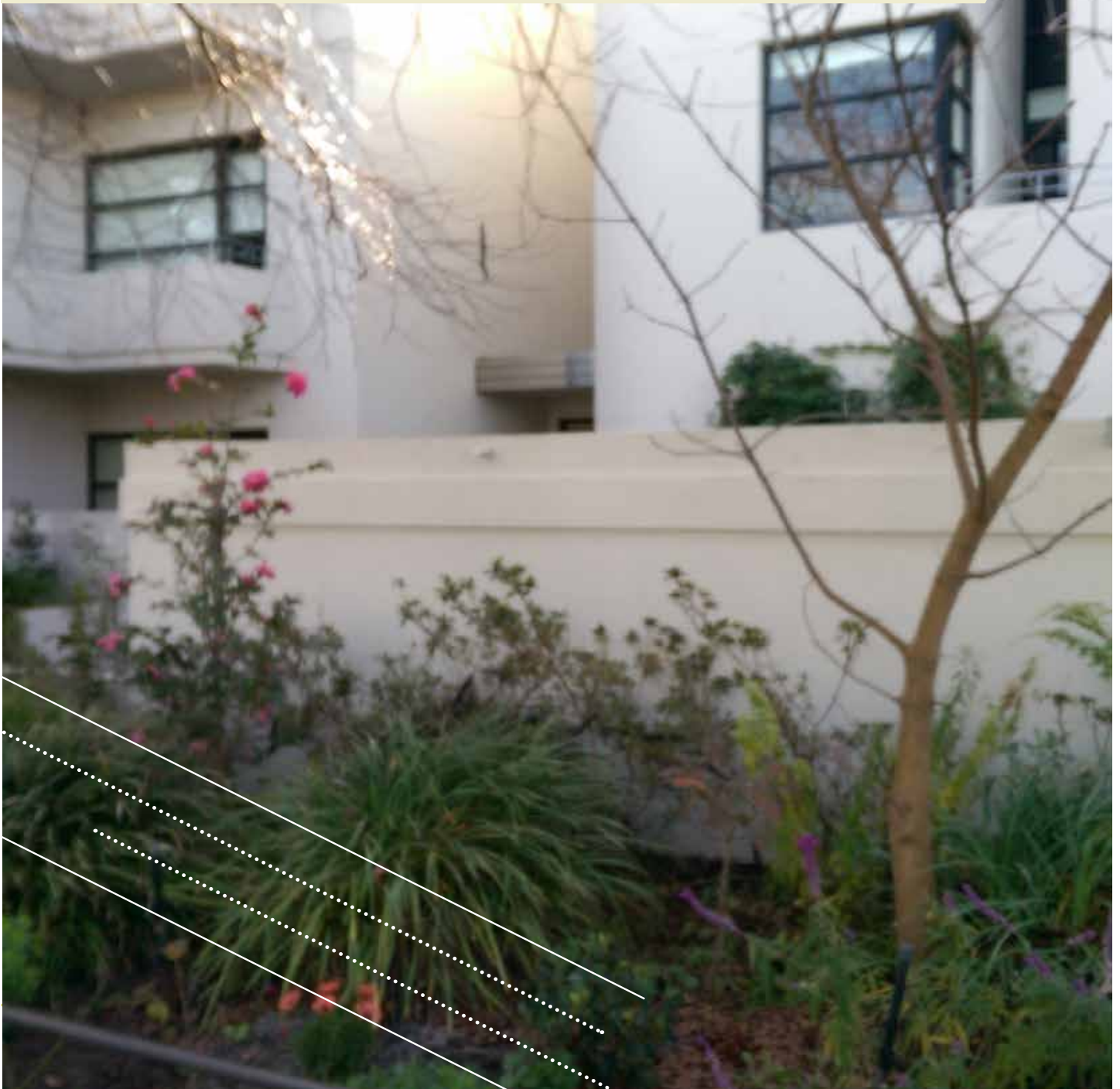
- > *Have Your Say*: www.gleneira.vic.gov.au/qualitydesignprinciples;
- > City Futures on 9524 3333; or
- > post: City Futures Department, PO Box 42, Caulfield South 3162.

For further information or to discuss this document, contact Council's City Futures Department on 9524 3333 or email mail@gleneira.vic.gov.au

For further information on planning terms, visit www.gleneira.vic.gov.au/planningglossary



RESIDENTIAL PRINCIPLES AND BUILDING TYPES



KEY PRINCIPLES



- > PRINCIPLE ONE — WELL DESIGNED BUILDINGS
- > PRINCIPLE TWO — QUALITY MATERIALS
- > PRINCIPLE THREE — RESIDENTIAL GARDEN SETTING
- > PRINCIPLE FOUR — CANOPY TREES AND GREENERY
- > PRINCIPLE FIVE — ACCESS AND PARKING
- > PRINCIPLE SIX — RESIDENTIAL ROOF FORMS
- > PRINCIPLE SEVEN — MANAGING OVERLOOKING
- > PRINCIPLE EIGHT — UNIVERSAL DESIGN

WELL DESIGNED BUILDINGS

Principle one

ENCOURAGE

1. Continuation of street rhythm, ie. front doors, windows, porches, garages and space between buildings.
2. Building pattern presenting to the street.
3. Heights and setbacks that respect the existing character of the area.



AVOID

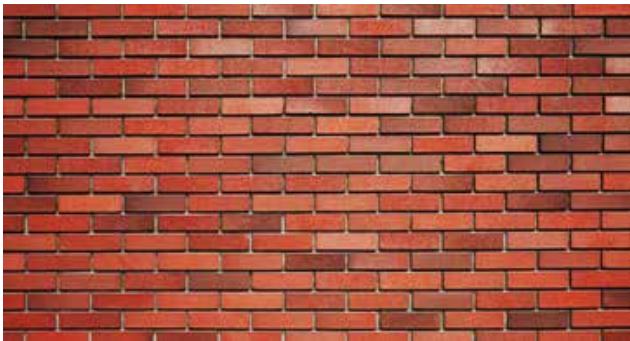
- > Oversized buildings that unreasonably impact neighbours.
- > Large blank frontages to the street.
- > Buildings that dominate the streetscape.

QUALITY MATERIALS

Principle two

ENCOURAGE

1. Long lasting, integral materials.
2. Safe materials that meet building regulations.
3. Materials that reflect a residential palette, such as bricks and durable timber.
4. Colours and textures that are sympathetic to their context.
5. Palette of materials that integrate elements of the existing streetscape.



AVOID

- > Cheap materials that imitate quality, eg. cement sheeting.
- > Materials that weather poorly and will require ongoing maintenance.
- > Materials that don't fit in with the neighbourhood character.
- > Colours and textures that dominate the streetscape.
- > A mix of too many materials resulting in visual clutter.

RESIDENTIAL GARDEN SETTING

Principle three

ENCOURAGE

1. Landscaped front yards.
2. Generous backyard corridors.
3. Garden area to be located at side or rear of building.
4. Maximised landscaping opportunities in common areas of apartment buildings.
5. Garden visibility from the street by reducing fence height and maintaining building setbacks.



AVOID

- > Tall, opaque front fences.
- > Primary secluded garden space in the front yard.
- > Buildings and basements that reduce planting opportunities for wide canopy trees.
- > Excessive paving.
- > Development impact on street trees.

CANOPY TREES AND GREENERY

Principle four

ENCOURAGE

1. Canopy trees in front and backyards.
2. Canopy trees around tall buildings.
3. Protection of significant trees.
4. Native plantings and wide canopies.
5. Reduce visual impact of building bulk through plantings.
6. Green buildings, planter boxes and rooftop gardens.



AVOID

- > Buildings and basements that reduce planting opportunities for wide canopy trees.
- > Excessive paving.
- > Development impact on street trees.

ACCESS AND PARKING

Principle five

ENCOURAGE

1. Reduction of the number of driveways for developments.
2. Vehicle access at the rear of the building and if inappropriate, at the side of the building.
3. Easy-to-use, accessible car parking.
4. Screen and integrate car park entry with residential presentation.



AVOID

- > Reduction of on-street car parking.
- > Reduction of landscaping opportunities.
- > Dominating wide-open basement entries.
- > Car park entries centrally located within building.

RESIDENTIAL ROOF FORMS

Principle six

ENCOURAGE

1. Sloped roofs that create a residential building form.
2. Top level incorporated into a sloped roof form that reduces sense of building scale.
3. Well designed, modern interpretation of a residential roof.
4. Green roofs.



AVOID

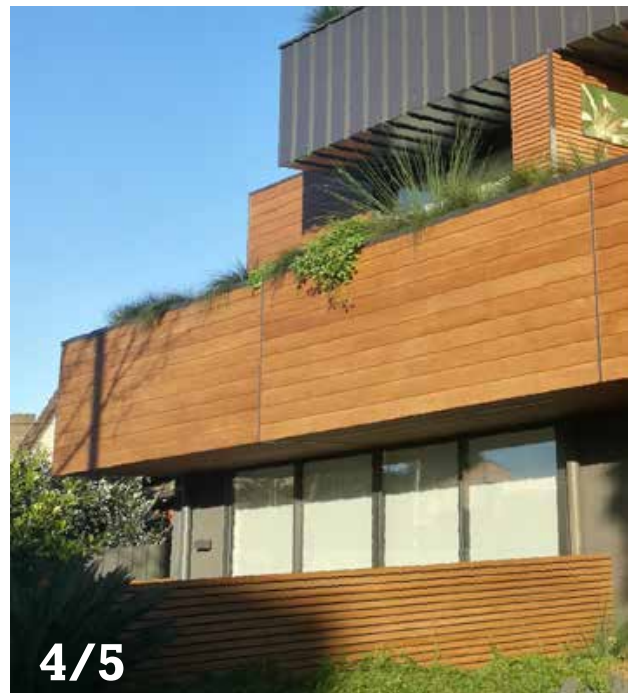
- > Flat roofs.
- > Mimicking roof styles that don't suit the building.
- > Roof forms that overly accentuate and increase building volume and height.
- > Roof forms that don't reflect the character of the neighbourhood.

MANAGING OVERLOOKING

Principle seven

ENCOURAGE

1. Appropriate setbacks from residential boundaries to avoid the need for screening.
2. Ground floor living areas for all townhouses.
3. Upper level living room windows and balconies to front and rear only.
4. Use of horizontal screens or planter boxes to prevent downward views.
5. Well designed and well positioned windows that manage overlooking properties, including using skylights on upper levels.



AVOID

- > Balconies and living room windows fronting residential side boundaries.
- > Reverse-living in townhouses where living room is above ground floor.
- > Reliance on 1.7 metre high screening that closes in homes and adds bulk to the building.
- > Balconies and living room windows that are too close to residential boundaries.

UNIVERSAL DESIGN

Principle eight

ENCOURAGE

1. Access for all.
2. Ground floor living and bedrooms.
3. Communal spaces for social interactions.
4. Environments suitable for pets.
5. Spaces to accommodate families' needs.



AVOID

- > Design that presents environmental barriers.
- > Buildings that do not provide options for a range of households.
- > Buildings that do not provide a communal space.
- > Environments that do not cater for pets.
- > Design that does not provide sufficient space for families.

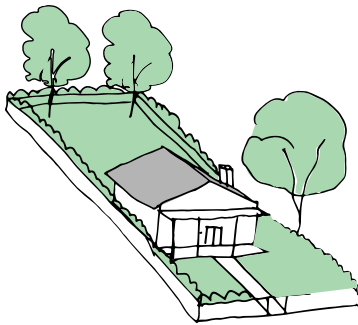
PREFERRED BUILDING TYPES



- > BUILDING TYPE ONE — HERITAGE/CHARACTER HOUSING
- > BUILDING TYPE TWO — SIDE-BY-SIDE TOWNHOUSE
- > BUILDING TYPE THREE — TERRACE TOWNHOUSE
- > BUILDING TYPE FOUR — TERRACE TOWNHOUSE/APARTMENT
- > BUILDING TYPE FIVE — GARDEN APARTMENTS

HERITAGE/CHARACTER HOUSING

Building type one



New housing within land affected by a Heritage or Neighbourhood Character Overlay that respects and celebrates the character of the area.

OBJECTIVE

To allow the development of sites within a Heritage or Neighbourhood Character Overlay area while ensuring minimal impact on the streetscape.

KEY ATTRIBUTES

- > One-to-two storeys (site-specific).
- > Sensitivity to site specific requirements.
- > Minimal impact on streetscape.
- > New additions concealed when viewed from street.

PREFERRED LOCATIONS

- > Residential areas with a Heritage Overlay or Neighbourhood Character Overlay.

HOUSING OPPORTUNITIES



GROUPS



COUPLES
WITHOUT
DEPENDENTS



ONE PARENT
FAMILY



COUPLES
WITH
DEPENDENTS



For further information on heritage buildings, refer to our draft Heritage Policy at www.gleneira.vic.gov.au/heritagepolicy

SIDE-BY-SIDE TOWNHOUSE

Building type two



Townhouses side-by-side on one lot in a garden setting.

OBJECTIVE

To provide low density housing options for couples and families in established residential areas.

KEY ATTRIBUTES

- > Side-by-side arrangement.
- > One-to-two storeys.
- > Minimal change to existing street character.
- > Generous garden area.
- > Two dwellings on a standard lot.

PREFERRED LOCATIONS

- > Existing low-scale residential areas.

HOUSING OPPORTUNITIES



GROUPS



COUPLES
WITHOUT
DEPENDENTS



ONE PARENT
FAMILY

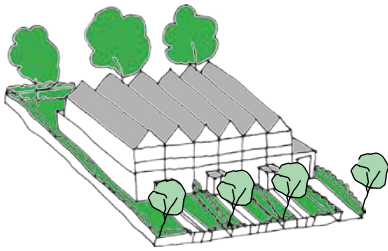


COUPLES
WITH
DEPENDENTS



TERRACE TOWNHOUSE

Building type three



Townhouses built in a row that are attached on both sides.

OBJECTIVE

To provide medium density housing consistently along a streetscape within a garden setting to accommodate couples and families.

KEY ATTRIBUTES

- > Side-by-side row arrangement.
- > Frontage to a road.
- > Two-to-three storeys.

PREFERRED LOCATIONS

- > Residential areas within major activity centres and neighbourhood centres.
- > Properties fronting major or arterial roads outside of activity centres.

HOUSING OPPORTUNITIES



LONE PERSON



GROUPS



COUPLES
WITHOUT
DEPENDENTS



ONE PARENT
FAMILY

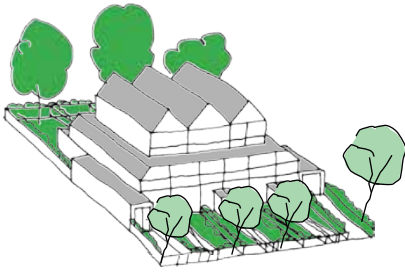


COUPLES
WITH
DEPENDENTS



TERRACE TOWNHOUSE/APARTMENT

Building type four



Terrace townhouses with an apartment positioned behind or recessed if on top of the townhouse.

OBJECTIVE

To provide dwelling choice to accommodate a range of households within a development while maintaining a consistent street interface.

KEY ATTRIBUTES

- > Incorporates townhouses and apartment(s) on the same lot.
- > Two-to-three storeys.
- > Garden landscaping.

PREFERRED LOCATIONS

- > Designated precincts within major activity centres and large neighbourhood centres with good access to public transport.
- > Residential areas along major and arterial roads and transport corridors.

HOUSING OPPORTUNITIES



LONE PERSON



GROUPS



COUPLES
WITHOUT
DEPENDENTS



ONE PARENT
FAMILY

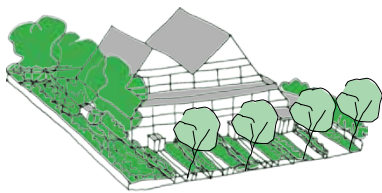


COUPLES
WITH
DEPENDENTS



GARDEN APARTMENTS

Building type five



Apartment dwellings in a garden setting.

OBJECTIVE

To provide apartment dwellings within low rise buildings for a range of households, while protecting the amenity of adjacent lots, maintaining a front and backyard corridor.

KEY ATTRIBUTES

- > Three-to-four storeys.
- > Outlooks onto front and rear.
- > Potential to include a ground floor home office or small commercial space.
- > Basement parking.
- > Garden landscaping.

PREFERRED LOCATIONS

- > Designated precincts within major activity centres with good access to public transport.
- > Residential areas along arterial roads.

HOUSING OPPORTUNITIES



LONE PERSON



GROUPS



COUPLES
WITHOUT
DEPENDENTS



ONE PARENT
FAMILY





COMMERCIAL PRINCIPLES AND BUILDING TYPES



KEY PRINCIPLES



- > PRINCIPLE ONE — PROTECT CHARACTER OF STRIP
- > PRINCIPLE TWO — WELL DESIGNED BUILDINGS
- > PRINCIPLE THREE — QUALITY MATERIALS
- > PRINCIPLE FOUR — COMMERCIAL PRIORITY
- > PRINCIPLE FIVE — PUBLIC SPACES
- > PRINCIPLE SIX — ACCESS AND PARKING
- > PRINCIPLE SEVEN — COMMUNITY BENEFIT

PROTECT CHARACTER OF STRIP

Principle one

ENCOURAGE

1. Height limits along retail strips within character and heritage areas with additional floors hidden from the street.
2. Continuation of rhythm and building pattern of heritage buildings along the street.
3. Protect and improve existing building façades through new development.
4. New buildings to continue scale, proportions and alignments of features of adjacent heritage/established buildings.
5. Higher building additions to be well set back from the street wall.



AVOID

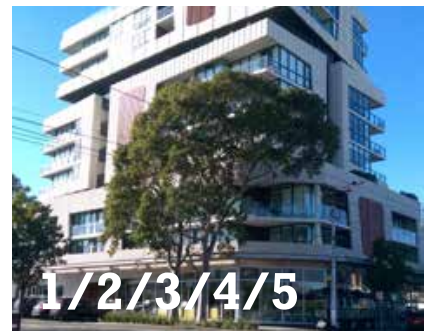
- > Oversized buildings that are not in keeping with the existing character of strip.
- > Loss of heritage details, façades and roof forms.
- > Loss of continuity of streetscape.

WELL DESIGNED BUILDINGS

Principle two

ENCOURAGE

1. Continuation of business or retail uses with windows and doors that open directly to the footpath and rear laneway.
2. Consistent commercial building frontage.
3. Verandahs over the footpath.
4. Buildings that are visually appealing on all sides and setback from all sides above street wall.
5. An appropriate transition in scale to adjacent sensitive land uses.
6. Ease of pedestrian movement around the buildings.



AVOID

- > Oversized buildings that unreasonably impact neighbours.
- > Large blank walls.
- > Services located within street frontage, eg. substation, fire hose reel.
- > Overshadowing the opposite side of the street and public spaces, including public open space.

QUALITY MATERIALS

Principle three

ENCOURAGE

1. Long lasting, integral materials.
2. Safe materials that meet building regulations.
3. Materials that reflect a commercial palette, such as bricks, concrete and glass.
4. Residential materials to residential interfaces, such as brick, timber and vegetation.
5. Colours and textures that are sympathetic to their context.



AVOID

- > Cheap materials that imitate quality, ie. cement sheeting.
- > Materials that weather poorly and will require ongoing maintenance.
- > Materials that don't fit in with the neighbourhood character.
- > Colours and textures that dominate the streetscape.
- > A mix of too many materials resulting in visual clutter.

COMMERCIAL PRIORITY

Principle four

ENCOURAGE

1. Useable retail space.
2. Office uses above ground floor retail spaces at ground floor.
3. Legible commercial signage.
4. Design car parking, services, storage, waste and facilities to maximise commercial viability and floorspace.
5. A range of future uses and flexibility of configurations.
6. Trading during the day and night.



AVOID

- > Large car parking footprints that limit commercial and retail uses.
- > Small building footprints that aren't flexible or attractive to a range of businesses.
- > Commercial signage cluttering the streetscape.
- > Residential uses limiting the extent and viability of commercial uses.
- > Non-commercial uses on ground floor.

PUBLIC SPACES

Principle five

ENCOURAGE

1. Public space to be provided on site that extends the streetscape on strategic or large corner sites.
2. New public connections through sites activated by shops — especially to streets or car parking behind the site.
3. Smooth transition between commercial uses and public spaces.
4. Footpath trading that activates the street and public spaces during the day and night.



AVOID

- > Blank walls or no activation to public spaces.
- > Limited pedestrian connections.

ACCESS AND PARKING

Principle six

ENCOURAGE

1. Ground floor pedestrian access from the main street and access to upper levels from the main street or side street.
2. Wider laneways for pedestrian access.
3. Vehicular access from a side street or preferably from a laneway.
4. Easy-to-use, accessible car parking.
5. Screen and integrate car park entry with commercial presentation.



AVOID

- > Vehicular access that dominates the building or streetscape.
- > Vehicular access across commercial street footpaths.
- > Sole pedestrian access from laneways.

COMMUNITY BENEFIT

Principle seven

ENCOURAGE

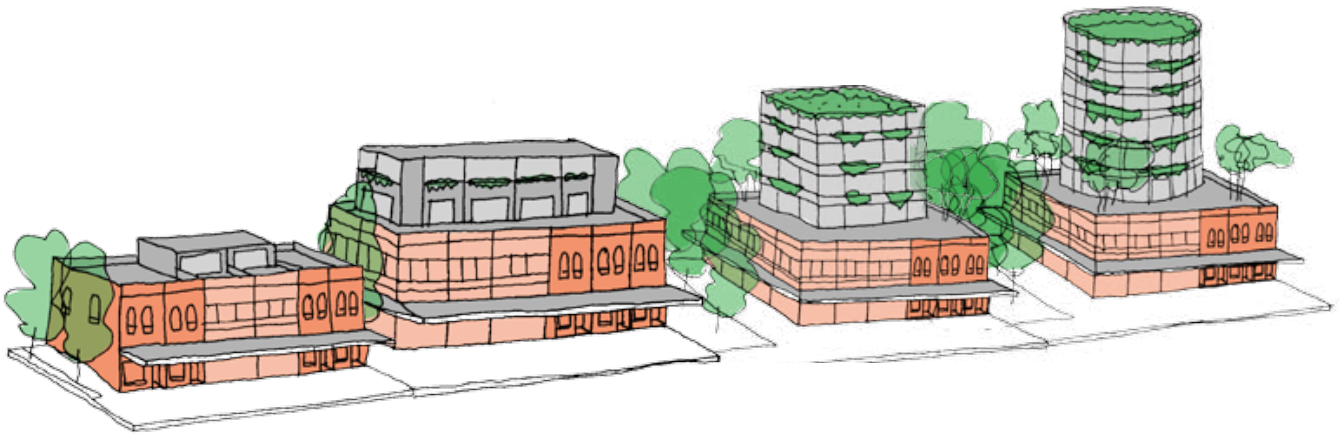
1. Taller buildings to provide a demonstrable community benefit, including:
 - > greater employment (office or health);
 - > diverse housing (affordable, aged care, student, short-stay accommodation);
 - > additional public parking;
 - > new street connections; and
 - > community uses.
2. Taller buildings still need to meet existing requirements, including:
 - > open space requirements (preferred on-site);
 - > car parking; and
 - > canopy tree planting.



AVOID

- > Taller developments that don't add benefit to the new and existing community.

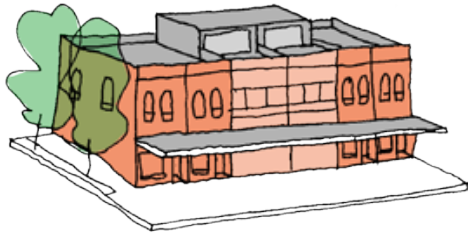
PREFERRED BUILDING TYPES



- > BUILDING TYPE ONE — HERITAGE/CHARACTER SHOP TOP
- > BUILDING TYPE TWO — SHOP TOP
- > BUILDING TYPE THREE — STRATEGIC SITE (MIXED USE)
- > BUILDING TYPE FOUR — URBAN RENEWAL DEVELOPMENT

HERITAGE/CHARACTER SHOP TOP

Building type one



Commercial building with ground floor retail and upper floor office/residential uses that is designed to celebrate and respect the heritage or significant character precinct in which it is located.

OBJECTIVE

To provide mixed use buildings that maintain the heritage, neighbourhood character or sensitive interface objectives of an area.

KEY ATTRIBUTES

- > Three-to-four storeys.
- > Reflect character of the area.
- > Ground floor shopfront.
- > Rear lane access.
- > Sympathetic to significant character area or sensitive interfaces.

PREFERRED LOCATIONS

- > Shops in heritage areas.
- > Shops in sensitive areas within major activity centres.
- > Shops in neighbourhood and local centres.

HOUSING AND ECONOMY OPPORTUNITIES



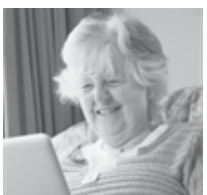
RETAIL



OFFICE



HOSPITALITY



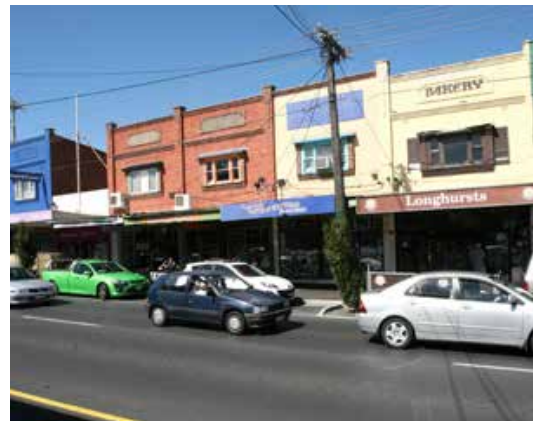
LONE PERSON



GROUPS

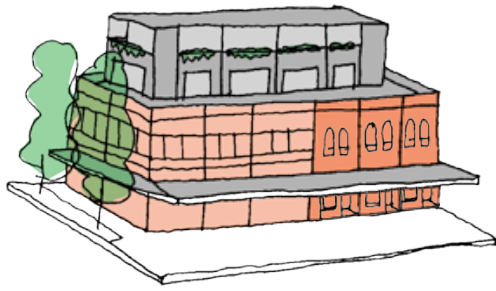


COUPLES
WITHOUT
DEPENDENTS



SHOP TOP

Building type two



Commercial building that consists of ground floor retail or office with dwelling(s) located on upper levels.

OBJECTIVE

To provide mixed use buildings within a commercial area while maintaining low-scale streetscape character.

KEY ATTRIBUTES

- > Four-to-five storeys.
- > Ground floor shopfront.
- > Rear lane access.
- > Consistent street wall.

PREFERRED LOCATIONS

- > Shops on major and arterial roads with good access to public transport.
- > Shops in major activity centres and large neighbourhood centres.

HOUSING AND ECONOMY OPPORTUNITIES



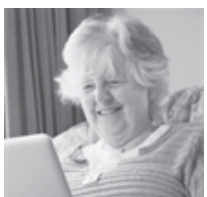
RETAIL



OFFICE



HOSPITALITY



LONE PERSON

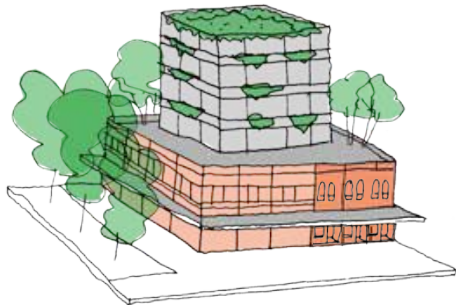


COUPLES
WITHOUT
DEPENDENTS



STRATEGIC SITE (MIXED USE)

Building type three



Mixed use building that consists of ground floor retail and ground floor office with dwellings located on upper levels.

OBJECTIVE

To provide diverse housing choices for a range of household types while also catering to the retail and employment needs of the community.

KEY ATTRIBUTES

- > Preferred height of five-to-six storeys, including three storey podiums.
- > Community benefit required for six-to-eight storeys.
- > Upper levels recessed from all edges.
- > Retail on the ground floor.
- > Diversity in housing.
- > Diversity in commercial spaces.
- > Basement car parking.
- > Open space provided on site.

PREFERRED LOCATIONS

- > Identified strategic sites within major activity centres or neighbourhood centres with potential for community benefit.



HOUSING AND ECONOMY OPPORTUNITIES



OFFICE



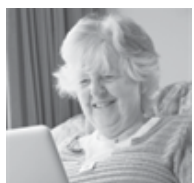
HEALTHCARE



RETAIL



HOSPITALITY



LONE PERSON



AFFORDABLE HOUSING



COUPLES WITHOUT DEPENDENTS



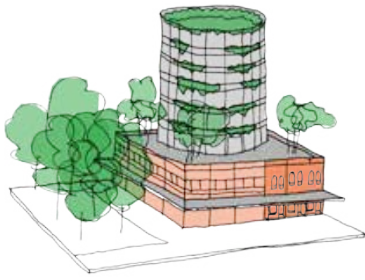
ONE PARENT FAMILY



AGED CARE

URBAN RENEWAL DEVELOPMENT

Building type four



Development in an area of urban renewal that has sufficient area to provide mixed use, higher scale form without interface constraints.

OBJECTIVE

To provide for a range of households in high density housing within an urban renewal area.

KEY ATTRIBUTES

- > Preferred height of six-to-eight storeys, including three storey podiums.
- > Community benefit required for eight-to-12 storeys.
- > Upper levels recessed from all edges.
- > Active frontages.
- > Diversity in apartment sizes.
- > Diversity in commercial size/shapes.
- > Basement car parking.
- > Open space provided on-site.

PREFERRED LOCATIONS

- > Sites that have been identified as urban renewal precincts.

HOUSING AND ECONOMY OPPORTUNITIES



OFFICE



HEALTHCARE



RETAIL



HOSPITALITY



COUPLES
WITHOUT
DEPENDENTS



ONE PARENT
FAMILY



AGED CARE



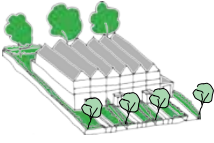




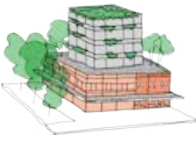
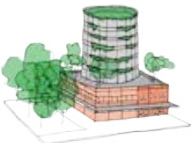


LONE
PERSON



AFFORDABLE
HOUSING

SUMMARY OF PREFERRED BUILDING TYPES

Use	No.		Type	Storeys
Residential	1		Heritage/character housing	1 to 2 (site-specific)
	2		Side-by-side townhouse	1 to 2
	3		Terrace townhouse	2 to 3
	4		Terrace townhouse/ apartment	2 to 3
	5		Garden apartment	3 to 4
Commercial	1		Heritage/character shop top	3 to 4
	2		Shop top	4 to 5
	3		Strategic site (mixed use) With community benefit	5 to 6 6 to 8
	4		Urban renewal development With community benefit	6 to 8 8 to 12



CONTACT

City Futures Department
Phone: 9524 3333
mail@gleneira.vic.gov.au
City Futures
PO Box 42
Caulfield South VIC 3162

For further information on planning terms,
visit www.gleneira.vic.gov.au/planningglossary

BENTLEIGH DRAFT CONCEPT PLANS

JULY 2017 FOR CONSULTATION



GLEN EIRA
CITY COUNCIL



VISION

Bentleigh will be an accessible, local shopping destination with a vibrant cafe and restaurant culture.

It will maintain its community feel with open space, places for people to meet and gather and a broad range of local businesses, which meet the needs of a diverse community.

OBJECTIVES

PLACE-MAKING

- > Enhance Bentleigh's role as a premier destination for shopping and socialising
- > Support a network of active streets and shared community and open spaces
- > Encourage landscaping and greenery
- > Promote high quality urban design and architecture
- > Support safe, accessible and friendly streets
- > Encourage development that provides a community benefit

HOUSING

- > Celebrate Bentleigh's unique heritage precincts and local character
- > Manage the transition between housing densities
- > Manage growth in a way that responds to Bentleigh's suburban residential character
- > Encourage a diverse range of housing options

ECONOMY

- > Embrace Bentleigh's role as a regional shopping and services destination
- > Boost night-time activity and encourage various dining and entertainment options
- > Encourage offices and employment opportunities

TRANSPORT

- > Encourage walking, cycling and use of public transport
- > Explore innovative approaches to car parking and traffic management

TRANSFORMING OUR COMMUNITY FOR FUTURE GENERATIONS

The *Transforming our neighbourhoods together* community consultation process took place in two stages from December 2016 to April 2017. Feedback was sought on a number of draft projects.

Based on the draft projects, the following transformation concepts have been developed for further community feedback.

STATION PRECINCT

An improved transport hub with pedestrian and cycling connections.



SAFE CYCLING LINK



- > Create a safe cycling link across Centre Road, connecting Burgess Street to the shared path on Nicholson Street.
- > Provide a cycling connection to Caulfield Station.



NEW PLAZA



- > Create a new plaza and shops above the railway platform to complement and connect the existing retail strip.

THE HEART OF BENTLEIGH

A network of open air laneways with a focus for restaurants, cafes and complementary retail.



CREATE NEW 'EAT STREET'



- > Pedestrian-only mall area with outdoor seating.
- > Activate laneway to rear of the Centre Road shopping strip, extends South along Vickery Street, and connects across Centre Road to the revamped rotunda area.



CREATE NEW GREEN SPACE



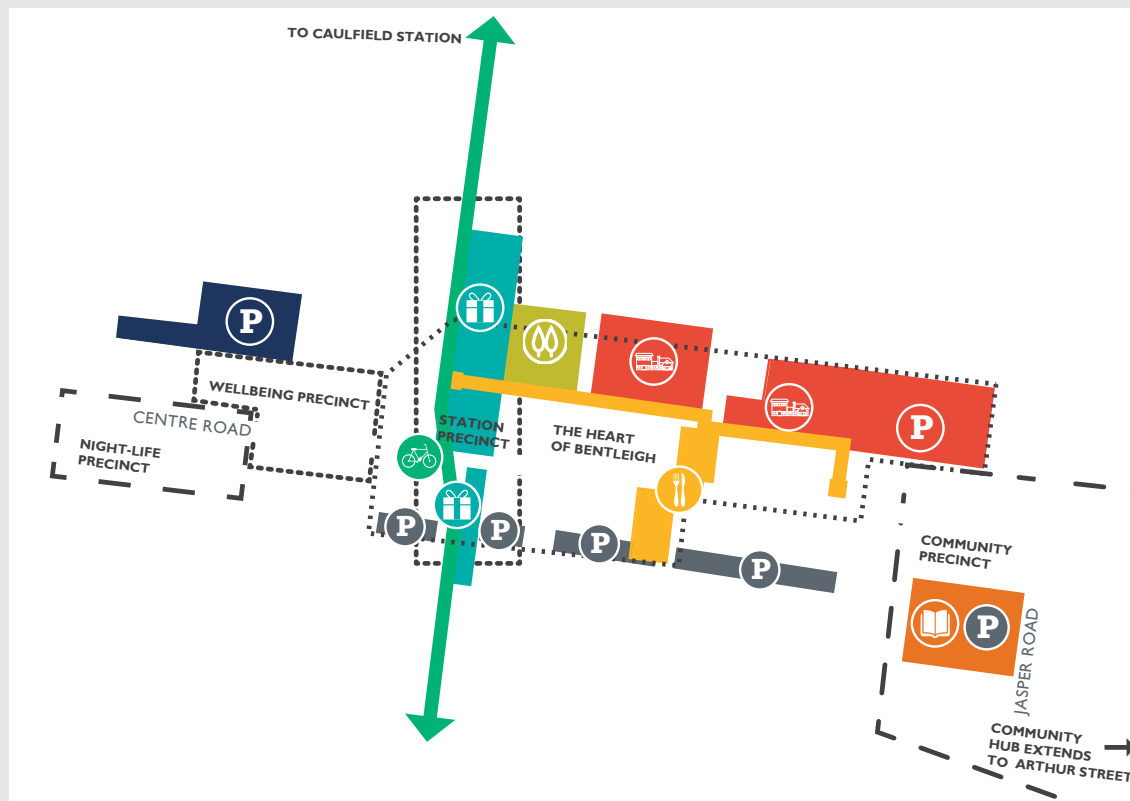
- > Convert Bent Street car park to a public green space and explore best locations for Sunday market and additional cultural events.
- > Advocate to the State Government for a connection across the railway.



EMPLOYMENT AND DIVERSE HOUSING



- > Provide office space and diverse housing options above retail and cafes at ground floor in place of the Vickery Street car park.
- > Provide destination shopping on ground floor.



P TRANSPORT AND PARKING

- > A transport, movement and parking plan will be developed in the draft Structure Plan for Bentleigh, which will be released for consultation in September 2017.
- > While car parking may be relocated, a net increase of Council-owned car parks will be created. Any relocation of car parking will involve consultation with traders.
- > We are exploring ways to provide public parking on privately-owned strategic sites.



NEW RETAIL AND CAR PARKING



- > Explore opportunities for retail at ground floor, with three-to-four storeys of car parking above.



ADDITIONAL CAR PARKING



- > Explore opportunity for development of existing car park for additional parking.

COMMUNITY PRECINCT

A focus for community and civic services.



BENTLEIGH HUB



- > Explore expansion of the facility and introduction of new civic forecourts.
- > Explore a second pedestrian entry to Robert Street (west).

WELLBEING PRECINCT

A focus for health-specific retail, medical and complementary uses.

NIGHT-LIFE PRECINCT

A focus for fine dining, cafes and bars.

THE RIGHT BUILDINGS IN THE RIGHT LOCATIONS

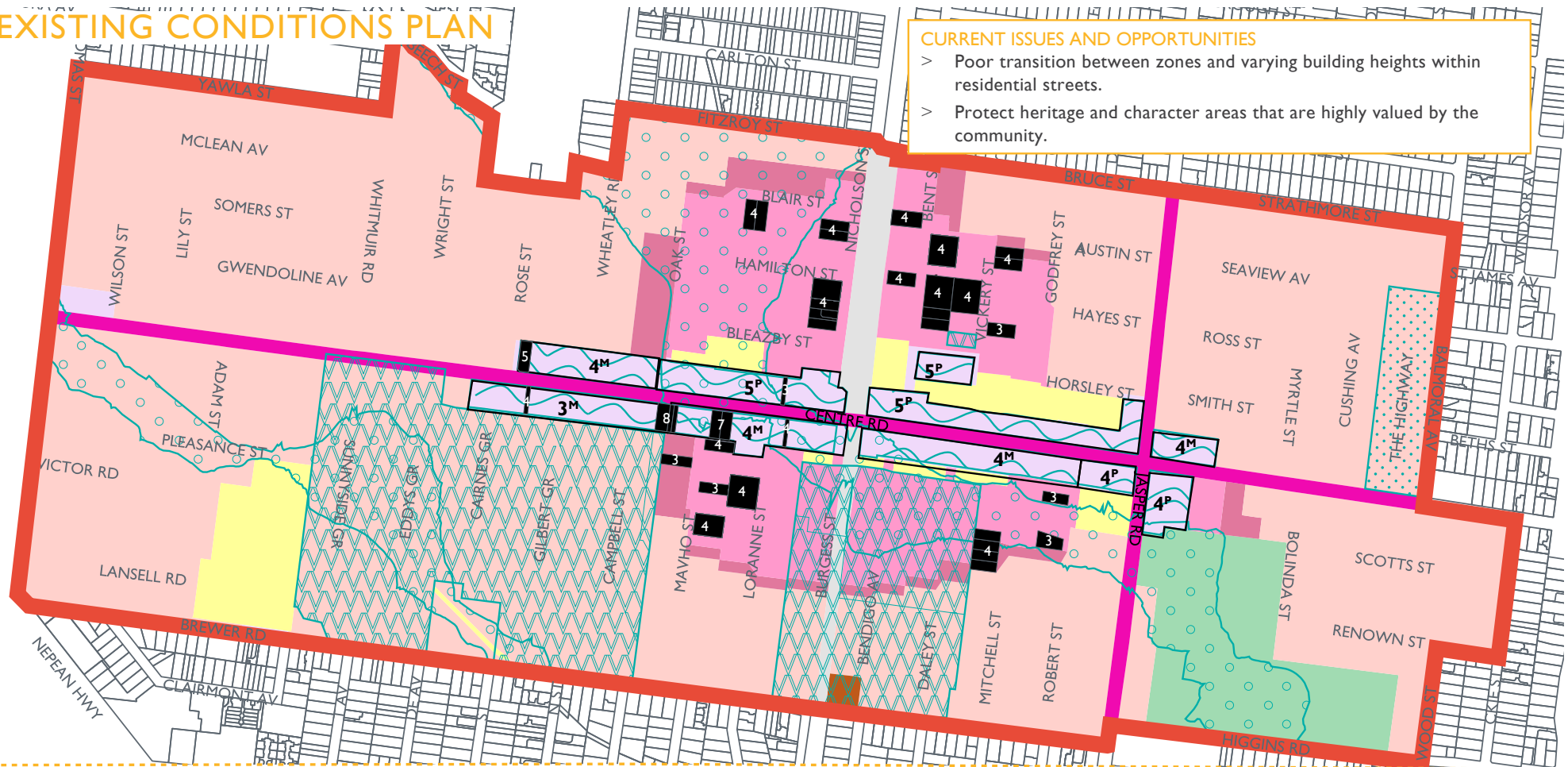
The following *Building Transition Plans* apply the proposed building types in our *Quality Design Principles* to the Bentleigh activity centre. The plans have been based on preferred locations and context of the immediate area.

We are now seeking your feedback on these draft *Plans*.

EXISTING CONDITIONS PLAN

CURRENT ISSUES AND OPPORTUNITIES

- > Poor transition between zones and varying building heights within residential streets.
- > Protect heritage and character areas that are highly valued by the community.



LEGEND

BOUNDARIES

- Property boundary
- Activity centre study area boundary

EXISTING PERMITS

- 3 Planning permits (3 or more storeys)
Issued between 23/08/13 and 08/06/17
Number indicates height in storeys

ZONES

ZONES	Height (storeys)
Neighbourhood Residential Zone	2
General Residential Zone (Schedule 1)	3
General Residential Zone (Schedule 2)	3
Residential Growth Zone	4
Mixed Use Zone	Unspecified
Commercial 1 Zone	Unspecified

ZONES

ZONES	Height (storeys)
Commercial 2 Zone	Unspecified
Public Use Zone	Unspecified
Public Park and Recreation Zone	Unspecified

INTERIM HEIGHT CONTROLS

- 3^M and 4^M Mandatory maximum height (storeys)
- 4^P and 5^P Preferred maximum height (storeys)

BUILT FORM OVERLAYS

- Heritage Overlay
- Neighbourhood Character Overlay
- Interim height control areas (expiring 31/12/17)
- Special Building Overlay (flood management areas)

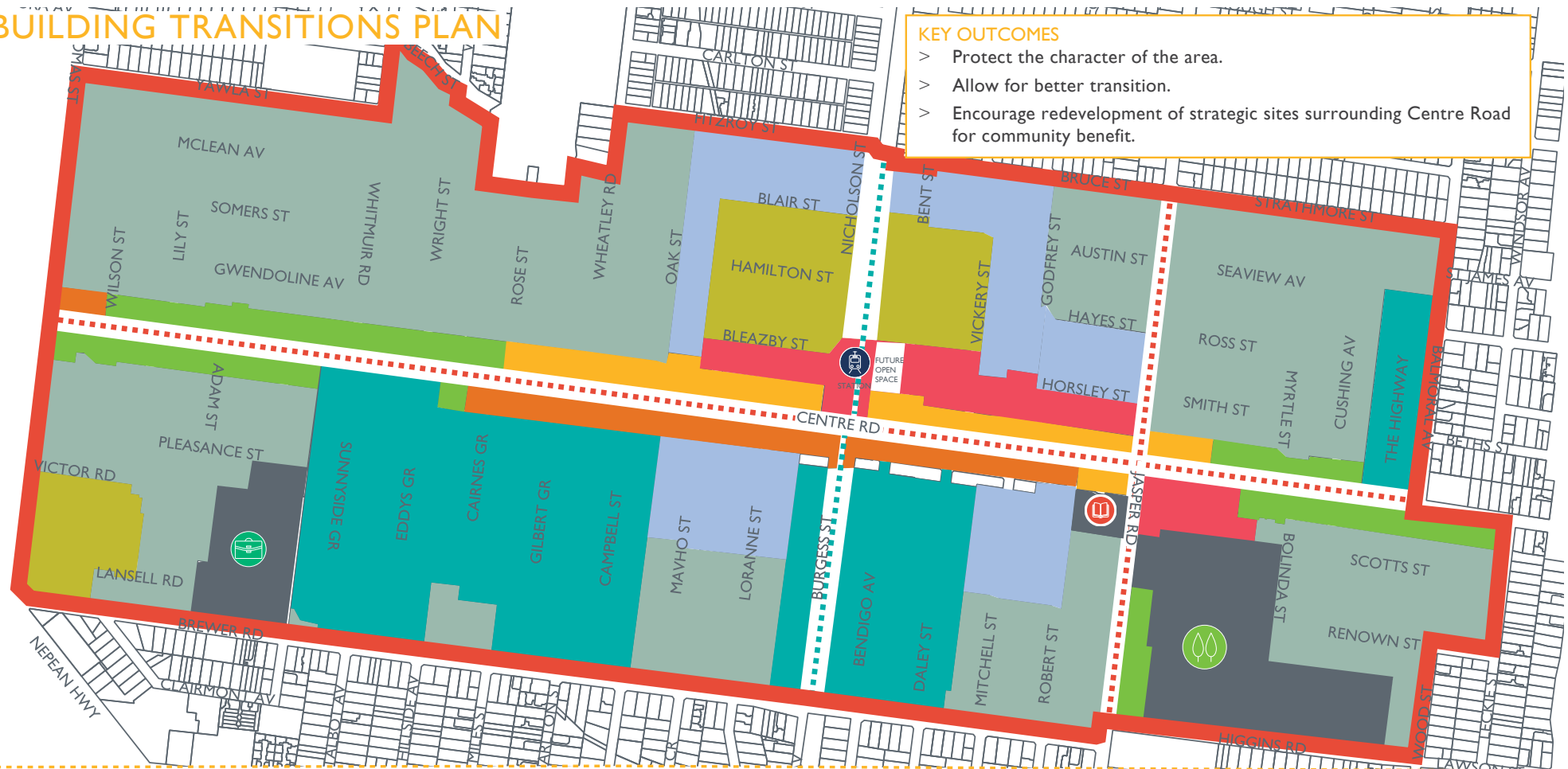
Current Planning Scheme provisions



BUILDING TRANSITIONS PLAN

KEY OUTCOMES

- Protect the character of the area.
- Allow for better transition.
- Encourage redevelopment of strategic sites surrounding Centre Road for community benefit.



LEGEND

BOUNDARIES

- Property boundary
- Activity centre study area boundary
- Main road
- Railway line

PREFERRED BUILDING TYPES

Residential areas	Height (storeys)
Heritage/character housing	1–2 (site-specific)
Side-by-side townhouse	1–2
Terrace townhouse	2–3
Terrace townhouse/apartment	2–3
Garden apartment	3–4

Commercial/mixed areas

Commercial/mixed areas	Height (storeys)
Heritage/character shop top	3–4
Shop top	4–5
Strategic site (mixed use) + Providing community benefit	5–6 6–8

* Appropriate transition to be managed within site.

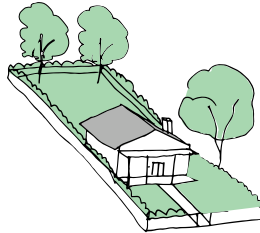
Preferred building type locations



BUILDING TYPES EXPLAINED

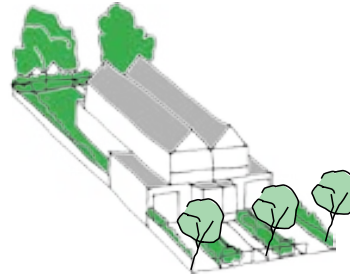
Heritage/character housing

New housing within land affected by a Heritage or Neighbourhood Character Overlay that respects and celebrates the character of the area.



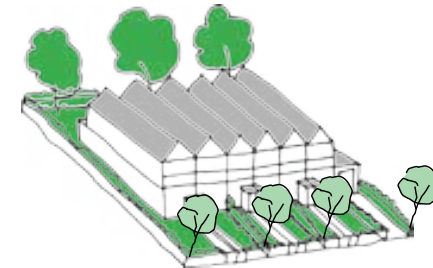
Side-by-side townhouse

Townhouses side-by-side on one lot in a garden setting.



Terrace townhouse

Townhouses built in a row that are attached on both sides.



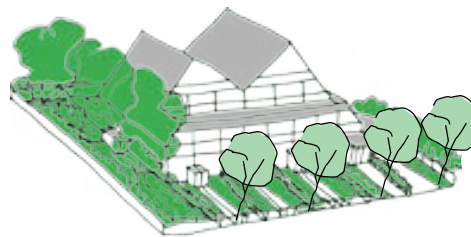
Terrace townhouse/apartment

Terrace townhouses with an apartment positioned behind or recessed if on top of the townhouse.



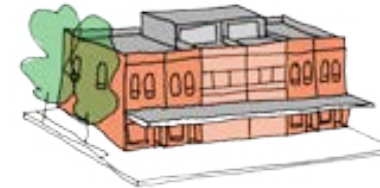
Garden apartment

Apartment dwellings in a garden setting.



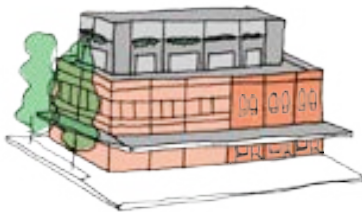
Heritage/character shop top

Commercial building with ground floor retail and upper floor office/residential uses that is designed to celebrate and respect the heritage or significant character precinct in which it is located.



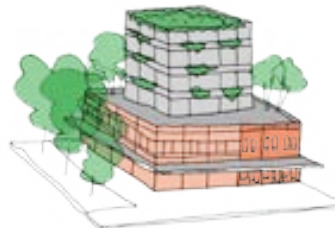
Shop top

Commercial building that consists of ground floor retail or office with dwelling(s) located on upper levels.



Strategic site (mixed use)

Mixed use building that consists of ground floor retail and ground floor office with dwellings located on upper levels.



For further information on building types, visit www.gleneira.vic.gov.au/qualitydesign

TRANSPORT AND PARKING

Dealing with transport and parking issues is a high priority.

The transformation concepts in this document show some public projects that affect car parking — there are more details to come.

We are committed to providing more car parking on our public-owned sites. While in some areas the car parking may be relocated to allow for other public projects (like open spaces), a net increase of parking will be created in the area. Any relocation of parking will involve consultation with the community including local traders. We are also exploring ways to deliver publicly accessible parking on private-owned strategic sites.

Transport, parking and movement plans will be incorporated into the structure plan based on the location of buildings and amenities and further informed by Council's draft *Integrated Transport Strategy*.

We will seek community feedback on the draft *Structure Plan* for Benteigh and our draft *Integrated Transport Strategy* in September 2017.

NEXT STEPS

These *Draft Concept Plans* are the first of a two-staged process. This first stage aims to locate the right buildings in the right locations by applying the principles outlined in Council's *Quality Design Principles* and *Activity Centre, Housing and Local Economy Strategy*.

The projects presented in the transformation concepts aim to leave a legacy for future generations by giving our neighbourhood a 'makeover' through major upgrades to parks, streets, car parks and community hubs.

Following this stage, community feedback will shape the development of draft structure plans for Bentleigh. Further feedback on the draft *Structure Plan* will be sought in September 2017.

HOW TO PROVIDE FEEDBACK

The opportunity to provide feedback will close on Sunday 3 September. Feedback can be provided via:

- > *Have Your Say*: www.gleneira.vic.gov.au/bentleigh;
- > City Futures on 9524 3333; or
- > post: City Futures Department, PO Box 42, Caulfield South 3162.

For further information or to discuss these *Plans*, contact Council's City Futures Department on 9524 3333 or email mail@gleneira.vic.gov.au

FURTHER INFORMATION

- > For further detail on building types, visit www.gleneira.vic.gov.au/qualitydesign
- > To view our *Activity Centre, Housing and Local Economy Strategy*, visit www.gleneira.vic.gov.au/planningforthefuture
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CONTACT

City Futures Department
Phone: 9524 3333
mail@gleneira.vic.gov.au
City Futures
PO Box 42
Caulfield South VIC 3162

CARNEGIE DRAFT CONCEPT PLANS

JULY 2017 FOR CONSULTATION



GLEN EIRA
CITY COUNCIL

Segafredo
ZANETTI

VISION

Carnegie will be a safe, connected and welcoming centre that embraces its authentic urban character and cultural identity.

The centre will be a destination for night-life, shopping and employment, supporting a range of businesses and interconnected community spaces that meet the needs of the local community.

OBJECTIVES

PLACE-MAKING

- > Build Carnegie's reputation as a welcoming and diverse local community with unique commercial and entertainment offerings.
- > Enhance the distinctive character of the Koornang Road retail strip.
- > Support a network of urban laneways, active streets and shared community and open spaces.
- > Encourage landscaping and greenery.
- > Promote high quality urban design and architecture.
- > Support safe, accessible and friendly streets.
- > Encourage development that provides a community benefit.

HOUSING

- > Manage transition between housing densities.
- > Maintain Carnegie's unique surburban character.
- > Recognise Carnegie's role in accommodating a growing population.
- > Encourage a diverse range of housing options.

ECONOMY

- > Boost night-time activity and support quality local shopping, dining and entertainment options.
- > Encourage offices and employment opportunities.

TRANSPORT

- > Encourage walking, cycling and use of public transport.
- > Explore innovative approaches to car parking and traffic management.

TRANSFORMING OUR COMMUNITY FOR FUTURE GENERATIONS

The *Transforming our neighbourhoods together* community consultation process took place in two stages from December 2016 to April 2017. Feedback was sought on a number of draft projects.

Based on the draft projects, the following transformation concepts have been developed for further community feedback.

P TRANSPORT AND PARKING

- > A transport, movement and parking plan will be developed in the draft *Structure Plan* for Carnegie, which will be released for consultation in September 2017.
- > While car parking may be relocated, a net increase of Council-owned car parks will be created. Any relocation of car parking will involve consultation with traders.
- > We are exploring ways to provide public parking on privately-owned strategic sites.



CREATE NEW GREEN SPACES



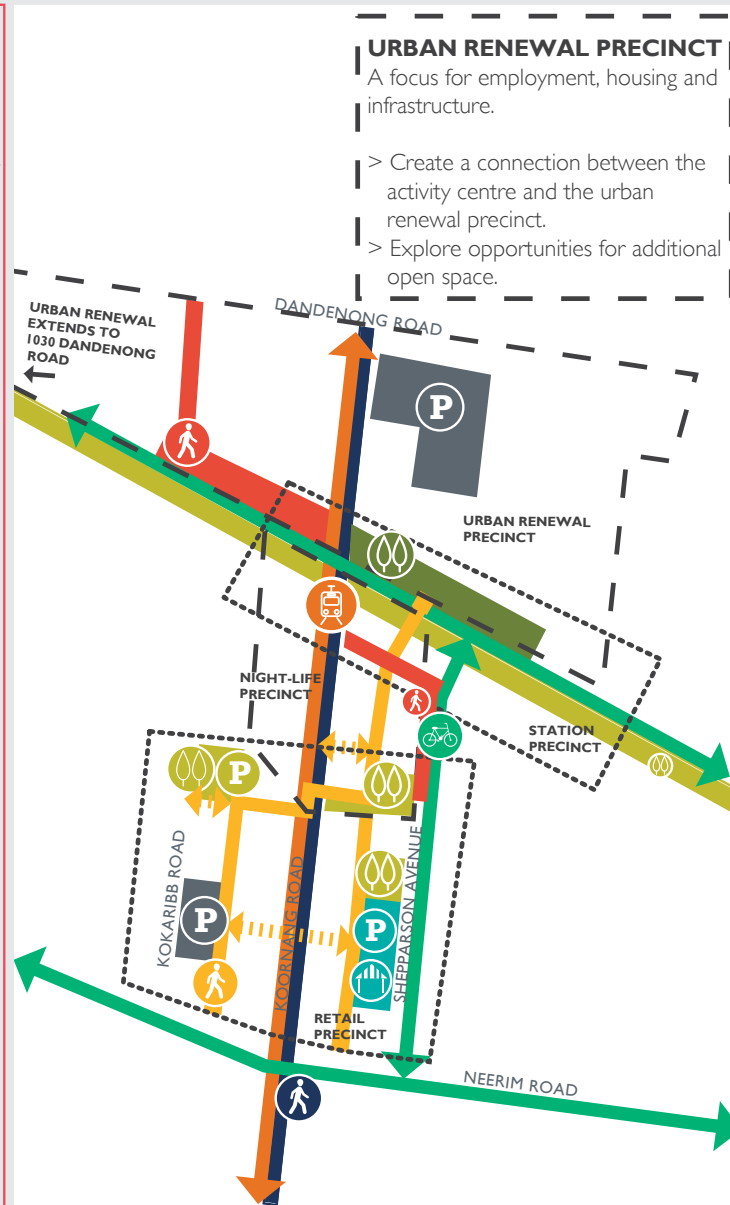
- > Immediately north and south of Carnegie Library and Community Centre.
- > Relocate Kokaribb Road car park underground and create new green space at ground level.
- > Ensure that the new linear park beneath the elevated rail serves the needs of the community.



MARKET HUB AND CAR PARKING



- > Explore the opportunity to create a market at ground floor with office spaces, multi-level car parking, a community facility and a green rooftop above.



STATION PRECINCT

An improved transport hub with pedestrian and cycling connections.



IMPROVED PUBLIC TRANSPORT



- > Advocate to the State Government for a tram extension to Carnegie Station.
- > Advocate to the State Government for better bus connections within the centre of Carnegie.



SAFE CYCLING LINK



- > Create a bicycle path along Shepparson Avenue, connecting Carnegie railway station to Neerim Road and under the elevated rail.



PROTECT EXISTING GREEN SPACE



- > Advocate to the State Government for protection of open space along Woorayl Street, north of the railway station.



IMPROVE PEDESTRIAN AMENITY



- > Create a pedestrian link to Dandenong Road.
- > Create a shared space on Egan Street to provide open space and pedestrian amenity for urban renewal area to the north.
- > Improve pedestrian amenity in Morton Avenue.

NIGHT-LIFE PRECINCT

A focus for fine dining, cafes and bars.



IMPROVE KOORNANG ROAD STREETSCAPE



- > Increase pedestrian amenity by improving street lighting, pedestrian crossings and seating.
- > Introduce new street trees with large canopies.

RETAIL PRECINCT

A focus for retail and specialty shopping.



CREATE LANEWAY NETWORK



- > Create new pedestrian laneways to improve connectivity.
- > Activate existing rear laneways.

THE RIGHT BUILDINGS IN THE RIGHT LOCATIONS

The following draft *Building Transition Plans* apply the proposed building types in our *Quality Design Principles* to the Carnegie activity centre. These plans have been based on preferred locations and context of the immediate area.

We are now seeking your feedback on these draft *Plans*.

EXISTING CONDITIONS PLAN

CURRENT ISSUES AND OPPORTUNITIES

- > Transition between multiple zones and irregular zone boundaries are an issue along Neerim Road.
- > Current zoning doesn't account for the area's unique

character.

- > Land north of the railway line is in an ideal position for redevelopment with connections to services and transport.

LEGEND

BOUNDARIES

- Property boundary
- Activity centre study area boundary

ZONES

Height (storeys)

Neighbourhood Residential Zone	2
General Residential Zone (Schedule 1)	3
General Residential Zone (Schedule 2)	3
Residential Growth Zone	4
Mixed Use Zone	Unspecified
Commercial 1 Zone	Unspecified
Commercial 2 Zone	Unspecified
Public Use Zone	Unspecified
Public Park and Recreation Zone	Unspecified

EXISTING PERMITS

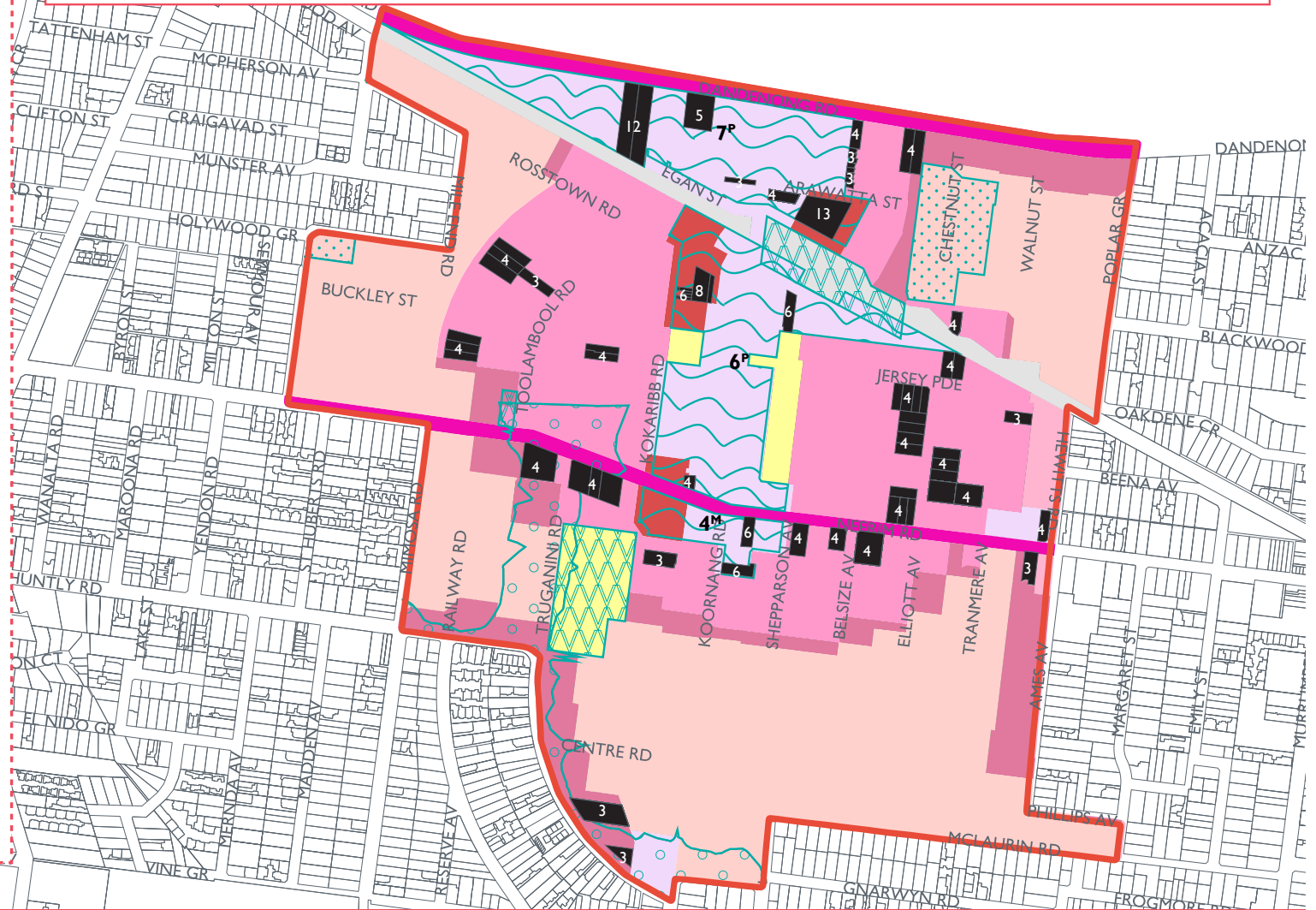
- Planning permits (3 or more storeys)
Issued between 23/08/13 and 08/06/17
Number indicates height in storeys

BUILT FORM OVERLAYS

- Heritage Overlay
- Neighbourhood Character Overlay
- Interim height control areas (expiring 31/12/17)
- Special Building Overlay (flood management areas)

INTERIM HEIGHT CONTROLS

- 4^m Mandatory maximum height (storeys)
- 6^p and 7^p Preferred maximum height (storeys)



Current Planning Scheme provisions

BUILDING TRANSITIONS PLAN

KEY OUTCOMES

- > Protect the character of the area.
- > Encourage higher density buildings along key transport corridors.
- > Allow for better transition along Koornang Road.

- > Encourage redevelopment of strategic sites surrounding Koornang Road for community benefit.
- > Encourage increased housing and employment opportunities between the railway line and Dandenong Road.

LEGEND

BOUNDARIES

- Property boundary
- Activity centre study area boundary

- Main road
- Railway line

PREFERRED BUILDING TYPES

Residential areas	Height (storeys)
Heritage/character housing	1-2 (site-specific)
Side-by-side townhouse	1-2
Terrace townhouse	2-3
Terrace townhouse/apartment	2-3
Garden apartment	3-4
Commercial/mixed areas	Height (storeys)
Heritage/character shop top	3-4
Shop top	4-5
Strategic site (mixed use) + Providing community benefit	5-6 6-8
Urban renewal development + Providing community benefit	6-8 8-12
* Appropriate transition to be managed within site.	

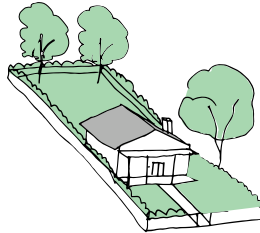


Preferred building type locations

BUILDING TYPES EXPLAINED

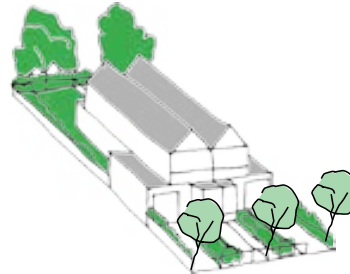
Heritage/character housing

New housing within land affected by a Heritage or Neighbourhood Character Overlay that respects and celebrates the character of the area.



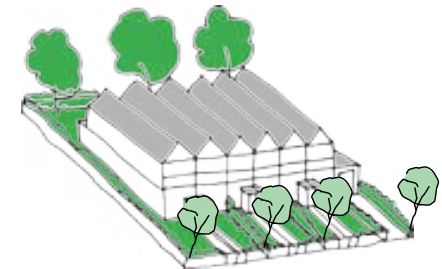
Side-by-side townhouse

Townhouses side-by-side on one lot in a garden setting.



Terrace townhouse

Townhouses built in a row that are attached on both sides.



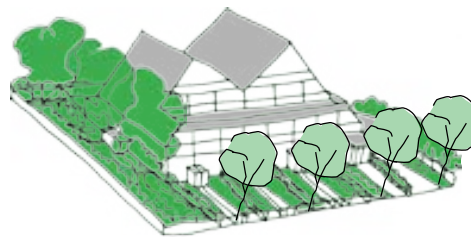
Terrace townhouse/apartment

Terrace townhouses with an apartment positioned behind or recessed if on top of the townhouse.



Garden apartment

Apartment dwellings in a garden setting.



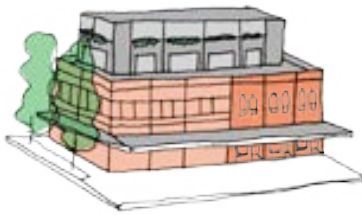
Heritage/character shop top

Commercial building with ground floor retail and upper floor office/residential uses that is designed to celebrate and respect the heritage or significant character precinct in which it is located.



Shop top

Commercial building that consists of ground floor retail or office with dwelling(s) located on upper levels.



Strategic site (mixed use)

Mixed use building that consists of ground floor retail and ground floor office with dwellings located on upper levels.



Urban renewal development

Development in an area of urban renewal that has sufficient area to provide mixed use, higher scale form without interface constraints.



For further information on building types, visit www.gleneira.vic.gov.au/qualitydesign

TRANSPORT AND PARKING

Dealing with transport and parking issues is a high priority.

The transformation concepts in this document show some public projects that affect car parking — there are more details to come.

We are committed to providing more car parking on our public-owned sites. While in some areas the car parking may be relocated to allow for other public projects (like open spaces), a net increase of parking will be created in the area. Any relocation of parking will involve consultation with the community including local traders. We are also exploring ways to deliver publicly accessible parking on private-owned strategic sites.

Transport, parking and movement plans will be incorporated into the structure plan based on the location of buildings and amenities and further informed by Council's draft *Integrated Transport Strategy*.

We will seek community feedback on the draft *Structure Plan* for Carnegie and our draft *Integrated Transport Strategy* in September 2017.

NEXT STEPS

These *Draft Concept Plans* are the first of a two-staged process. This first stage aims to locate the right buildings in the right locations by applying the principles outlined in Council's *Quality Design Principles* and *Activity Centre, Housing and Local Economy Strategy*.

The projects presented in the transformation concepts aim to leave a legacy for future generations by giving our neighbourhood a 'makeover' through major upgrades to parks, streets, car parks and community hubs.

Following this stage, community feedback will shape the development of draft *Structure Plan* for Carnegie. Feedback on the draft *Structure Plan* will be sought in September 2017.

HOW TO PROVIDE FEEDBACK

The opportunity to provide feedback will close on Sunday 3 September. Feedback can be provided via:

- > *Have Your Say*: www.gleneira.vic.gov.au/carnegie;
- > City Futures on 9524 3333; or
- > post: City Futures Department, PO Box 42, Caulfield South 3162.

For further information or to discuss these *Plans*, contact Council's City Futures Department on 9524 3333 or email mail@gleneira.vic.gov.au

FURTHER INFORMATION

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CONTACT

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Caulfield South VIC 3162

ELSTERNWICK DRAFT CONCEPT PLANS

JULY 2017 FOR CONSULTATION



GLEN EIRA
CITY COUNCIL



VISION

Elsternwick will be a safe, accessible and liveable centre that embraces its historic character and strong cultural and village feel.

The centre will be a destination for its longstanding cultural and entertainment offerings, business and employment opportunities, and a range of quality local retail outlets and community spaces.

OBJECTIVES

PLACE-MAKING

- > Enhance Elsternwick's reputation as a cultural and entertainment hub.
- > Celebrate the historic character and village feel of the Glenhuntly Road retail strip.
- > Support a network of active streets and shared community and open spaces.
- > Encourage landscaping and greenery.
- > Promote high quality urban design and architecture.
- > Support safe, accessible and friendly streets.
- > Encourage development that provides a community benefit.

HOUSING

- > Maintain Elsternwick's pristine heritage and character residential areas.
- > Recognise Elsternwick's role in accommodating a growing population.
- > Encourage a diverse range of housing options.

ECONOMY

- > Boost night-time activity and support quality local shopping, dining and entertainment options.
- > Encourage offices and employment opportunities.

TRANSPORT

- > Encourage walking, cycling and use of public transport.
- > Explore innovative approaches to car parking and traffic management.

TRANSFORMING OUR COMMUNITY FOR FUTURE GENERATIONS

The *Transforming our neighbourhoods together* community consultation process took place in two stages from December 2016 to April 2017. Feedback was sought on a number of draft projects.

Based on the draft projects, the following transformation concepts have been developed for further community feedback.

STATION PRECINCT

An improved transport hub with pedestrian and cycling connections.



SAFE CYCLING LINK



- > Explore a cycling connection along the railway line, connecting the station precinct to the southern urban renewal precinct.



IMPROVE RAILWAY STATION PRECINCT



- > Advocate to the State Government for the construction of a new plaza over the railway line north of Glenhuntly Road.

P TRANSPORT AND PARKING

- > A transport, movement and parking plan will be developed in the draft *Structure Plan* for Elsternwick, which will be released for consultation in September 2017.
- > While car parking may be relocated, a net increase of Council-owned car parks will be created. Any relocation of car parking will involve consultation with traders.
- > We are exploring ways to provide public parking on privately-owned strategic sites.



ADDITIONAL CAR PARKING



- > Explore opportunity for development of the existing car park at corner Stanley Street and Orrong Road for additional parking.



RETAIL PRECINCT

A focus for retail and specialty shopping



NEW PLAZA



- > Create a pedestrian-friendly open space plaza along Staniland Grove and Carre Street.



EMPLOYMENT AND DIVERSE HOUSING



- > Provide office space and diverse housing options.
- > Up to eight storeys.

URBAN RENEWAL PRECINCT

A focus for employment, housing and infrastructure.

- > Create a connection between the activity centre and the urban renewal precinct.
- > Explore opportunities for additional open space.

ENTERTAINMENT AND CULTURE PRECINCT

A focus for cafes, night-life and community spaces.



COMMUNITY HUB



- > Create a community hub, including a youth innovation centre, library and co-working office space.
- > Preferred location on Selwyn Street.



IMPROVE PEDESTIAN AMENITY



- > Improve pedestrian amenity on Gordon and Selwyn Streets by widening footpaths, traffic management and road treatments.



CREATE NEW GREEN SPACES



- > Create a linear park connecting Rippon Lea Estate, Elsternwick station and the urban renewal precinct.
- > Explore opportunity for open space at library car park.
- > Explore green connection with Rippon Lea Estate.
- > Create new park in urban renewal precinct.

THE RIGHT BUILDINGS IN THE RIGHT LOCATIONS



The following draft *Building Transition Plans* apply the proposed building types in our *Quality Design Principles* to the Elsterwick activity centre. These plans have been based on preferred locations and context of the immediate area.










We are now seeking your feedback on these draft *Plans*.

EXISTING CONDITIONS PLAN


LEGEND

BOUNDARIES




-  Property boundary
-  Activity centre study area boundary

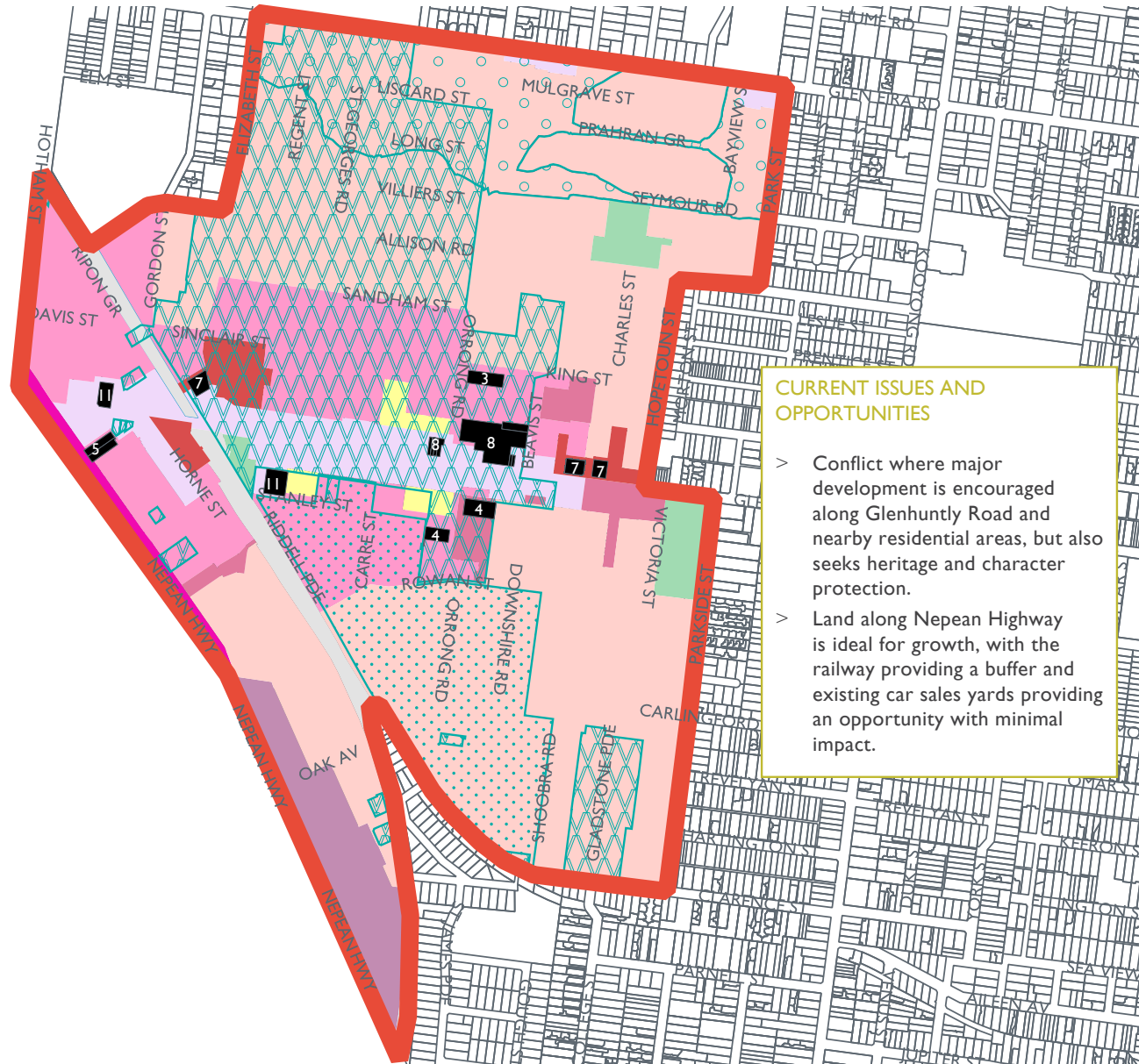
ZONES	Height (storeys)
 Neighbourhood Residential Zone	2
 General Residential Zone (Schedule 1)	3
 General Residential Zone (Schedule 2)	3
 Residential Growth Zone	4
 Mixed Use Zone	Unspecified
 Commercial 1 Zone	Unspecified
 Commercial 2 Zone	Unspecified
 Public Use Zone	Unspecified
 Public Park and Recreation Zone	Unspecified

EXISTING PERMITS

-  Planning permits (3 or more storeys)
Issued between 23/08/13 and 08/06/17
Number indicates height in storeys

BUILT FORM OVERLAYS





-  Heritage Overlay
-  Neighbourhood Character Overlay
-  Special Building Overlay
(flood management areas)












BUILDING TRANSITIONS PLAN

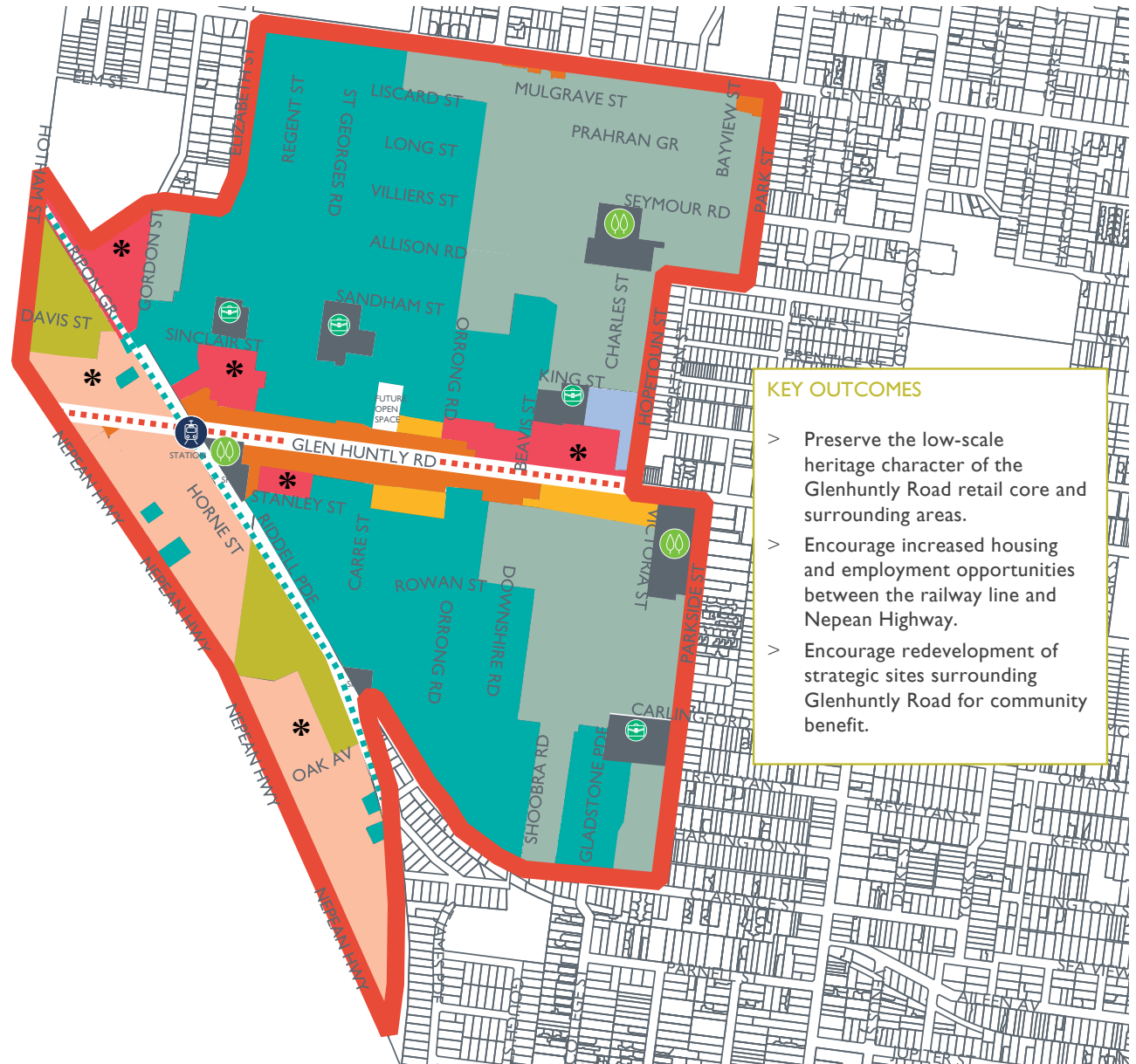
LEGEND

BOUNDARIES

-  Property boundary
-  Activity centre study area boundary
-  Main road
-  Railway line

PREFERRED BUILDING TYPES

Residential areas		Height (storeys)
 Heritage/character housing		1–2 (site-specific)
 Side-by-side townhouse		1–2
 Terrace townhouse		2–3
 Terrace townhouse/apartment		2–3
 Garden apartment		3–4
Commercial/mixed areas		Height (storeys)
 Heritage/character shop top		3–4
 Shop top		4–5
 Strategic site (mixed use) + Providing community benefit		5–6 6–8
 Urban renewal development + Providing community benefit		6–8 8–12
* Appropriate transition to be managed within site.		



KEY OUTCOMES

- > Preserve the low-scale heritage character of the Glenhuntly Road retail core and surrounding areas.
- > Encourage increased housing and employment opportunities between the railway line and Nepean Highway.
- > Encourage redevelopment of strategic sites surrounding Glenhuntly Road for community benefit.

Preferred building type locations

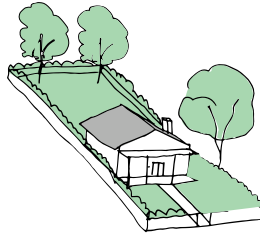
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BUILDING TYPES EXPLAINED

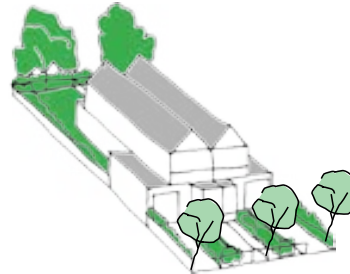
Heritage/character housing

New housing within land affected by a Heritage or Neighbourhood Character Overlay that respects and celebrates the character of the area.



Side-by-side townhouse

Townhouses side-by-side on one lot in a garden setting.



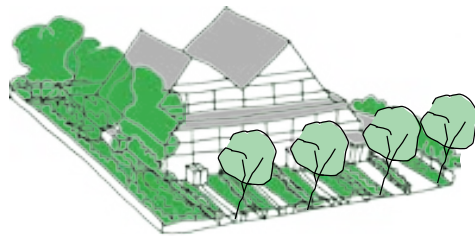
Terrace townhouse/apartment

Terrace townhouses with an apartment positioned behind or recessed if on top of the townhouse.



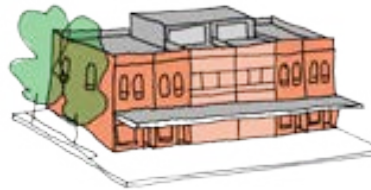
Garden apartment

Apartment dwellings in a garden setting.



Heritage/character shop top

Commercial building with ground floor retail and upper floor office/residential uses that is designed to celebrate and respect the heritage or significant character precinct in which it is located.



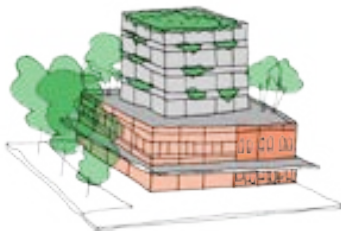
Shop top

Commercial building that consists of ground floor retail or office with dwelling(s) located on upper levels.



Strategic site (mixed use)

Mixed use building that consists of ground floor retail and ground floor office with dwellings located on upper levels.



Urban renewal development

Development in an area of urban renewal that has sufficient area to provide mixed use, higher scale form without interface constraints.



For further information on building types, visit www.gleneira.vic.gov.au/qualitydesign

TRANSPORT AND PARKING

Dealing with transport and parking issues is a high priority.

The transformation concepts in this document show some public projects that affect car parking — there are more details to come.

We are committed to providing more car parking on our public-owned sites. While in some areas the car parking may be relocated to allow for other public projects (like open spaces), a net increase of parking will be created in the area. Any relocation of parking will involve consultation with the community including local traders. We are also exploring ways to deliver publicly accessible parking on private-owned strategic sites.

Transport, parking and movement plans will be incorporated into the structure plan based on the location of buildings and amenities and further informed by Council's draft *Integrated Transport Strategy*.

We will seek community feedback on the draft *Structure Plan* for Elsternwick and our draft *Integrated Transport Strategy* in September 2017.

NEXT STEPS

These *Draft Concept Plans* are the first of a two-staged process. This first stage aims to locate the right buildings in the right locations by applying the principles outlined in Council's *Quality Design Principles and Activity Centre, Housing and Local Economy Strategy*.

The projects presented in the transformation concepts aim to leave a legacy for future generations by giving our neighbourhood a 'makeover' through major upgrades to parks, streets, car parks and community hubs.

Following this stage, community feedback will shape the development of draft *Structure Plan* for Elsternwick. Feedback on the draft *Structure Plan* will be sought in September 2017.

HOW TO PROVIDE FEEDBACK

The opportunity to provide feedback will close on Sunday 3 September. Feedback can be provided via:

- > *Have Your Say*: www.gleneira.vic.gov.au/elsternwick;
- > City Futures on 9524 3333; or
- > post: City Futures Department, PO Box 42, Caulfield South 3162.

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FURTHER INFORMATION

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CONTACT

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ITEM 9.4 31 NEPEAN HIGHWAY ELSTERNWICK VIC 3185**Author:** *Effie Tangelakis – Coordinator Town Planning***File No:** *GE/PP-29827/2016***Attachments:** *1. Advertised plans***PURPOSE AND SUMMARY**

To consider a Planning Permit application.



PROPOSAL	Partial demolition, alterations and additions and use of land for the purpose of a Child Care Centre and the reduction of the carparking requirement
MUNICIPAL STRATEGIC STATEMENT	<ul style="list-style-type: none"> • Child Care Centre Policy • Urban Villages Policy
APPLICANT	Wilcon Projects Pty Ltd
PLANNING SCHEME CONTROLS	<ul style="list-style-type: none"> • Residential Growth Zone • Heritage Overlay • Road Zone (Nepean Highway)
OBJECTIONS	14

RECOMMENDATION

That Council issues a Notice of Decision to Grant a Planning Permit for Application No. GE/PP-29827/2016 at 31 Nepean Highway, Elsternwick for partial demolition, alterations and additions and use of land for the purpose of a Child Care Centre and the reduction of the carparking requirement in accordance with the following conditions:

1. Before the commencement of the demolition, development and use of the land, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. The plans must be drawn to scale with dimensions and must generally accord with the plans submitted with the application (identified as Project 16.040, Sheets TP03d, TP05d-TP09d, prepared by LRW Design and dated Mar 2017) but modified to show:
 - (a) The first floor setback a minimum of 5 metres from the south-eastern boundary with this change absorbed within the remainder of the building envelope. Any consequential changes must be to the satisfaction of the Responsible Authority.
 - (b) A detailed schedule of materials, finishes and colours (including paint samples) for all external surfaces
 - (c) An acoustic fence must be erected along the north-western and south-eastern boundaries of the site to a minimum height of 2.3 metres above natural ground level. The design of the fences must be prepared in consultation with a suitably qualified acoustic engineer. Details of the design and acoustic qualities of the fence must be submitted to, and approved by, the Responsible Authority.
 - (d) The pedestrian path adjacent to the car spaces must measure a minimum width of 1.5m.
 - (e) All accessways, ramp grades, kerbs and car spaces designed and dimensioned in accordance with Clause 52.06 of the Glen Eira Planning Scheme.
 - (f) Provision of pedestrian sight triangles measuring 2.5 metres along the accessway and 2.0 metres along the property frontage on both sides of the south-eastern vehicle accessway. No objects greater than 600 millimetres in height can be located in these areas.
 - (g) Allocation of Car spaces 1-7 for staff parking and clearly marked.
 - (h) The edge of the north-western crossover to be setback 3.5m from the street tree with a minimum width of 3m.
 - (i) Both crossovers must be constructed as a splayed crossover to the satisfaction of the Responsible Authority.
 - (j) A Landscape Plan and a Tree Management Plan in accordance with Conditions 14 and 15.
 - (k) Retention of Tree 7 (Canary Island Palm) and relocated to the front yard as a pair with Tree 6 (Canary Island Palm) to the satisfaction of the Responsible Authority.
 - (l) The electricity pole located adjacent to the south-eastern crossover be relocated a minimum of 2 metres away from the crossover with the approval of the relevant authority.

When approved, the plans will be endorsed and will then form part of this Permit.

2. The use allowed under this permit must operate within the following times:
 - Monday to Friday 7:00am to 6:30pm.
3. Not more than 109 children may be on the premises at any one time. This excludes children not enrolled at the centre.

4. Not more than 22 staff members / employees may be present on the site at any one time.
5. All access must be from the street frontage along Nepean Highway. Pedestrian or vehicular access associated with the use access via the laneway is not permitted at any time.
6. The rooftop playground must not be used between the hours of 4:00pm to 8:00am.
7. Prior to the commencement of the use, a Parking Management Plan must be submitted to and approved by the Responsible Authority. The Parking Management Plan must include:
 - (a) How the allocation of car spaces will be managed, including the provision of staff parking during the operating hours and the provision of parent car spaces during the morning and afternoon peak periods;
 - (b) Which car spaces will be occupied by staff first;
 - (c) Availability of parent parking during the middle of the day;
 - (d) Arrangements for delivery vehicles;
 - (e) Encouraging use of bicycles and shared transport arrangements;
 - (f) Intended education of parents and staff about the Parking Management Plan such as through an orientation session or the like.
8. Disabled persons' access to the building must be provided in accordance with the relevant Australian Standard/s to satisfy the provisions of the Disability Discrimination Act.
9. All security alarms or similar devices installed on the land must be of a silent type approved by the Standards Association of Australia and be connected to a registered security service.
10. No external sound amplification equipment or loudspeakers are to be used for the purpose of announcements, broadcasts, playing of music or similar purpose.
11. All outdoor lighting must be baffled and/or located to prevent light from the site causing detriment to the locality to the satisfaction of the Responsible Authority.
12. No plant, equipment, services or architectural features other than those shown on the endorsed plans are permitted above the roof level of the building/s without the prior written consent of the Responsible Authority.
13. Prior to the commencement of any site works including demolition and excavation, the owner must submit a Construction Management Plan to the Responsible Authority for approval. No works including demolition and excavation are permitted to occur until the Plan has been approved in writing by the Responsible Authority. Once approved, the Construction Management Plan will be endorsed to form part of this permit and must be implemented to the satisfaction of the Responsible Authority. The Plan must be to the satisfaction of the Responsible Authority and must provide details of the following:
 - (a) delivery and unloading points and expected frequency;
 - (b) Truck haulage routes, circulation spaces and queuing lanes;

- (c) Details how traffic and safe pedestrian access will be managed. These must be in the form of a Traffic Management Plan designed by a suitably qualified traffic practitioner;
 - (d) a liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - (e) an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
 - (f) any requirements outlined within this permit as required by the relevant referral authorities;
 - (g) hours for construction activity in accordance with any other condition of this permit;
 - (h) measures to control noise, dust, water and sediment laden runoff;
 - (i) measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
 - (j) any construction lighting to be baffled to minimise intrusion on adjoining lots.
14. Before the commencement of buildings and works, a detailed Landscape Plan to the satisfaction of the Responsible Authority must be submitted to, and approved by the Responsible Authority. When the Landscape Plan is approved, it will become an endorsed plan forming part of this Permit. The Landscape Plan must incorporate:
- (a) All existing retained vegetation to be identified.
 - (b) Buildings and trees (including botanical names) on neighbouring properties within 3 metres of the boundary.
 - (c) A planting schedule of all proposed vegetation including botanical names; common names; pot sizes; sizes at maturity; quantities of each plant; and details of surface finishes of pathways and driveways.
 - (d) Landscaping and planting within all open space areas of the site.
 - (e) Advanced canopy trees (minimum 3.0 metres tall when planted unless otherwise agreed to in writing by the Responsible Authority) in the following areas:
 - (i) 2 larger trees within the front setback
 - (ii) 4 standard canopy trees within the front setbackor 6 trees in locations to the satisfaction of the Responsible Authority.
- Trees are not to be sited over easements. All species selected must be to the satisfaction of the Responsible Authority.
15. A Tree Management Plan prepared by a suitably qualified professional detailing the transplantation process, interim storage, re-planting and on-going remedial tree health requirements for the trees to be retained and all tree protection measures required during demolition and construction to ensure the healthy retention of the trees located along the north-western boundary at 33 Nepean Highway .

16. The landscaping as shown on the endorsed Landscape Plan must be carried out, completed and maintained to the satisfaction of the Responsible Authority.
17. The landscaping as shown the endorsed Landscape Plan must be maintained, and any dead, diseased or damaged plant replaced in accordance with the landscaping plan to the satisfaction of the Responsible Authority.
18. Any pruning that is required to be done to the canopy or root system of any trees retained on-site or where the canopy of neighbouring property tree/s overhang the site, is to be done by a qualified Arborist to Australian Standard – Pruning of Amenity Trees AS 4373 – 2007, Standards Australia.
19. Any pruning of the root system of any existing tree to be retained is to be done by hand by a qualified Arborist.
20. The proposed works must not cause any damage to the canopy, roots or the Tree Protection Zone of the existing street tree.
21. Prior to the commencement of the buildings and works (including demolition), a tree protection fence must be erected around the street tree at a radius of 4.9 metres from the base of the trunk to define a 'tree protection zone'. Temporary fencing is to be used as per AS 4870-2009 section 4.3. This fence must be constructed of star pickets and chain mesh (or similar) to the satisfaction of the Responsible Authority. The tree protection fence must remain in place until the construction within the tree protection zone is completed. The tree protection zone for that component of the development not required for construction must remain fenced until construction is complete. No vehicular or pedestrian access, trenching or soil excavation is to occur within the tree protection zone. No storage or dumping of tools, equipment or waste is to occur within the tree protection zone.
22. The ground surface of the tree protection zone must be covered by a protective 100mm deep layer of mulch prior to the development commencing and be watered regularly to the satisfaction of the Responsible Authority.

Above ground canopy TPZ (Tree Protection Zone) to be adopted. No works, structures or machinery will come within 1m of the trees crown/canopy as per AS 4870-2009 section 3.3.6.

Tree Protection Zone (TPZ) fencing must be adopted to protect the street tree's trunk. Set at edge of TPZ on all sides (Finishing at paved surfaces). Temporary fencing to be used as per AS 4870-2009 section 4.3.

Hand excavate any area within 1.5m of the Tree Protection Zone (TPZ). If roots over 40mm are found, Park Services are to be notified and further inspections will be carried out.

Ground protection is to be used if temporary access for machinery is required within the Tree Protection Zone (TPZ). Strapped rumble boards are to be used within TPZ to limit ground compaction as per AS 4870-2009 section 4.5.3.

23. No excavation is to come within 3.4 metres of the existing street tree(measured from the centre of the trunk) without the prior consent of the Responsible Authority. Any excavation within 1.5m of the tree protection zones must be hand excavated. If roots over 40mm are found, Park Services are to be notified and further inspections will be carried out.

Ground protection is to be used if temporary access for machinery is required within the TPZ (Tree Protection Zone). Strapped rumble boards are to be used within the tree protection zone to limit ground compaction as per AS 4870-2009 section 4.5.3.

24. The location of the sign(s) (including the size, nature, panels, position and construction) shown on the endorsed plan must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.
25. The sign(s) must not contain any flashing, intermittent or changing colour light.
26. The sign(s) must be constructed and maintained to the satisfaction of the Responsible Authority.
27. The sign(s) must be located wholly within the boundary of the land.
28. Areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
 - (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all weather sealcoat;
 - (d) drained;
 - (e) line-marked to indicate each car space and all access lanes;
 - (f) clearly marked to show the direction of traffic along the access lanes and driveways;to the satisfaction of the Responsible Authority.

Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.
29. Vehicular crossing(s) must be constructed to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority and any existing crossing or crossing opening must be removed and replaced with footpath, naturestrip and kerb and channel to the satisfaction of the Responsible Authority.
30. External lighting of the areas set aside for car parking, access lanes and driveways must be designed, baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land.
31. During the construction of the buildings and works allowed by this permit, the laneway(s) adjacent to the subject land must be kept free of parked or standing vehicles or any other obstruction, including building materials, equipment etc. so as to maintain free vehicular passage to abutting benefiting properties at all times, unless with the written consent of the Responsible Authority.
32. Prior to the occupation of the approved development, the owner/permit holder must prepare and have approved in writing by the Responsible Authority a Waste Management Plan (WMP) for the site with respect to the collection and disposal of waste and recyclables associated with the proposed uses on the site to the satisfaction of the Responsible Authority. The WMP must provide for the following:
 - (a) The collection of waste associated with the uses on the land, including the provision of bulk waste collection bins or approved alternative, recycling bins, the storage of other refuse and solid wastes in bins or receptacles within suitable

screened and accessible areas to the satisfaction of the Responsible Authority. Commercial waste bins being placed or allowed to remain not in view of the public, and receptacles not emitting any adverse odours.

- (b) Designation of methods of collection including the need to provide for private services or utilisation of council services. If private collection is used, this method must incorporate recycling services and must comply with the relevant EPA noise guideline relating to the time of collection.
- (c) Appropriate areas of bin storage on site and areas of waste bin storage on collection days.
- (d) Details for best practice waste management once operating.

Once approved the WMP will be endorsed to form part of this permit and must be complied with to the satisfaction of the Responsible Authority and must not be varied except with the written approval of the Responsible Authority.

33. The layout of the site and size, design and location of buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.
34. This Permit will expire if:
- The demolition, development and use does not start within two (2) years from the date of this Permit; or
 - The development is not completed within four (4) years of the date of this Permit.

The Responsible Authority may extend the time referred to if a request is made in writing before this Permit expires or within six (6) months after the expiry date if the use/development has not commenced.

If the development has commenced, the Responsible Authority may extend the time referred to if a request is made in writing within twelve (12) months of the expiry date.

Notes

- A. The amendments specified in Condition 1 of this Permit and any additional modifications which are “necessary or consequential” are those that will be assessed by Council when plans are lodged to satisfy that condition. Any “necessary or consequential” amendments, in addition to those required by this condition, should be specifically brought to the attention of Council for assessment.

If other modifications are proposed, they must be identified and be of a nature that an application for amendment of permit may be lodged under Section 72 of the Planning and Environment Act 1987. An amendment application is subject to the procedures set out in Section 73 of the Planning and Environment Act 1987.

- B. This Planning Permit represents the Planning approval for the use and/or development of the land. This Planning Permit does not represent the approval of other departments of Glen Eira City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.

- C. Any failure to comply with the conditions of this permit may result in action being taken to have an Enforcement Order made against some or all persons having an interest in the land and may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal.
- D. Nothing in the grant of this permit should be construed as granting any permission other than planning permission for the purpose described. It is the duty of the permit holder to acquaint themselves, and comply, with all other relevant legal obligations (including any obligation in relation to restrictive covenants and easements affecting the site) and to obtain other required permits, consents or approvals.
- E. The use of the land may require approval and/or registration under the Children's Services Regulations 1998.
- F. The permit holder/applicant/owner must provide a copy of the Planning Permit to any appointed Building Surveyor. It is the responsibility of the permit holder/applicant/owner and the Building Surveyor to ensure that the development approved by this Permit is consistent with any Building Permit approved and that all works are consistent with the endorsed plans approved under this Planning Permit.
- G. Prior to the commencement of any demolition and/or building works, an Asset Protection Permit must be obtained from Council's Engineering Services Department.
- H. Any firefighting equipment for the building must be wholly contained within the subject site.

BACKGROUND

Plans were amended after advertising of the application to respond to a number of issues raised.

ISSUES AND DISCUSSION

- Zoning and policy context
- Neighbourhood character
- Height, scale and massing
- Amenity impacts
- Landscaping
- Internal amenity
- Car parking and traffic
- Objector's concerns

Proposal

- Use of the land for a child care centre (Maximum of 128 children)
- Demolish the rear section of the existing dwelling
- Construct a two storey building comprising of 7 play rooms and a play area on the rooftop
- Provision of 24 at-grade car spaces including 1 disabled car space (this is a reduction of 4 required car spaces)
- Accessway has been designed for one-way traffic via two separate crossovers to Nepean Highway service road.
- Create a new crossover to Nepean Highway
- Installation and display of business identification signage

Objectors' concerns

- Visual bulk impact to surrounding residential properties
- Potential access from the rear laneway
- Traffic and car parking
- Noise impact
- The site is zoned for residential purposes and not for commercial
- Overshadowing impacts
- Laneway at the rear is privately owned
- Insufficient buffer between proposal and surrounding properties both visual and noise
- Removal of trees

Referrals

Transport Planning

- The 24 car spaces proposed does not comply with the Child Care Centres Policy (requires 28 car spaces) and is not supported. The number of children should be reduced to a maximum of 109.
- The dimensions of the car spaces and accessways must be in accordance with Clause 52.06-8 of the Glen Eira Planning Scheme.
- The traffic generated by the proposal would have a negligible adverse impact on the operation of the Nepean Highway service road and the surrounding road network.
- Crossovers to be constructed a splayed crossover to the satisfaction of Council.

Landscape Officer

- Canary Island Palm tree should be retained and relocated to the front setback.
- Tree management plan is required for the trees to be retained.
- Details are required to ensure protection of neighbouring trees located at 33 Nepean Highway.

Heritage Advisor

- The proposed changes to the building use and development of the site as a Child Care Centre is acceptable in heritage terms.

Parks Services

- Street tree is in good condition. The tree must be retained with full tree protection.

Vic Roads

- VicRoads advised that they have no objection to the proposal.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONSZoning and policy context

A key policy requirement of the Child Care Centre policy is to ensure the integration of the child care centres into residential areas with minimal impact to the amenity of the surrounding residential properties.

The subject site is located within the Residential Growth Zone of the Elsternwick Urban Village and also on a main road (Nepean Highway). As such, the location is ideal for a child care centre and complies with the Policy in terms its location.

The subject site is also affected by the Heritage Overlay and holds significant heritage value. The proposal preserves the heritage character of the existing house on the site by retaining most parts of the dwelling and proposing a contemporary double storey extension at the rear that is well recessed and sympathetic to the heritage character of the existing dwelling. This is consistent with Council's Heritage Policy.

Neighbourhood character and heritage impacts

A mixture of housing types and styles can be found in the area, including single and double storey detached dwellings and double storey multi-unit developments. The abutting properties are all zoned Residential Growth Zone and have no heritage control. The subject site is the only site affected by a Heritage Overlay within the immediate context.

The proposed extension has been designed to ensure it does not dominate the existing dwelling or detract from its heritage character. The extension is setback 39 metres from Nepean Highway and as such, barely visible from the frontage. The architectural style of the proposed extension would complement the existing dwelling and enhance its cultural significance. A picket style front fence has also been proposed that reflects the same style of the existing dwelling.

A non-illuminated business identification sign will be located along the front boundary. Given its small size, it would not detract from the heritage character of the subject site.

Height, scale and massing

The proposed extension has a maximum height of two storey and is well below the mandatory height of the zone of 13.5m.

Although the first floor is proposed to be located on the rear boundary, given the location of the laneway at the rear that measures 3 metres in width there is adequate buffer between the proposed extension and the rear residential properties.

It is considered that the abutting property at 33 Nepean Highway is a sensitive abuttal. As such, overshadowing impacts should be assessed to this property. It is recommended that the extension be setback further from the south-eastern boundary to ensure that overshadowing and the visual bulk impacts to 33 Nepean Highway are within acceptable limits. This would also setback a boundary wall (measures 5.7m high) that abuts the backyard of 12/33 Nepean Highway.

The proposed rooftop playground is considered acceptable and would provide a safe, open environment with good solar access that is beneficial to the children. The playground has good setbacks from the adjoining properties and has screening around it to prevent unreasonable overlooking to adjoining properties.

Amenity impacts

The amenity of the adjoining residential properties should be further protected by the requirement of acoustic fences along the side boundaries. This is recommended as a condition of permit along with limiting the use of the rooftop playground between the hours of 8:00am to 4:00pm. The noise impact generated from children in the playgrounds is not considered to cause significant disruption to the amenity of the area particularly given relatively high noise levels from the traffic along Nepean Highway.

Concerns have also been raised by objectors in relation to the use of the laneway for access to the site and building. There is no proposal to use the laneway for access, however, a condition is included to ensure no access onto the laneway is allowed at all times.

Landscaping

In keeping with the existing landscape character of the subject site, a condition is recommended that both Canary Island Palm trees are retained and relocated to the front yard. A detailed Tree Management Plan will be required to ensure the protection and replanting of the trees.

Additionally, potential impacts to neighbouring trees located at 33 Nepean Highway have been identified. The Tree Management Plan will need to detail the protection of neighbouring trees during the construction of the development.

Car Parking and Traffic

The Child Care Centres Policy requires the provision of 28 on-site car parking spaces. The proposal provides 24 on-site carparking spaces. This is not supported. As there is no ability to provide further parking on the land, the number of children must be reduced to 109 children to comply with the policy.

The proposal did not specify the numbers of staff. Whilst the staff numbers for child care centre is stipulated by the State Government, it is recommended that the staff numbers be limited to no more than 22 on-site at any one time.

Two new crossovers are proposed onto Nepean Highway service road for access. The traffic access has been designed as one-way to ensure traffic flow without significant impacts both on and off site. Council's Traffic Engineering Department is generally supportive of the proposed access design but require greater details to be shown on the plan to ensure the access layout complies with the Planning Scheme as well as safe and convenient access for all users.

A Parking Management Plan (PMP) is also considered appropriate to ensure the detailed operation of the car parking has been considered including the allocation of staff parking, drop off areas and will require education of parents and staff of the centre.

Management Plan Requirements

A Construction Management Plan (CMP) and Waste Management Plan (WMP) and Parking Management Plan (PMP) will be required as conditions to protect the amenity of the surrounding residential properties.

COMMUNICATION AND ENGAGEMENT

1. Public Notice (Statutory)

The application was originally advertised in the following manner:

- 60 properties notified
- 90 notices sent (owners and occupiers)
- 1 sign erected on site
- 14 objections received including 1 petition

The permit applicant lodged amended plans after advertising was completed. The application was re-advertised in the following manner:

- 59 properties notified
- 96 notices sent (owners and occupiers and objectors)
- 1 sign erected on site

- 6 objections received including 2 petitions (concerns raised are related to the amended plans)

2. Planning Conference (Non Statutory)

The Conference, chaired by Cr Silver, provided a forum where all interested parties could elaborate on their respective views. Objectors mainly emphasised their original reasons for objection. It is considered that the main issues arising from the discussions were:

- Visual bulk impact to surrounding residential properties
- Potential foot access from the rear laneway
- Traffic and car parking
- Noise impact
- Shadowing impacts
- Insufficient buffer between proposal and surrounding properties
- Removal of trees

Undertakings by the Applicant

- Acoustic fencing for the side and rear boundaries as well as the fencing for the rooftop playground
- The south-eastern wall on the first floor be 'angled' and use of different building materials to provide greater visual interests
- A landscape plan for the rooftop playground

LINK TO COUNCIL PLAN

Liveable and Well Designed: A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Decision to Grant a Planning Permit be issued.

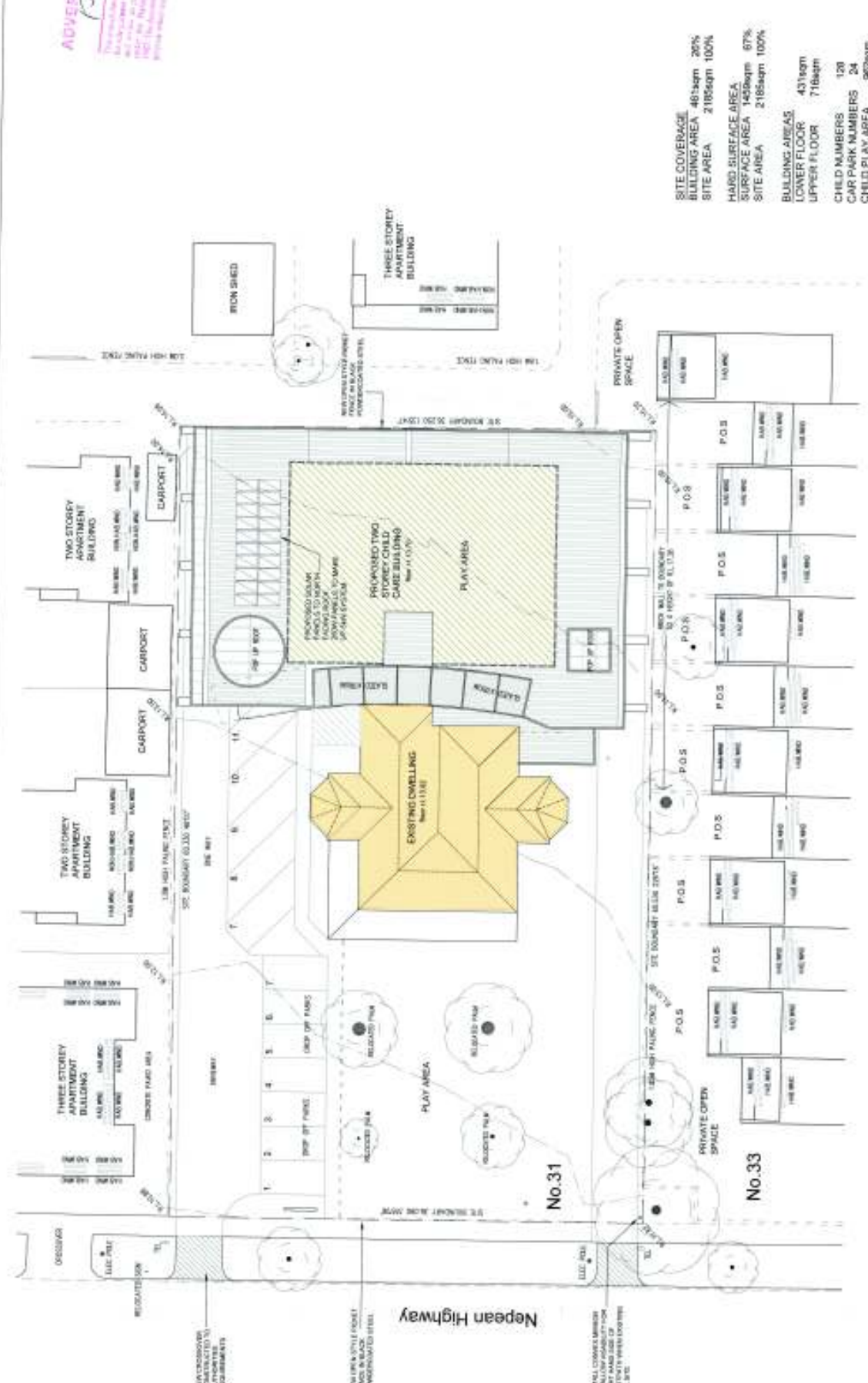


LRW Design

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NORTH

ADVERTISED PLAN
10 OF 18



SITE COVERAGE	481sqm	26%
BUILDING AREA	2185sqm	100%
SITE AREA	2185sqm	100%
HARD SURFACE AREA	145sqm	67%
SURFACE AREA	2185sqm	100%
BUILDING AREAS	431sqm	
LOWER FLOOR	718sqm	
UPPER FLOOR	128	
CHILD NUMBERS	24	
CAR PARK NUMBERS	24	
CHILD PLAY AREA	960sqm	

TOWN PLANNING ISSUE

PROPOSED CHILD CARE CENTRE
31 NEPEAN HIGHWAY, ELSTERNWICK
PROJECT: 16-04
TP04d

LRW Design

201 LORRAINE STREET, ELSTERNWICK VIC 3193
Phone: 03 9588 1000
Fax: 03 9588 1001
Email: lrrw@lrrwdesign.com.au





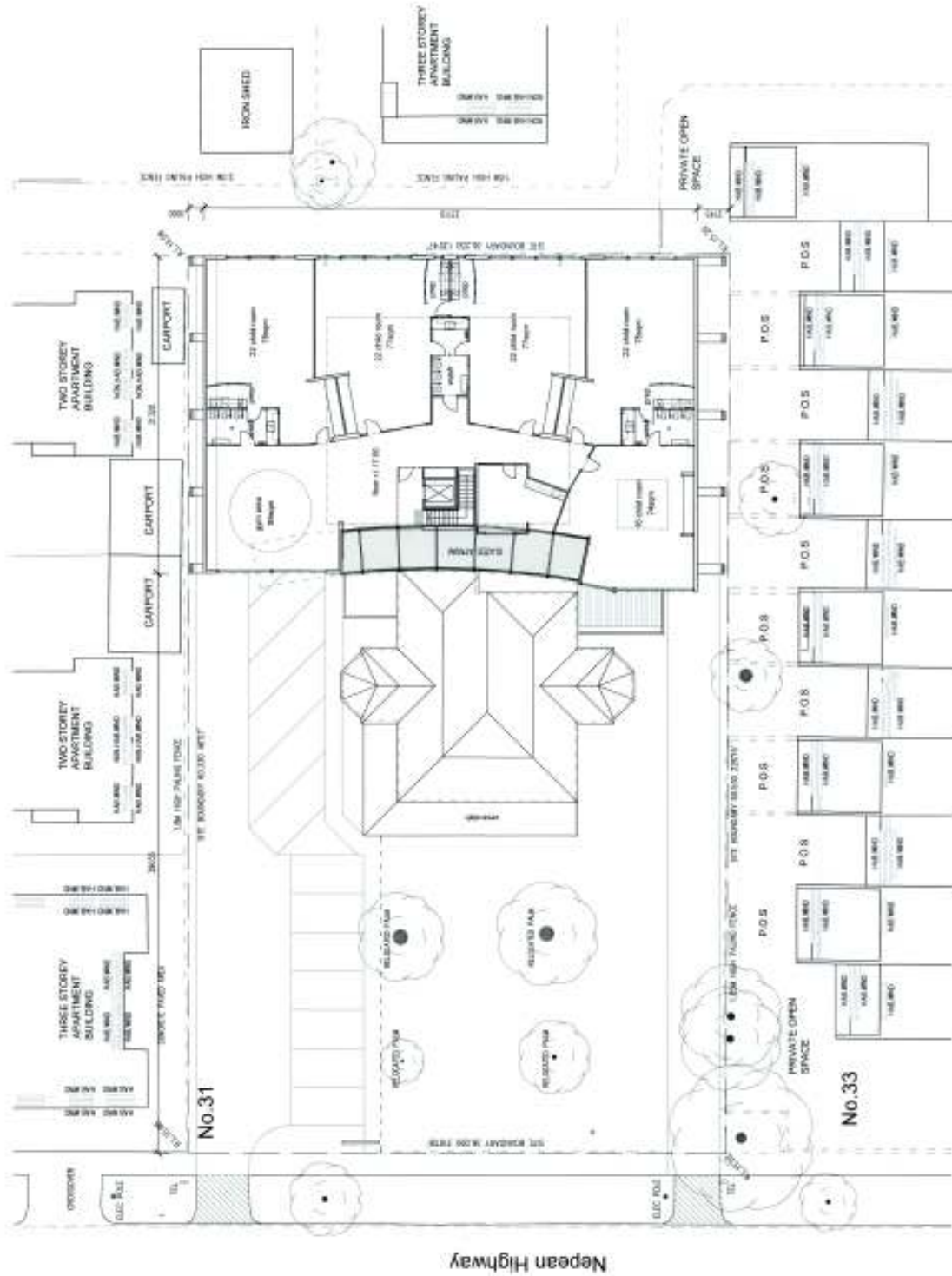
LRW Design

100

ADVERTISED PLAN

12 OF 10

This plan is a preliminary design and is not to be used for construction or any other purpose without the written consent of the author. The author is not responsible for any errors or omissions in this plan.



TOWN PLANNING ISSUE

SCALE 1:2000	PROPOSED CHILD CARE CENTRE	TP06d
31 NEPEAN HIGHWAY, ELSTERNWICK		
PROPOSED WORKS		
UPPER FLOOR PLAN		

LRW Design	222 LORRAINE STREET, ELSTERNWICK, VIC 3207
LRW DESIGN	222 LORRAINE STREET, ELSTERNWICK, VIC 3207
222 LORRAINE STREET, ELSTERNWICK, VIC 3207	222 LORRAINE STREET, ELSTERNWICK, VIC 3207





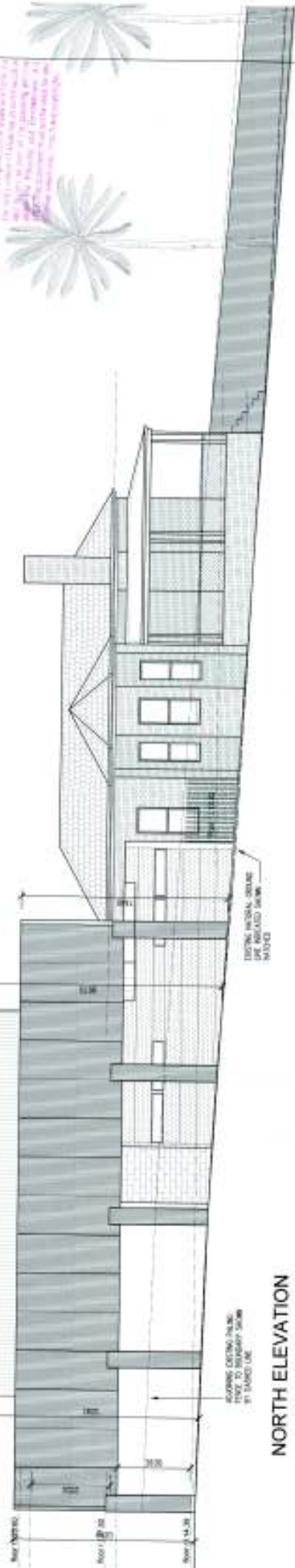
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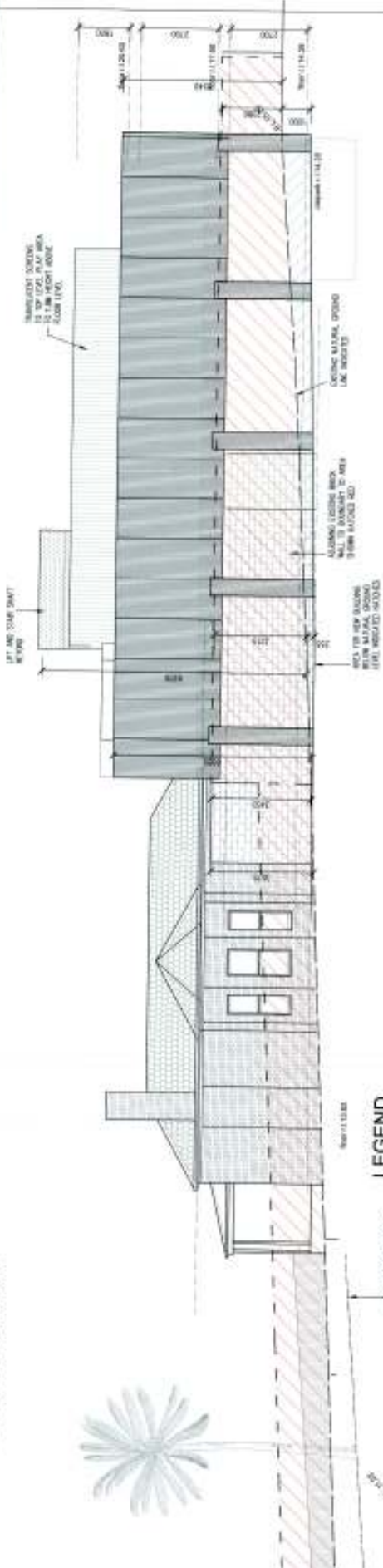
WORTH

SCALE 1:2000 DATE: MAR 2017 PROJECT NO: 06	PROPOSED CHILD CARE CENTRE 31 MEAN HIGHWAY, BLISTERWICK PROPOSED WORKS ROOF FLOOR PLAN	TP07d
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ADVERTISED PLAN
14 OF 12



NORTH ELEVATION



SOUTH ELEVATION

LEGEND

EXTERNAL FINISHES

- COLORBOND SHEETING
- METAL LOUVRES
- FACE BLOCKWORK
- RENDER FINISH
- STEEL PICKET FENCE

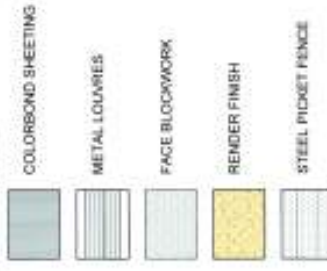
TOWN PLANNING ISSUE

LRW Design	PROPOSED CHILD CARE CENTRE	SCALE 1:1000
31 NEPEAN HIGHWAY, ELSTERNWICK	DATE: MAR 2017	PROJECT: 15-01
PROPOSED WORKS	PROPOSED WORKS	TP08d
NORTH & SOUTH ELEVATIONS		

This drawing is subject to the following conditions:
1. It is not to be used for any purpose other than that for which it was prepared.
2. It is not to be used for any purpose other than that for which it was prepared.
3. It is not to be used for any purpose other than that for which it was prepared.

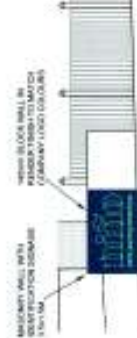
LEGEND

EXTERNAL FINISHES



EXTERNAL COLOURS

- (A) COLORBOND - METALMANT
- (B) METAL LOUVER - STEEL
- (C) COLORBOND - METALMANT
- (D) COLORBOND - METALMANT
- (E) COLORBOND - METALMANT

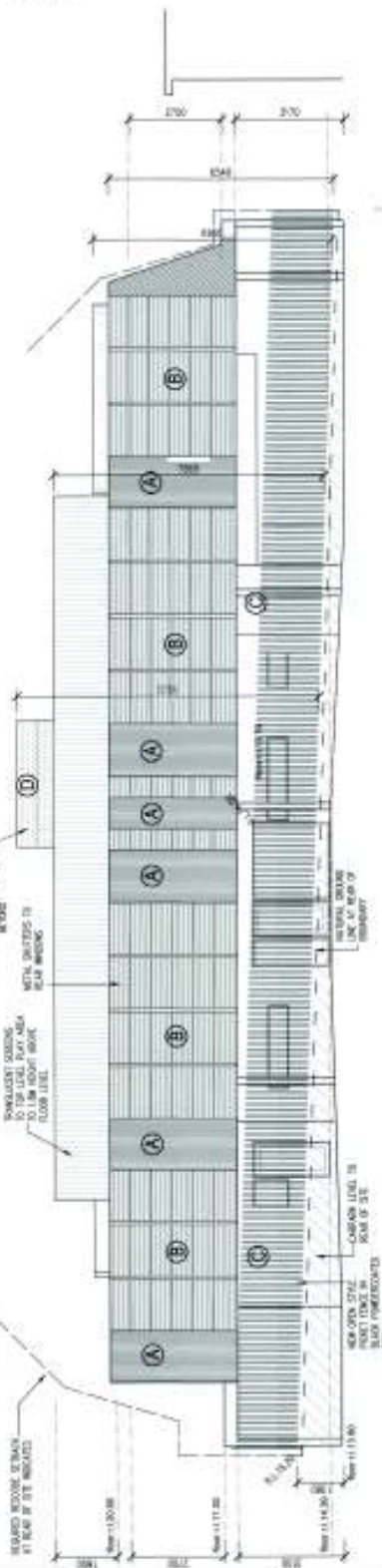


signage elevation
scale 1:100

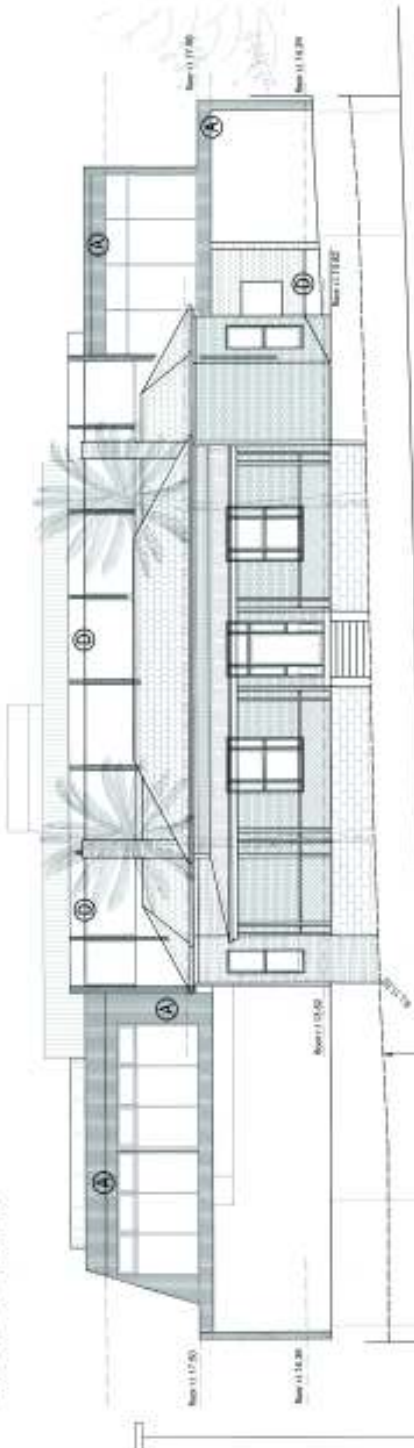
TOWN PLANNING ISSUE

SCALE: 1:100-250	DATE: 10/01/2017
PROJECT: 1000-0001	PROJECT: 1000-0001
PROPOSED CHILD CARE CENTRE	PROPOSED CHILD CARE CENTRE
31 HEPBURN HIGHWAY, ELLERSBURGH	31 HEPBURN HIGHWAY, ELLERSBURGH
PROPOSED WORKS	PROPOSED WORKS
EAST & WEST ELEVATIONS	EAST & WEST ELEVATIONS
TP09d	TP09d

LRW Design	10/01/2017
DESIGNER	DESIGNER
PROJECT: 1000-0001	PROJECT: 1000-0001
PROPOSED WORKS	PROPOSED WORKS
EAST & WEST ELEVATIONS	EAST & WEST ELEVATIONS



EAST ELEVATION



WEST ELEVATION



WEST ELEVATION - street elevation

ITEM 9.5 240-250 MCKINNON ROAD, MCKINNON**Author:** *Effie Tangelakis, Coordinator Town Planning***File No:** *GE/PP-30387/2017***Attachments:** *1. Advertised plans***PURPOSE AND SUMMARY**

To consider a Planning Permit application.



PROPOSAL	A six storey building comprising six shops and thirty three dwellings above basement car park and a reduction in car parking requirements (for visitors and shops) and waiver of the loading bay requirement.
MUNICIPAL STRATEGIC STATEMENT	McKinnon Neighbourhood Centre
APPLICANT	Centreway Pty Ltd
PLANNING SCHEME CONTROLS	Commercial 1 Zone
OBJECTIONS	8 objections

RECOMMENDATION

That Council issues a Notice of Decision to Grant a Planning Permit for Application No. GE/PP-30387/2017 for a six storey building comprising six shops and thirty three dwellings above basement car park and a reduction in car parking requirements (for shops) and waiver of the loading bay requirement, in accordance with the following conditions:

1. Before the commencement of the development, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. The plans must be drawn to scale with dimensions and must generally accord with the plans submitted with the application (identified as TP03-TP19, Amendment B dated 2/5/17 and drawn by Perkins Architects) but modified to show:

Building Envelope/Design

- (a) Dwellings 101, 105, 106, 110, 201, 205, 206, and 207 to have living areas of a minimum of 3.3m in width (not including the kitchen bench) and bedrooms to have minimum widths of 3m and minimum depths of 3.4m.
- (b) Individual storage areas to be at least six cubic metres in volume and screened so that their contents are not visible from outside the storage area.
- (c) The verandah over the footpath on McKinnon Road to extend to 750mm from the face of the kerb and continuous across the frontage having a height to its underside of at least three metres (to match the verandahs of shops on adjoining sites).
- (d) Balcony/terrace screening facing McKinnon Road to be semi-transparent/opaque to the satisfaction of the Responsible Authority.
- (e) Exterior rendered and painted surfaces that would be accessible to the general public be coated with a nano-protective-type product or a similar (to enable removal of graffiti).

Car parking and Traffic

- (f) Car parking to be provided at the rates as required by condition 30.
- (g) Notations requiring the removal of existing crossovers onto McKinnon Road and the nature strip/kerbs/footpath be reinstated to Council's satisfaction.
- (h) The ground floor to be set back from the rear property boundary to allow for an overall combined trafficable width of 5.5 metres between the building and the southern boundary of the ROW.
- (i) A height clearance of 4 metres at the rear to be provided between the ground floor and the upper floor (with no support columns in this area).
- (j) Sliding parking units at ground floor to have a minimum usable platform width of 2.6 metres. The sliding parking units must be clearly dimensioned on the plans, and show the space width, length and clear platform width.
- (k) The two tandem spaces (north of the sliding parking units) to each have a minimum of 4.9m in length with a 500mm clearance between the spaces.
- (l) The aisle width adjacent to the undercroft spaces to be clearly outlined on the plan with these spaces setback at least 3.4 metres from the ROW to allow for an overall aisle width of 6.4 metres in accordance with Clause 52.06 of the Glen Eira Planning Scheme.
- (m) The 1:8 sections at the bottom of the ramps to be increased to a minimum of 2.5 metres.

- (n) The solid walls along the ramps adjacent to the three car spaces to be cutback or the walls be no greater than 900mm in height for the first 2.5 metres from the basement floors (including the wall of the residential lobby area on the basement level).
- (o) The stairwell on both basement levels should be shifted further in to provide minimum 6.4 metre aisles on both basement levels and the spaces opposite need to be widened accordingly (with aisle width within in this area clearly marked).
- (p) Pedestrian access within the basement car parks and to the shops to be at least 1 metre wide with the dimensions of the pedestrian paths annotated on the plans.

When approved, the plans will be endorsed and will then form part of this Permit.

2. The layout of the site and size, design and location of buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.
3. The layout and description of the use(s) as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.
4. This Permit will expire if:
 - The development and use does not start within two (2) years from the date of this Permit; or
 - The development is not completed within four (4) years of the date of this Permit.

The Responsible Authority may extend the time referred to if a request is made in writing before this Permit expires or within six (6) months after the expiry date if the use/development has not commenced.

If the development has commenced, the Responsible Authority may extend the time referred to if a request is made in writing within twelve (12) months of the expiry date.

5. No buildings or works are to be constructed over any easement or other restriction on the land or any sewers, drains, pipes, wires or cables under the control of a public authority without the prior written consent of the relevant authority and the Responsible Authority.
6. Disabled access to the building must be provided to the satisfaction of the Responsible Authority.

All work carried out to provide disabled access must be constructed in accordance with in AS 1428.1 to the satisfaction of the Responsible Authority

7. The amenity of the area must not be adversely affected by the use or development as a result of the:
 - (a) transport of materials, goods or commodities to or from the land; and/or
 - (b) appearance of any building, works, stored goods or materials; and/or
 - (c) emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil; and/or

in any other way, to the satisfaction of the Responsible Authority.

8. Noise levels from the commercial tenancies must not exceed the permissible noise levels stipulated in State and Environment Protection Policy N-1 (Control of Noise from Industrial Commercial and Trade Premises within the Melbourne Metropolitan Area) and State Environment Protection Policy N-2 (Control of Music Noise from Public Premises).
9. All security alarms or similar devices installed on the land must be of a silent type approved by the Standards Association of Australia and be connected to a registered security service.
10. All pipes, fixtures, fittings and vents servicing any building on the site must be concealed in service ducts or otherwise hidden from view to the satisfaction of the Responsible Authority.
11. No plant, equipment, services or architectural features other than those shown on the endorsed plans are permitted above the roof level of the building/s without the prior written consent of the Responsible Authority.
12. Adequate provision must be made for the storage and collection of garbage, bottles and other solid wastes in bins or receptacles, to the satisfaction of the Responsible Authority.

All bins and receptacles used for the storage and collection of garbage, bottles and other solid wastes must be kept in a storage area screened from view, to the satisfaction of the Responsible Authority.

All bins and receptacles must be maintained in a clean and tidy condition and free from offensive odour, to the satisfaction of the Responsible Authority.

13. Provision must be made on the site for letter boxes and receptacles for newspapers to the satisfaction of the Responsible Authority.
14. Collection of waste must not cause any disturbance to nearby residential properties and must only occur between the following hours:

Monday to Saturday (inclusive):	6:30am – 8:00pm
Sundays and Public Holidays:	9:00am – 8:00pm
15. The Permit holder must ensure that all dwellings within the development are protected from noise associated with any on-site mechanical plant equipment, consistent with the requirements of the State Environment Protection Policy N-1.
16. The permit holder must ensure that internal noise levels of the sleeping areas of the proposed dwellings comply with AS/NZS 2107:2000.
17. The permit holder must ensure that dividing walls and floors between dwellings are constructed to limit noise transmission to 45 STC (Sound Transmission Class) in accordance with Part F(5) of the Building Code of Australia.
18. Prior to the occupation of the approved development, the owner/permit holder must prepare and have approved in writing by the Responsible Authority an updated Waste Management Plan (WMP) for the site with respect to the collection and disposal of waste and recyclables associated with the proposed uses on the site to the satisfaction of the Responsible Authority. The WMP must provide for the following:

- (a) The collection of waste associated with the uses on the land, to occur within the basement, including the provision of bulk waste collection bins or approved alternative, recycling bins, the storage of other refuse and solid wastes in bins or receptacles within suitable screened and accessible areas to the satisfaction of the Responsible Authority.
- (b) Designation of methods of collection including the need to provide for private services (this must incorporate recycling services and must comply with the relevant EPA noise guideline relating to the time of collection).
- (c) Appropriate areas of bin storage on site (within the basement) and areas of waste bin storage on collection days.
- (d) Details for best practice waste management once operating.

Once approved the WMP will be endorsed to form part of this permit and must be complied with to the satisfaction of the Responsible Authority and must not be varied except with the written approval of the Responsible Authority.

19. Construction or carrying out of buildings and works associated with the development (excluding remediation works for the purpose of the environmental audit) hereby approved must not occur until, to the satisfaction of the Responsible Authority:

- A certificate of environmental audit is issued for the land in accordance with Part IXD of the Environment Protection Act 1970; or
- An environmental auditor appointed under the Environment Protection Act 1970 makes a statement in accordance with Part IXD of the Act that the environmental conditions of the land are suitable for the sensitive use.

A copy of the certificate or statement must be supplied to the Responsible Authority. The certificate or statement will be read in conjunction with this Permit and all conditions of the statement will form part of this permit. The certificate or statement may be open to peer review at a cost to the permit holder/owner of the land at any time.

Where there are conditions on a Statement of Environmental Audit that require ongoing maintenance and/or monitoring, the applicant must enter into a Section 173 Agreement under the Planning and Environment Act 1987 (unless deemed unnecessary by the Responsible Authority) to give effect to the ongoing maintenance and/or monitoring conditions contained in the Statement of Environmental Audit. The Agreement must be executed on title prior to the commencement of the use and prior to the issue of a Statement of Compliance under the Subdivision Act 1987. The applicant must meet all costs associated with drafting and execution of the Agreement, including those incurred by the responsible authority. A memorandum of the Agreement is to be entered on Title and the costs of the preparation and execution of the Agreement and entry of the memorandum on Title are to be paid by the owner.

All the conditions of the Statement of Environmental Audit must be complied with to the satisfaction of the responsible authority, prior to commencement of use of the site. Written confirmation of compliance must be provided by a suitably qualified environmental professional or other suitable person acceptable to the responsible authority. In addition, sign off must be in accordance with any requirements in the Statement conditions regarding verification of works.

20. Prior to the commencement of any site works including demolition and excavation, the owner must submit a Construction Management Plan to the Responsible Authority for approval. No works including demolition and excavation are permitted to occur until the Plan has been approved in writing by the Responsible Authority. Once approved, the Construction Management Plan will be endorsed to form part of this permit and must be implemented to the satisfaction of the Responsible Authority. The Plan must be to the satisfaction of the Responsible Authority and must provide details of the following:
- (a) Delivery and unloading points and expected frequency;
 - (b) Truck haulage routes, circulation spaces and queuing lanes;
 - (c) Details how traffic and safe pedestrian access will be managed. These must be in the form of a Traffic Management Plan designed by a suitably qualified traffic practitioner;
 - (d) A liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - (e) An outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
 - (f) Any requirements outlined within this permit as required by the relevant referral authorities;
 - (g) Hours for construction activity in accordance with any other condition of this permit;
 - (h) Measures to control noise, dust, water and sediment laden runoff;
 - (i) Measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
 - (j) Any construction lighting to be baffled to minimise intrusion on adjoining lots.
21. No plant, equipment, services and substations other than those shown on the endorsed plans are permitted without the prior written consent of the Responsible Authority
22. Privacy screens must be in accordance with the endorsed plans and must be installed prior to the occupation of the development. The privacy screens must be maintained to the satisfaction of the Responsible Authority.
23. Areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
- (a) Constructed;
 - (b) Properly formed to such levels that they can be used in accordance with the plans;
 - (c) Surfaced with an all-weather sealcoat;
 - (d) Drained;

- (e) Line-marked to indicate each car space and all access lanes;
- (f) Clearly marked to show the direction of traffic along the access lanes and driveways;

to the satisfaction of the Responsible Authority.

Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.

- 24. The surface of the car park area must be treated to the satisfaction of the Responsible Authority to prevent dust causing a loss of amenity to the neighbourhood.
- 25. Concrete kerbs or other barriers must be provided to the satisfaction of the Responsible Authority to prevent direct vehicle access to an adjoining road other than by vehicle crossing.
- 26. A sign, to the satisfaction of the Responsible Authority, must be provided directing drivers to the area(s) set aside for car parking and must be located and maintained to the satisfaction of the Responsible Authority. The area of the sign must not exceed 0.3 square metres.
- 27. Protective kerbs (minimum 150mm in height) or the like must be installed to the satisfaction of the Responsible Authority to prevent vehicle damage to the landscaped areas on the subject land and to the fences of adjoining properties.
- 28. Vehicular crossing(s) must be constructed to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority and any existing crossing or crossing opening must be removed and replaced with footpath, naturestrip and kerb and channel to the satisfaction of the Responsible Authority.
- 29. A minimum of one (1) car space must be provided for the exclusive use of disabled persons. The car space must be provided as close as practicable to the front entrance of the building and must be clearly marked with a sign to indicate that it must only be utilised by disabled persons. The minimum dimensions of the car space must be 2.4 metres wide with a 2.4m shared space at the side and rear.
- 30. The car parking allocation for the approved development must be:
 - Not less than one (1) car space per one or two bedroom dwelling
 - Not less than two (2) car spaces per three (3) or more bedroom dwelling
 - A minimum of 6 visitor spaces (1 to every 5 dwelling) and marked accordingly
 - A minimum of two (2) car spaces to be provided for each commercial tenancy.
- 31. The areas set aside for car parking, shown on the endorsed plans, must be made available for use free of charge to employees and visitors at all times when the use is in operation and must not be used for any other purpose.
- 32. External lighting of the areas set aside for car parking, access lanes and driveways must be designed baffled and located to the satisfaction of the Responsible Authority to prevent any adverse effect on adjoining land.
- 33. The loading and unloading of goods from vehicles must only be carried out on the subject land and must be conducted in a manner which does not cause any interference with the circulation and parking of vehicles on the land.
- 34. The loading and unloading of goods from vehicles must only be carried out on the subject land within the designated loading bay, as detailed on the endorsed plans, and

must be conducted in a manner which does not cause any interference with the circulation and parking of vehicles on the land.

35. All disused or redundant vehicle crossings must be removed and the area re-instated with footpath, naturestrip and kerb and channel to the satisfaction of the Responsible Authority.
36. Prior to the commencement of the development, a fee of \$2,354.00 must be paid to the Responsible Authority for the removal and replacement of the existing street trees. The street trees will be replaced with the species, maturity and location of which will be selected by Council's Parks Services Department.
37. The existing street trees to be removed must be replaced by a tree, the species, maturity and location of which must be to the satisfaction of Council's Parks Services Department. The new tree must be planted and maintained to the satisfaction of Council at no expense to the Council.
38. Any modification to existing infrastructure and services within the road reservation (including, but not restricted to, electricity supply, telecommunications services, gas supply, water supply, sewerage services and stormwater drainage) necessary to provide the required access to the site, must be undertaken by the applicant/developer to the satisfaction of the relevant authority. All costs associated with any such modifications must be borne by the applicant/developer.
39. Before the development is occupied, the provision and design of bicycle parking facilities must comply with Clause 52.34 of the Glen Eira Planning Scheme and AS2890.3-1993 (including the type, location, layout, access paths, signage) or otherwise to the satisfaction of the Responsible Authority. This includes the provision of showers and change rooms when required by Clause 52.34.
40. Prior to the completion of the basement floor construction, written confirmation by a Licensed Land Surveyor must be provided to the Responsible Authority verifying that the basement floor has been constructed generally in accordance with the endorsed plans (prior to the construction of the levels above being commenced.)
41. Prior to the completion of the ramp to the basement, written confirmation by a Licensed Land Surveyor must be provided to the Responsible Authority verifying that the basement ramp has been constructed generally in accordance with the endorsed plans.
42. The permit holder must inform all purchasers about this planning permit, particularly drawing attention to Note E.
43. Prior to the occupation of the approved development, a permanent sign must be erected by the applicable planning permit holder in a prominent position in the car park and in any foyer/s stating that "Residents of this development will not be issued Residential Parking Permits (including visitor parking permits)". The sign must measure approximately 0.2 square metres in area, to the satisfaction of the Responsible Authority.
44. Written confirmation from a suitably qualified Traffic Engineer demonstrating that the basement layout and vehicle access complies with Clause 52.06 of the Glen Eira Planning Scheme.

NOTES

- A. The amendments specified in Condition 1 of this Permit and any additional modifications which are “necessary or consequential” are those that will be assessed by Council when plans are lodged to satisfy that condition. Any “necessary or consequential” amendments, in addition to those required by this condition, should be specifically brought to the attention of Council for assessment.

If other modifications are proposed, they must be identified and be of a nature that an application for amendment of permit may be lodged under Section 72 of the Planning and Environment Act 1987. An amendment application is subject to the procedures set out in Section 73 of the Planning and Environment Act 1987.

- B This Planning Permit represents the Planning approval for the use and/or development of the land. This Planning Permit does not represent the approval of other departments of Glen Eira City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit.
- D The exact design detail of the fences on the northern, southern and eastern boundaries of the site and the division of costs is to be determined with the adjoining owners in accordance with the provisions of the Fences Act 1968.
- E Residents of the dwellings allowed under this permit will not be issued Residential Parking Permits (including visitor parking permits).
- G. Any failure to comply with the conditions of this permit may result in action being taken to have an Enforcement Order made against some or all persons having an interest in the land and may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal.
- H. Nothing in the grant of this permit should be construed as granting any permission other than planning permission for the purpose described. It is the duty of the permit holder to acquaint themselves, and comply, with all other relevant legal obligations (including any obligation in relation to restrictive covenants and easements affecting the site) and to obtain other required permits, consents or approvals.
- I. The sale of liquor on the premises for consumption on or off the premises will require permission from the Victorian Commission for Gambling and Liquor Regulation and may require further planning permission from Council.
- J. The use of the land may require approval by, and/or registration with, Council’s Environmental Health Department under the provisions of the Food Act 1984, Health Act 1958 and/or Tobacco Act 1996 (as amended).
- K. Prior to the commencement of any demolition and/or building works, an Asset Protection Permit must be obtained from Council’s Engineering Services Department.
- L. The existing Telstra pit/s at the frontage of the site are to be relocated and/or modified to the satisfaction of the relevant Authority. Please call Telstra on ph: 1800 810 443. The written permission from the relevant Authority regarding the relocation and/or modification of the Telstra pit/s must be provided to Council.

- M. The permit holder/applicant/owner must provide a copy of the Planning Permit to any appointed Building Surveyor. It is the responsibility of the permit holder/applicant/owner and the Building Surveyor to ensure that the development approved by this Permit is consistent with any Building Permit approved and that all works are consistent with the endorsed plans approved under this Planning Permit.

Councils Assets Engineering Department advises;

- Any firefighting equipment for the building shall be accommodated within title boundary. Submitted plans are not showing location of any hydrant / booster. Council will not allow private fire equipment in the Road Reserve.
- The proposed pedestrian access must be DDA compliance. The existing footpath levels must not be altered or changed.
- Asset Protection Permit must be obtained from Council Engineering Services Department prior commencement of any building works.
- All relevant Engineering Permits must be obtained prior any works within the Road Reserve and or stormwater connection to Council drainage network.
- Any modifications, amendments or changes that could impact Council's infrastructure assets are to be discussed with the Engineering Services prior to issuing a planning permit

BACKGROUND

N/A

ISSUES AND DISCUSSION

- Zoning and policy context
- Height, scale and massing
- Amenity impacts
- Internal amenity
- Car parking and traffic
- Contamination

Proposal

- Demolition of the existing buildings
- Two levels of basement car parking with access from the laneway to the rear
- Ground floor comprising of six retail tenancies at ground floor ranging from 53-93sqm and at grade car parking
- First floor contains 10 dwellings
- Second floor contains 10 dwellings
- Third floor contains 6 dwellings
- Fourth floor contains 5 dwellings
- Fifth floor contains 2 dwellings
- 28 dwellings have 1 or 2 bedrooms, 5 dwellings have 3 bedrooms
- Balconies and terraces with an area of 8sqm-91sqm
- 18 bicycle spaces at ground floor
- Maximum building height of 19.6 metres
- 40 residential car spaces, 4 residential visitor car spaces (reduction of 2 proposed) and 6 retail car spaces (reduction of 9 proposed). One disabled car space.

Objectors' concerns

- Overdevelopment
- Inadequate car parking and lack of loading bay
- Excessive height
- Visual bulk
- Impact on infrastructure
- Overall design
- Waste concerns
- Internal amenity
- Overshadowing and overlooking

Referrals

Transport Planning

- Transport Planning is satisfied with the number of customer car parking spaces that has been provided for the shops
- Additional setbacks needed from the laneway to ensure access is satisfactory

Park Services

- The proposed verandah will impact on future growing space and reduce sunlight to street trees. The best result is for the trees to be removed at the applicants cost and replaced with more suitable vegetation once the development is complete.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONSZoning and policy context

The site is zoned Commercial 1, within the McKinnon Neighbourhood Centre under Council's Housing Diversity Area Policy. Policy supports residential uses (such as shop top housing and apartment style developments) at upper levels (with a retail core at ground level).

The abutting properties to the east and west are also zoned Commercial 1. Properties to the south on Adelaide Street (beyond the laneway) are within the General Residential Zone. A three storey building directly to the rear of the site at 1-9 Adelaide Street has been approved by Council resolution in 2016 (construction has not yet commenced).

As the proposal is within the Commercial Zone and exceeds 4 storeys, ResCode does not apply. However consideration has been given to key elements of the State Government's *Guidelines for Higher Density Residential Development* particularly building design, building envelope and urban context.

Height, scale and massing

The proposal has an overall maximum height of 19.96 metres. While the proposal will undoubtedly be taller and more robust than adjoining existing development, it is considered that it represents what policy expects in terms of change given the size of the site, the emerging built form in the immediate area and its strategic location.

The building has been designed with a strong three storey podium design with the levels above recessed to reduce the building mass. Given the commercial zoning and the setbacks proposed, this is considered appropriate.

The adjoining residential properties to the south are separated from the subject site by a 3.0m wide laneway. Setbacks to the building itself are considered generous (ranging from 9.4 metres at ground and 5 metres at first floor, increasing at the levels above) and will ensure there is an appropriate transition to the residential zone.

The architectural quality of the building is considered to be of a relatively high standard. This is demonstrated in the level of visual interest exhibited in the facades, which feature balconies, balustrades, glazing and a mixture of materials that moderate the effects of visual bulk. A number of minor design changes have been recommended to enhance integration with the adjacent footpath and presentation of the building.

Amenity impacts

As the proposal is being assessed under the 'Guidelines for Higher Density Residential Development, there are no overshadowing standards which the site must comply with. Additionally there is no requirement for overshadowing to be minimized given the site's location within the Commercial 1 Zone.

Notwithstanding this, consideration must be given to overshadowing created to the adjoining residential properties to south. Whilst the development to the south has not yet been constructed, consideration should be given to the approved development and potential impact to these dwellings.

The applicant has provided plans demonstrating the extent of shadows which are cast by the existing boundary fences. The shadows cast by the proposal will fall within the shadows cast by the existing boundary fence (at the September equinox).

Overlooking has been satisfactorily addressed with privacy screens to the first and second floor balconies which have the potential to overlook the adjoining properties to the south. Conditions are required to ensure these screens provide an adequate level of privacy. The floors above are setback over 9.0m from the boundary of the abutting properties to the south (taking into account the 3.0m wide laneway) and therefore additional screening is not considered necessary.

Internal amenity

A mixture of one, two and three bedroom dwellings are provided with reasonable private open space areas in the form of balconies and terraces with a minimum area of 8sqm. The dimensions of these areas and their connection to living rooms will provide good quality outdoor recreation areas for future residents, given the commercial context of the site.

Due to the orientation of the site, there are several south facing dwellings. All habitable rooms will have access to daylight either directly through windows facing the front, side and rear boundaries or light courts which will provide an acceptable level of internal amenity. On balance this is considered a reasonable outcome.

Concerns are raised with the limited widths and areas provided for the eastern and western most dwellings at first and second floor. Conditions are recommended to improve the internal room dimensions.

Car Parking and Traffic

The proposal provides the following parking:

Tenancy	Proposed parking	Planning Scheme requirement
33 dwellings	40	38
Shops	7	16
Residential visitors	4	6

Car parking for the dwellings has been provided in accordance with State Government Guidelines (1 to every 1 or 2 bedroom dwelling, 2 for each three bedroom dwelling), however a reduction of two car spaces for visitors and nine spaces for the shops has been proposed.

Given the location of the site and proximity to residential areas, it is recommended that all visitor car spaces (6), and at least two car spaces for each commercial space be provided on-site. This forms a condition of permit.

This may result in modifications to the arrangement of car parking within the basement. It is possible that car stackers could be included, or the lower basement be extended to allow for the required car parking rates.

Land Contamination

The site was previously used as a garage/service station; therefore it is important to ensure that any contamination is appropriately addressed. An Environmental Assessment/Audit is recommended to ensure any contamination on the site is appropriately treated prior to construction. This forms a recommended condition of permit.

Management Plan Requirements

A Construction Management Plan and Waste Management Plan is recommended as a condition of permit.

COMMUNICATION AND ENGAGEMENTPublic Notice (Statutory)

- 12 properties notified
- 23 notices sent (owners and occupiers)
- 2 signs erected on site
- 8 objections received

Planning Conference (Non Statutory)

The Conference, chaired by Cr Magee, provided a forum where all interested parties could elaborate on their respective views. One objector attended and mainly emphasized their original reasons for objection. It is considered that the main issues arising from the discussions were:

- Overdevelopment
- Excessive height
- Inadequate car parking

Undertakings by the Applicant

N/A

LINK TO COUNCIL PLAN

Liveable and Well Designed: A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Decision to Grant a Planning Permit be granted.



Design Response

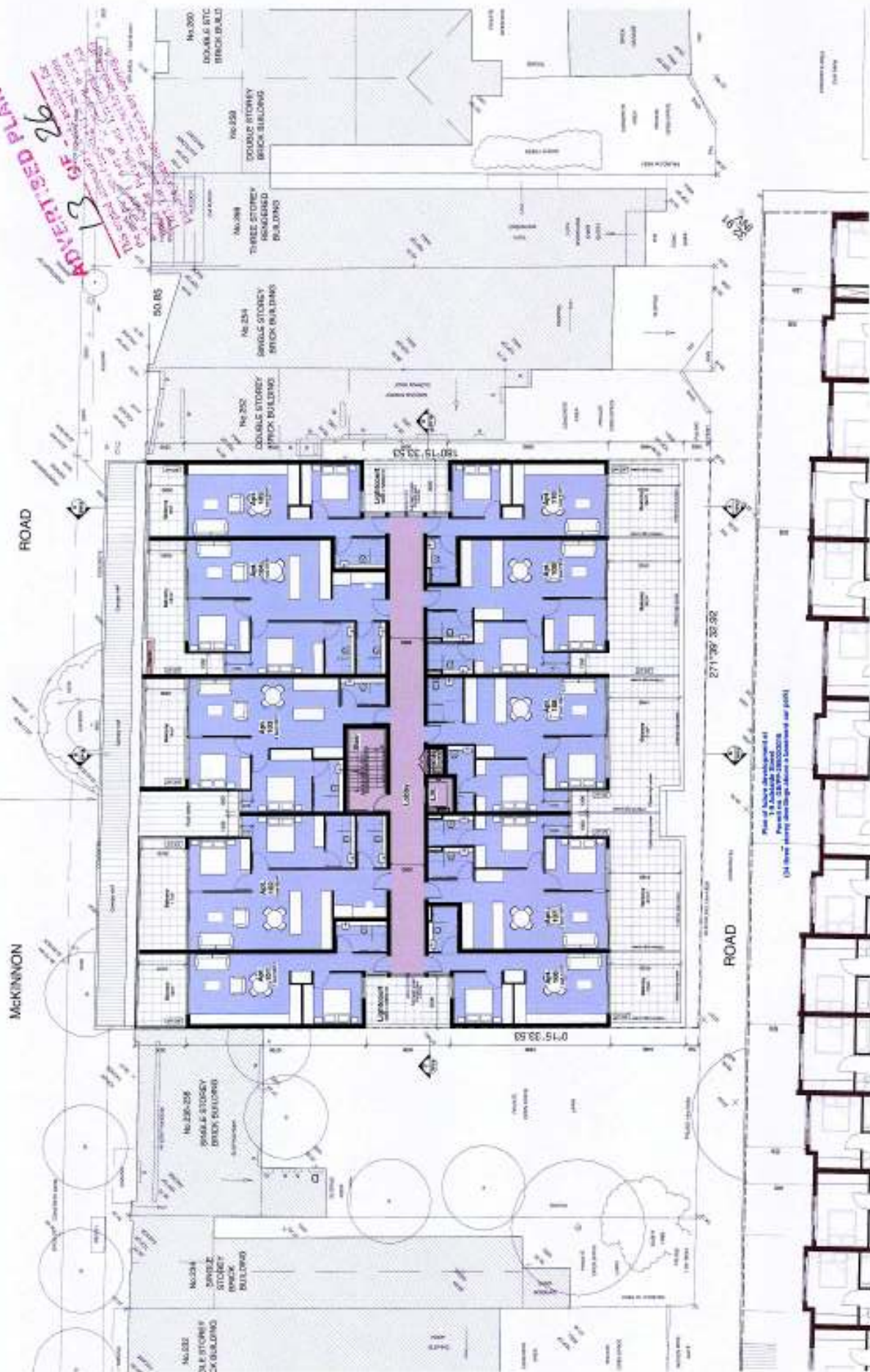
- 1. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services.
- 2. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services.
- 3. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services.
- 4. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services.
- 5. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services. The design response is a development of 100 units of residential accommodation, including 50 units of social housing and 50 units of private housing. The development is located on a site of approximately 1.5 hectares, bounded by Madison Road to the north, Madison Avenue to the east, and Madison Street to the south. The development is designed to be a self-contained community, with its own facilities and services.

ADVERTISED PLAN 26



Learning Objectives
Practical Skills
Key Messages

Perkins Architects

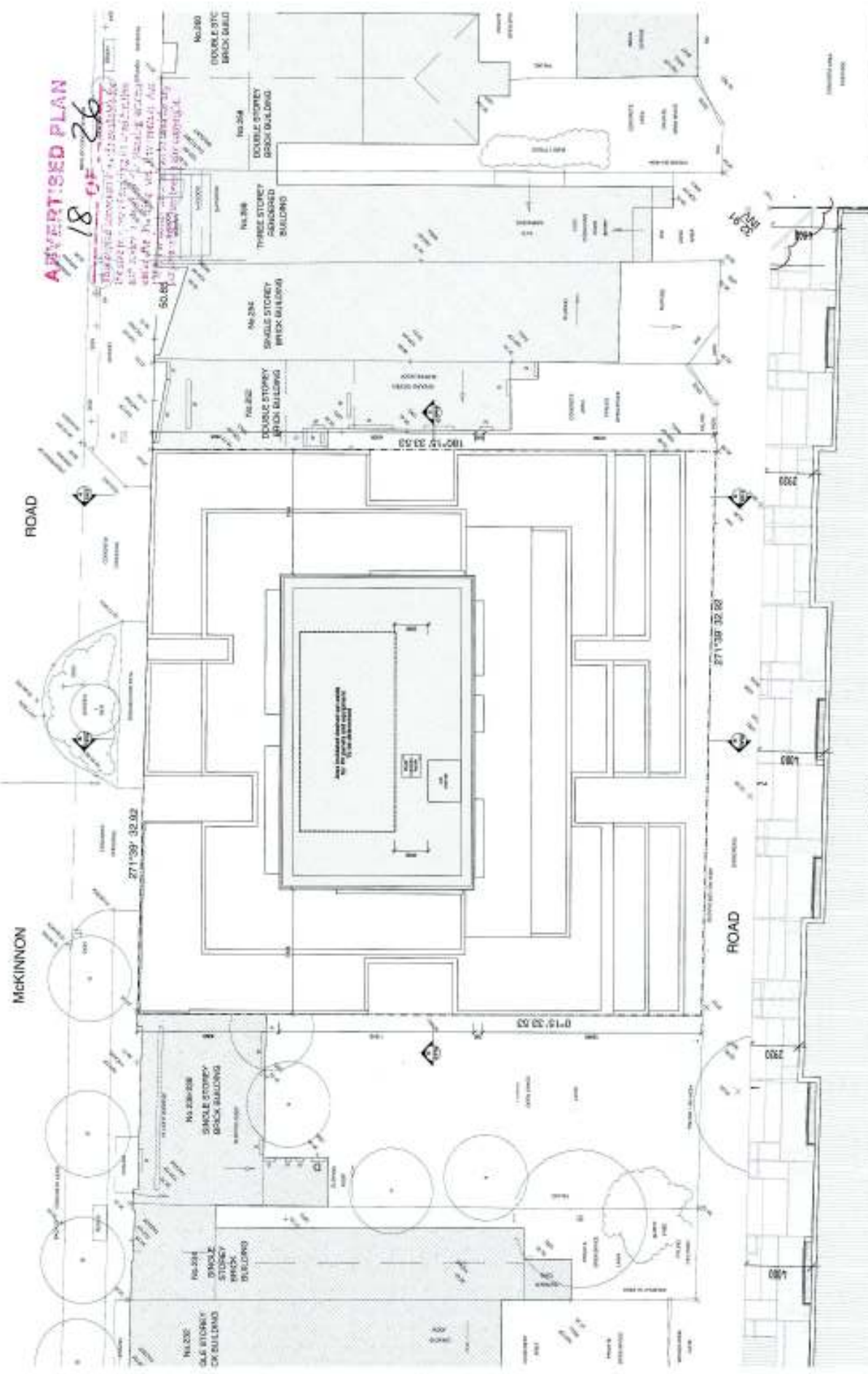


Perkins and Ward
McKinnon Road
Brentwood
240-250 McKinnon Road McKinnon

First Floor Plan
TP06
As indicated B

Scale: 1:100
Date: 13/05/2013
Drawing Date: 13/05/2013
First Date: 13/05/2013
No. of Sheets: 1

Site of Above Development at 240-250 McKinnon Road
Perkins and Ward
240-250 McKinnon Road McKinnon



ADVERTISED PLAN
 18 OF 26

Perkins + Partners

McKinnon Road
 Central
 240-250 McKinnon Road McKinnon

Roof Plan
TP11
 Amendment B

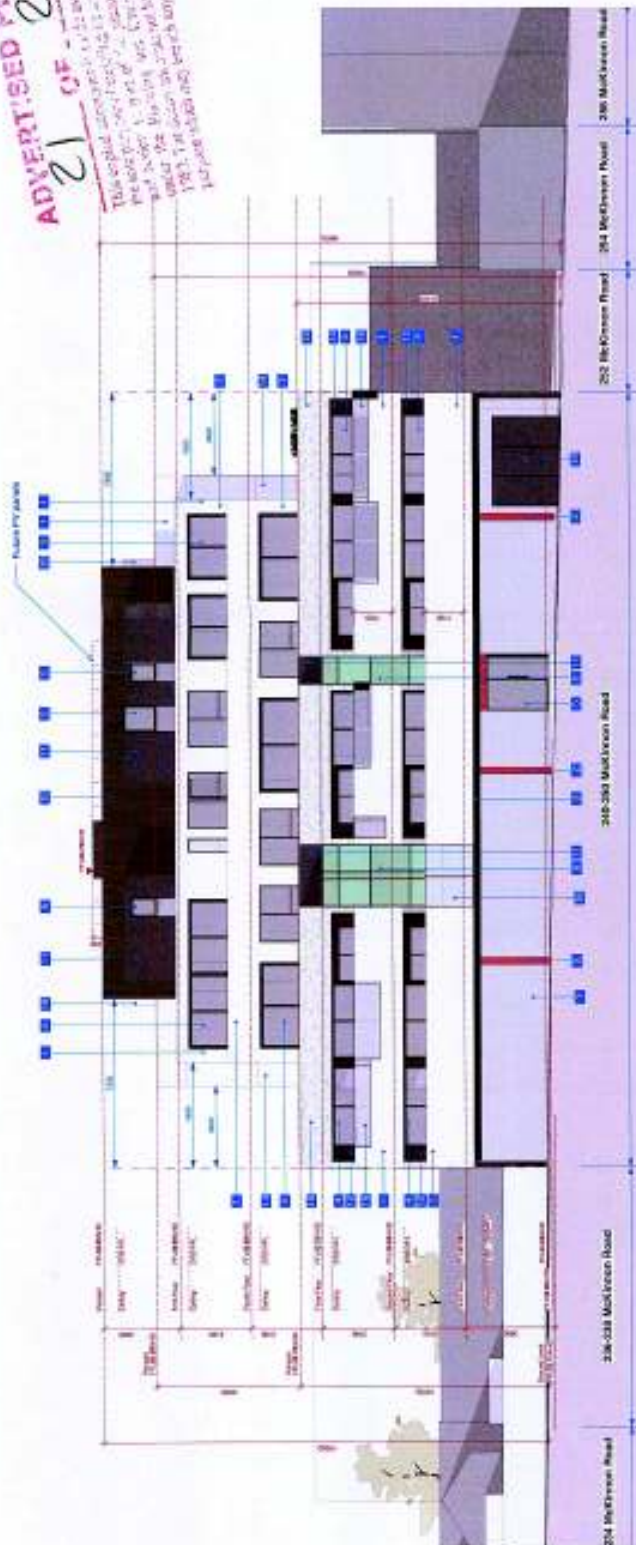
North

Drawing Scale:
 Plot Date: 10/11/17
 Plot Title: 240-250 McKinnon Road McKinnon

1:100 of Plot 240-250, L & A
 1:100 of Plot 240-250, L & A
 1:100 of Plot 240-250, L & A

ADVERTISED PLAN
21 OF 26
 This project requires a 10% improvement in energy efficiency over the 2015 ASHRAE 90.1-2015 energy code. The project is a 10-story, 150,000 sq ft office building. The project is a 10-story, 150,000 sq ft office building. The project is a 10-story, 150,000 sq ft office building.

Material / Color Sample	Notes
1	Concrete (Light Gray)
2	Concrete (Dark Gray)
3	Concrete (Medium Gray)
4	Concrete (Light Gray)
5	Concrete (Dark Gray)
6	Concrete (Medium Gray)
7	Concrete (Light Gray)
8	Concrete (Dark Gray)
9	Concrete (Medium Gray)
10	Concrete (Light Gray)
11	Concrete (Dark Gray)
12	Concrete (Medium Gray)
13	Concrete (Light Gray)
14	Concrete (Dark Gray)
15	Concrete (Medium Gray)
16	Concrete (Light Gray)
17	Concrete (Dark Gray)
18	Concrete (Medium Gray)
19	Concrete (Light Gray)
20	Concrete (Dark Gray)
21	Concrete (Medium Gray)
22	Concrete (Light Gray)
23	Concrete (Dark Gray)
24	Concrete (Medium Gray)
25	Concrete (Light Gray)
26	Concrete (Dark Gray)



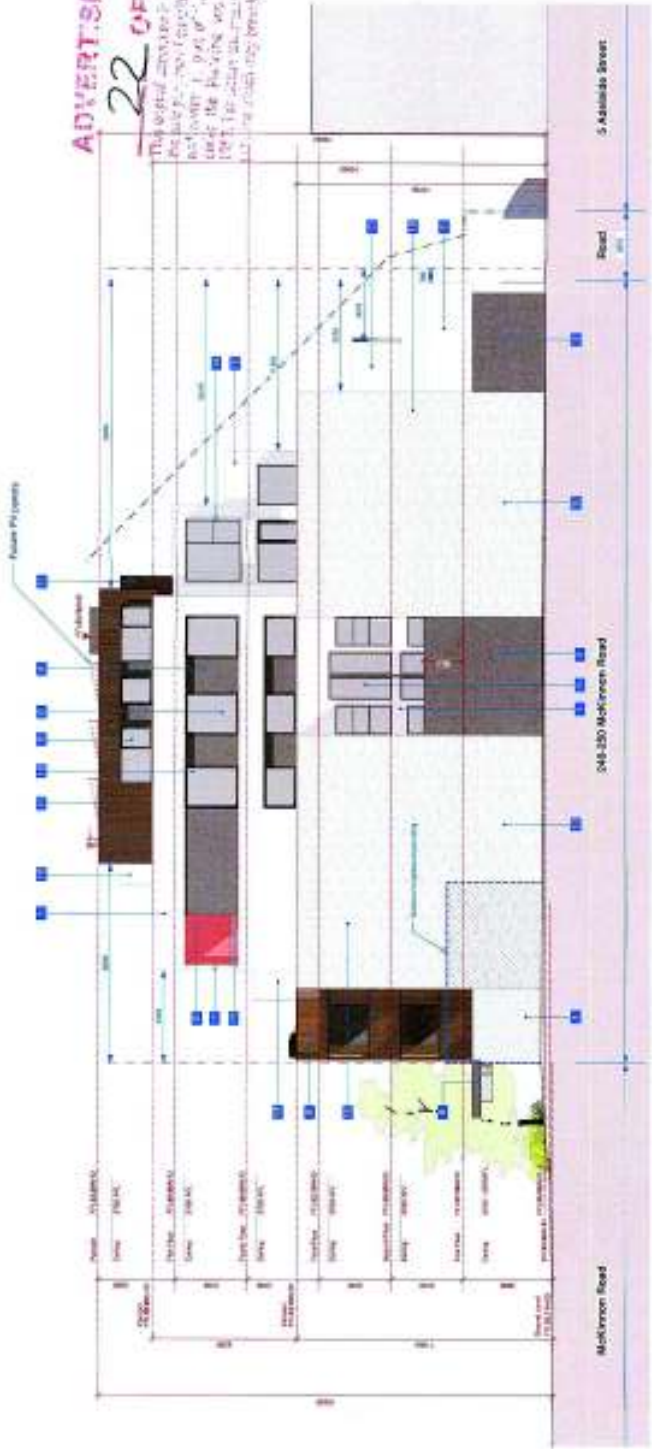
Material / Color Schedule

Item	Material / Color	Notes
1	Exterior Wall	See Notes
2	Roofing	See Notes
3	Window Sill	See Notes
4	Window Frame	See Notes
5	Window Pane	See Notes
6	Door Frame	See Notes
7	Door Panel	See Notes
8	Stair Tread	See Notes
9	Stair Riser	See Notes
10	Handrail	See Notes
11	Light Fixture	See Notes
12	Light Switch	See Notes
13	Light Bulb	See Notes
14	Light Socket	See Notes
15	Light Cord	See Notes
16	Light Box	See Notes
17	Light Cover	See Notes
18	Light Lens	See Notes
19	Light Mount	See Notes
20	Light Bracket	See Notes
21	Light Chain	See Notes
22	Light Hook	See Notes
23	Light Plug	See Notes
24	Light Switch Plate	See Notes
25	Light Outlet Box	See Notes
26	Light Junction Box	See Notes

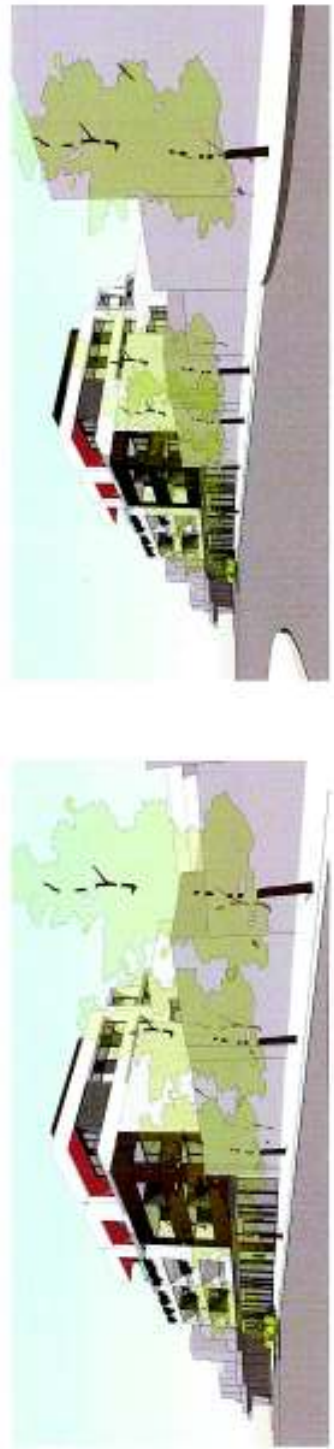
ADVERTISED PLAN

22 OF 26

This is a preliminary plan for informational purposes only. It is not to be used for construction or other purposes without the written consent of the architect. The plan is subject to change without notice.



West Elevation



ITEM 9.6 777 GLEN HUNTLY ROAD, CAULFIELD**Author:** *Effie Tangelakis, Coordinator Town Planning***File No:** *GE/PP-30247/2016***Attachments:** *1. Advertised plans***PURPOSE AND SUMMARY**

To consider a Planning Permit application.



PROPOSAL	Construction of a four storey building comprising 5 dwellings above ground floor retail, and a reduction in the statutory car parking requirement on land affected by a Heritage Overlay
MUNICIPAL STRATEGIC STATEMENT	Housing Diversity Area Policy (Caulfield South Neighbourhood Centre)
APPLICANT	Megowan Architectural
PLANNING SCHEME CONTROLS	Commercial 1 Zone Heritage Overlay
OBJECTIONS	1

RECOMMENDATION

That Council issues a Notice of Decision to Grant a Planning Permit for Application No. GE/PP-30247/2016 at 777 Glen Huntly Road, Caulfield in accordance with the following conditions/grounds:

1. Before the commencement of the development and use, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. The plans must be drawn to scale with dimensions and must generally accord with the plans submitted with the application (identified as TP03, TP06, TP08-TP13, prepared by Megowan Architectural, dated 23/02/2017) but modified to show:
 - (a) A notation on the plans that all upper floor habitable room windows and balconies on the northern, eastern, and western eastern elevations to have fixed screening or fixed obscure glazing to a height of 1.7m above finished floor level, or otherwise to the satisfaction of the Responsible Authority.
 - (b) Car spaces allocated on the plans as follows:
 - Not less than one (1) car space per one or two bedroom dwelling;
 - Not less than two (2) car spaces per three (3) or more bedroom dwelling;
 - A minimum of two (2) car spaces allocated to the shop.
 - (c) The exact model of car stacker to be delineated on the plans. In accordance with Clause 52.06 of the Planning Scheme, car stackers are to be provided with a minimum usable platform width of 2.6m, with this clearly indicated on the plans.
 - (d) Dimensions of car stackers and car stacker spaces clearly indicated on the car park layout plans, showing space width and lengths, clear platform widths and lengths, space heights, pit depths, and height clearances, to the satisfaction of the Responsible Authority.
 - (e) A separation wall provided between the car stackers and the pedestrian path to the lobby. Pedestrian access between the car park and the pedestrian walkway is to be provided directly within the building, to the satisfaction of the Responsible Authority.
 - (f) Pedestrian access within the building to measure a minimum of 1m in width, with this clearly dimensioned on the plans.
 - (g) The verandah on the Glen Huntly Road frontage set back 750mm from the face of the kerb, with this clearly dimensioned on the plans.
 - (h) The provision of one bicycle space for visitors in the form of a bicycle hoop located within an easily accessible area within the building, and not within a private storage area, to the satisfaction of the Responsible Authority.
 - (i) All plans designed and dimensioned in accordance with Clause 52.06 of the Glen Eira Planning Scheme.
 - (j) A schedule of construction materials, external finishes and colours (incorporating paint samples).

When approved, the plans will be endorsed and will then form part of this Permit.

2. The layout of the site and size, design and location of buildings and works as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority. Note: This does not obviate the need for a permit where one is required.

3. This Permit will expire if:

- The development does not start within two (2) years from the date of this Permit; or
- The development is not completed within four (4) years of the date of this Permit.

The Responsible Authority may extend the time referred to if a request is made in writing before this Permit expires or within six (6) months after the expiry date if the use/development has not commenced.

If the development has commenced, the Responsible Authority may extend the time referred to if a request is made in writing within twelve (12) months of the expiry date

4. Prior to the occupation of the approved development, the owner/permit holder must prepare and have approved in writing by the Responsible Authority a Waste Management Plan (WMP) for the site with respect to the collection and disposal of waste and recyclables associated with the proposed uses on the site to the satisfaction of the Responsible Authority. The WMP must provide for the following:

- (a) The collection of waste associated with the uses on the land, including the provision of bulk waste collection bins or approved alternative, recycling bins, the storage of other refuse and solid wastes in bins or receptacles within suitable screened and accessible areas to the satisfaction of the Responsible Authority. Commercial waste bins being placed or allowed to remain not in view of the public, and receptacles not emitting any adverse odours.
- (b) Designation of methods of collection including the need to provide for private services or utilisation of council services. If private collection is used, this method must incorporate recycling services and must comply with the relevant EPA noise guideline relating to the time of collection.
- (c) Appropriate areas of bin storage on site and areas of waste bin storage on collection days.
- (d) Details for best practice waste management once operating.

Once approved the WMP will be endorsed to form part of this permit and must be complied with to the satisfaction of the Responsible Authority and must not be varied except with the written approval of the Responsible Authority.

5. Prior to the commencement of any site works including demolition and excavation, the owner must submit a Construction Management Plan to the Responsible Authority for approval. No works including demolition and excavation are permitted to occur until the Plan has been approved in writing by the Responsible Authority. Once approved, the Construction Management Plan will be endorsed to form part of this permit and must be implemented to the satisfaction of the Responsible Authority. The Plan must be to the satisfaction of the Responsible Authority and must provide details of the following:

- (a) delivery and unloading points and expected frequency;
- (b) Truck haulage routes, circulation spaces and queuing lanes;
- (c) Details how traffic and safe pedestrian access will be managed. These must be in the form of a Traffic Management Plan designed by a suitably qualified

traffic practitioner;

- (d) a liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - (e) an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
 - (f) any requirements outlined within this permit as required by the relevant referral authorities;
 - (g) hours for construction activity in accordance with any other condition of this permit;
 - (h) measures to control noise, dust, water and sediment laden runoff;
 - (i) measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
 - (j) any construction lighting to be baffled to minimise intrusion on adjoining lots
6. Areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
- (a) constructed;
 - (b) properly formed to such levels that they can be used in accordance with the plans;
 - (c) surfaced with an all weather sealcoat;
 - (d) drained;
 - (e) line-marked to indicate each car space and all access lanes;
 - (f) clearly marked to show the direction of traffic along the access lanes and driveways;

to the satisfaction of the Responsible Authority.

Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose

7. Vehicular crossing(s) must be constructed to the road to suit the proposed driveway(s) to the satisfaction of the Responsible Authority and any existing crossing or crossing opening must be removed and replaced with footpath, naturestrip and kerb and channel to the satisfaction of the Responsible Authority
8. The car parking allocation for the approved development must be:
- Not less than one (1) car space per one or two bedroom dwelling;
 - Not less than two (2) car spaces per three (3) or more bedroom dwelling;
 - A minimum of two (2) car spaces allocated to the 93m² shop.

9. Before occupation of the development, the provision and design of bicycle parking facilities must comply with Clause 52.34 of the Glen Eira Planning Scheme and AS2890.3-1993 (including the type, location, layout, access paths, signage) or otherwise to the satisfaction of the Responsible Authority.
10. During the construction of the buildings and works allowed by this permit, the laneway(s) adjacent to the subject land must be kept free of parked or standing vehicles or any other obstruction, including building materials, equipment etc. so as to maintain free vehicular passage to abutting benefiting properties at all times, unless with the written consent of the Responsible Authority
11. The permit holder must inform all purchasers about this planning permit, particularly drawing attention to Note A.
12. Prior to the occupation of the approved development, a permanent sign must be erected by the applicable planning permit holder in a prominent position in the car park and in any foyer/s stating that "Residents of this development will not be issued Residential Parking Permits (including visitor parking permits)". The sign must measure approximately 0.2 square metres in area, to the satisfaction of the Responsible Authority
13. Prior to the completion of the car stacker pit, written confirmation by a Licensed Land Surveyor is to be provided to the Responsible Authority verifying that the car stacker pits have been constructed in accordance with the endorsed plans.

Notes:

- A. Residents of the dwellings allowed under this permit will not be issued Residential Parking Permits (including visitor parking permits).
- B. The amendments specified in Condition 1 of this Permit and any additional modifications which are "necessary or consequential" are those that will be assessed by Council when plans are lodged to satisfy that condition. Any "necessary or consequential" amendments, in addition to those required by this condition, should be specifically brought to the attention of Council for assessment.

If other modifications are proposed, they must be identified and be of a nature that an application for amendment of permit may be lodged under Section 72 of the Planning and Environment Act 1987. An amendment application is subject to the procedures set out in Section 73 of the Planning and Environment Act 1987.

- C. This Planning Permit represents the Planning approval for the use and/or development of the land. This Planning Permit does not represent the approval of other departments of Glen Eira City Council or other statutory authorities. Such approvals may be required and may be assessed on different criteria from that adopted for the approval of this Planning Permit
- D. This Planning Permit represents the Planning approval for the development of the land. Side and rear boundary fences do not form part of this Planning approval. All matters relating to the boundary fences shall be in accordance with the provisions of the Fences Act 1968
- E. Any failure to comply with the conditions of this permit may result in action being taken to have an Enforcement Order made against some or all persons having an interest in the land and may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal

- F. Nothing in the grant of this permit should be construed as granting any permission other than planning permission for the purpose described. It is the duty of the permit holder to acquaint themselves, and comply, with all other relevant legal obligations (including any obligation in relation to restrictive covenants and easements affecting the site) and to obtain other required permits, consents or approvals
- G. Prior to the commencement of any demolition and/or building works, an Asset Protection Permit must be obtained from Council's Engineering Services Department
- H. Consideration is required when installing domestic services (i.e – air conditioning units, heaters, pool pumps, water tanks and the like). The owner/occupier/permit holder/developer must take all reasonable and practicable measures in locating domestic services in position that reduce any amenity impact on adjoining properties. This includes selecting an appropriate installation position and enclosing the domestic service. Further information regarding noise from domestic services can be found in the Environmental Protection Act 1970
- I. Any public/private lighting in the laneway is to be provided by, and maintained by the developer.
- J. Engineering Services encourage the use of rainwater tanks for storage and reuse for toilet and irrigation purposes and/or stormwater detention systems.
- K. Drainage associated with construction (seepage and agricultural waters must be filtered to rainwater clarity) are to be discharged to the nearest Council Drain/Pit and must not be discharged to the kerb and channel.
- L. All stormwater runoff must be connected to the Council underground drainage network. No uncontrolled discharge is to occur to adjoining properties and footpaths.
- M. Any firefighting equipment for the building is to be accommodated within the Title Boundary. Council will not allow private fire equipment in the Road Reserve.
- N. Prior to the commencement of any works within the Road Reserve and/or stormwater connection to the Council Drainage Network all relevant Engineering Permits must be obtained from Council Engineering Services.

BACKGROUND

N/A

ISSUES AND DISCUSSION

- Zoning and policy context
- Neighbourhood character
- Height, scale and massing
- Amenity impacts
- Internal amenity
- Car parking and traffic
- Objector concerns

Proposal

- Demolition of the existing buildings
- Construction of a four storey building
- Ground floor comprising 93m² retail unit, access to dwellings, storage area
- First floor comprising 2 two-bedroom dwellings
- Second floor comprising 2 two-bedroom dwellings
- Third floor comprising 1 three-bedroom dwelling
- Parking located at the rear of the site, with 8 parking spaces provided in the form of car stackers
- Maximum building height of 14.4 metres

Objector concerns

- Overshadowing
- Loss of sunlight
- Impacts upon outlook

Referrals

Transport Planning

- The residential car parking requirement has been exceeded by one space, however there is a shortfall of one visitor space and 2 shop spaces. This is considered acceptable as there is ample parking in the surrounding area to accommodate for the shortfall.
- Details of the proposed car stackers to be provided and amendments to ensure compliance with Planning Scheme requirements.

Heritage Advisor

- The shop front is not original, and makes a marginal contribution to the heritage streetscape, therefore the removal is acceptable.
- The proposed Glen Huntly Road façade is acceptable as it has a scale and materiality which is reflective of surrounding buildings.
- The levels behind the new façade have been setback from the street frontage to limit their visibility which is acceptable.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONS

Zoning and policy context

The site is located within the Commercial 1 Zone, which seeks to create mixed use commercial centres which incorporate a variety of uses. In addition, the zone seeks to provide for residential development at densities complementary to the role and scale of the commercial centre.

The site is also subject to the Heritage Overlay, which seeks to ensure that development is respectful of the heritage character of the area.

Neighbourhood character

The subject site is located within an established strip of buildings which contain commercial uses at ground floor, with ancillary or residential uses above. The buildings maintain a relatively consistent appearance, which contributes to the heritage character. It is noted however that the building on the subject site is not the original building, and therefore does not actively contribute to the heritage character of the area. The new building is considered acceptable, especially as the upper levels have been setback away from the street, limiting their visibility which allows the building to better blend with its surrounding context.

To the immediate north of the site on Hawthorn Road there are examples of more modern mixed use form, of greater scale, and to the north east on the opposing side of an access laneway there are a number of dwellings of single and double storey form within the Neighbourhood Residential Zone. Given the wide range of built forms and the respectful style of building proposed, the proposed building is acceptable in this context.

Height, scale and massing

While the building is taller than that of the immediately neighbouring properties, it is recessed at the upper floor levels which will reduce its visibility. The height of buildings within the local environment vary along the length of the shopping strip, although there is a relatively consistent scale of two storey buildings in the immediate vicinity, interspersed with single storey properties such as the subject site.

There will be greater visibility of the building from the east, travelling west along Glen Huntly Road, but this is considered acceptable and the norm within the commercial context of the site. Council's Heritage advisor is supportive of the proposal. There are no mandatory maximum building heights applicable to the site, therefore the height is considered acceptable within the context of the surrounding built environment, and the strategic intent of the Commercial 1 Zone.

Amenity impacts

There is a degree of overshadowing of the rear yard of the neighbouring commercially zoned property immediately to the west in the early hours of the day. As a result of the orientation of the site, this overshadowing is substantially removed in the mid-latter hours of the day, with no shadow occurring from after midday into the afternoon. The impacts upon amenity as a result of overshadowing are therefore acceptable and comply with State Government requirements.

There is the potential for overlooking to the rear and side of the property, from the upper floors and associated balconies. A condition of permit is recommended to address this matter.

Internal amenity

The north to south orientation of the site, along with built forms along both side boundaries, reduces the potential for the provision of windows to the sides (east and west) of the development. A number of balcony areas to each dwelling are provided, which will ensure good access to natural light, with living areas and bedrooms featuring either windows or direct balcony access.

No bedrooms are reliant upon “corridor” style windows, and the central light-court located on the eastern edge of the site will ensure that the adjacent areas receive an acceptable level of solar access.

Dwellings are well-proportioned, and are considered to provide a sufficient level of amenity to future occupants.

Car Parking and Traffic

The Planning Scheme requires a total of 10 carparking spaces to be provided on the site, 6 of which are for the residents, 1 for visitors and 3 for the shop. A total of 8 car spaces have been provided, 7 of which have been allocated to residents and 1 for the shop use.

Whilst the development does not provide the full complement of parking in accordance with State Government requirements, by virtue of the proximity of public transport to the site, and the proximity of local services and ample parking in the immediate area, particularly after hours where visitor demand may be increased, it is considered that a waiver of the visitor parking requirement is appropriate. It is further noted that access to the parking area is via the laneway at the rear of the site which would be inconvenient for visitors to negotiate.

As surplus parking (one extra space) has been proposed for the residential component of the development a condition of permit has been recommended to allocate that space to the shop, which would mean that the shop would only have a shortfall of one space.

Additional conditions are recommended to ensure plans are in accordance with the design requirements of the Planning Scheme.

Council's Transport Planning Department have indicated that the proposed development would not result in any adverse impacts upon the road network as a result of additional trip generation.

Management Plan Requirements

A construction management plan, and waste management plan have been required to be provided by condition of permit.

COMMUNICATION AND ENGAGEMENT

1. Public Notice (Statutory)

- 16 properties notified
- 34 notices sent (owners and occupiers)
- 1 sign erected on site

- 1 objection received

2. Planning Conference (Non Statutory)

The Conference, chaired by Cr Silver, provided a forum where all interested parties could elaborate on their respective views. The objector did not attend.

Undertakings by the Applicant

N/A

LINK TO COUNCIL PLAN

Liveable and Well Designed: A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Decision to Grant a Planning Permit be issued.

ITEM 9.7 329 JASPER ROAD ORMOND**Author:** *Effie Tangelakis, Coordinator Town Planning***File No:** *GE/PP-30294/2017***Attachments:** *1. Advertised plans***PURPOSE AND SUMMARY**

To consider a Planning Permit application.



PROPOSAL	Construction of a four storey building comprising a shop and fifteen (15) dwellings, reduction in car parking requirement (for visitors and shops); waiver of loading bay requirements and altering access to a road zone
MUNICIPAL STRATEGIC STATEMENT	Housing Diversity Area Policy (Ormond Neighbourhood Centre)
APPLICANT	Spectrum Design Group
PLANNING SCHEME CONTROLS	Commercial 1 Zone Road Zone Category 1
OBJECTIONS	4

RECOMMENDATION

That Council issues a Notice of Refusal to Grant a Planning Permit for Application No. GE/PP-30294/2017 at 329 Jasper Road Ormond in accordance with the following grounds:

1. The development is inconsistent with the State Planning Policies for Housing and the Local Planning Policy for Housing and Residential Development as stated in Clause 16 and Clause 21 of the Glen Eira Planning Scheme as it would not adequately respond to its context in terms of urban design and architecture.
2. The proposal does not satisfy the intent and objectives of the Housing Diversity Area Policy (Clause 22.07 of the Glen Eira Planning Scheme) as the development fails to provide an appropriate transition to the neighbouring residential areas to the west.
3. The proposed development fails to ensure a suitable amount of dwelling diversity and results in a poor internal amenity outcome by virtue of enclosed balconies, south facing windows and bedrooms facing Jasper Road.
4. The car park access and layout fails to ensure vehicles can safely manoeuvre within the site and egress from the site in accordance with the design standards of Clause 52.06 (Car Parking) of the Glen Eira Planning Scheme.
5. The provision of on-site visitor parking is inadequate and does not comply with Clause 52.06.

BACKGROUND

N/A

ISSUES AND DISCUSSION

- Zoning and policy context
- Neighbourhood character
- Height, scale and massing
- Amenity impacts
- Internal amenity
- Car parking and traffic
- Objectors' concerns

Proposal

- Demolition of the existing buildings
- Construction of a four storey building containing a shop and 15 dwellings with an overall height of 16.5 metres
- Ground floor comprising a shop (113sqm) and car parking with access from the laneway along the south
- Car parking provided within car stackers (with the exception of one visitor car space which is at grade)
- One car space per dwelling proposed, one visitor car space and one car space for the shop. Reduction of two visitor car spaces proposed and three spaces for the shop
- Dwellings consist of one and two bedrooms.
- Roof plan includes a small common area with access from the stairwell.

Objectors' concerns

- Traffic and car parking
- Neighbourhood character
- Visual bulk
- Overshadowing
- Overlooking.

Referrals

Transport Planning

- Does not support the development in its current form as the majority of the visitor parking should be provided on the site
- Several changes would be required for the parking and access arrangement to comply with the Planning Scheme requirements.

Vic Roads

- No comments received

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONS

Zoning and policy context

The subject site is located within the Ormond Neighbourhood Centre and Commercial 1 Zone. No height limit applies within this zone. The site abuts a Road Zone Category 1 (main road).

State and Local Planning Policies broadly support intensification of development in this location, including mixed-use development. However, these objectives are tempered by other policy objectives that seek to ensure that development responds appropriately to adjoining residential properties and provides a high quality design response.

Neighbourhood character

Given the zoning of the site, location on a main road and abutments to other commercial land to the north and south, in principle, a four storey mixed use development is considered a reasonable response.

However concerns are raised with the proposed design response, specifically inadequate setbacks to the west and inappropriate architectural detailing which in combination fail to deliver a high quality urban design response.

Amenity impacts

To the north, south and east of the site is commercially zoned land. To the west of the site is residentially zoned land which contains a double storey townhouse development. The dwelling directly abutting the subject site has a wall on the shared boundary with its first floor windows facing the subject site.

The Housing Diversity Area Policy requires that any new residential development is designed and sited to minimise adverse impacts on adjoining residential properties, and ensure that residential buildings step down at the rear to achieve an appropriate transition. It is also suggested that a landscaped buffer be provided to ensure a sensitive interface to residential areas.

The proposed development does not respond to the Policy or to the adjoining properties. A 6.5 metre high wall on the western boundary is proposed with first floor balconies located on the western boundary which will result in unreasonable visual bulk and mass, and impact on the internal amenity of the abutting residential property.

Internal amenity

The proposal consists of solely 1 and 2 bedroom dwellings. To ensure there is an appropriate mix of dwellings, there should be at least one or two dwellings with 3 bedrooms.

Concerns are raised with the internal amenity of Dwellings "05" and "10" as windows are either south facing or face a blank wall. Solar access to these dwellings and balconies will be inadequate.

There are several bedrooms which are proposed to face east, onto Jasper Road. Concerns are raised with potential noise impacts to these rooms.

Car Parking and Traffic

The Planning Scheme requires 22 car spaces (15 resident spaces, 3 residential visitor car spaces and 4 commercial car spaces). A total of 17 car spaces are proposed (15 resident spaces, 1 residential visitor car spaces and 1 commercial car spaces). Given the location of the site (on a main road, near a busy intersection with 'No-Standing' zones at the front of the site), a reduction of car parking is not supported.

There are several shortcomings in the design of the car park which fails to ensure that vehicles can safely manoeuvre within the site and egress from the site. Several design changes would be required to ensure compliance with the Planning Scheme.

The proposed retail uses generates a requirement for loading facilities. The waiver of loading bay requirements has been accepted by Council's Transport Planning Department in this instance as delivery vehicles are likely to be smaller in size and can be accommodated within the laneway along the southern boundary.

COMMUNICATION AND ENGAGEMENT

Public Notice (Statutory)

- 9 properties notified
- 17 notices sent (owners and occupiers)
- 1 sign erected on site
- 4 objections received

Planning Conference (Non Statutory)

The Conference, chaired by Cr Athanasopoulos, provided a forum where all interested parties could elaborate on their respective views. Objectors mainly emphasised their original reasons for objection. It is considered that the main issues arising from the discussions were:

- Traffic and Parking
- Building Bulk & Scale
- Overshadowing/Loss of light
- Overlooking Impacts
- Insufficient separation between buildings
- Compliance with ResCode

Undertakings by the Applicant

N/A

LINK TO COUNCIL PLAN

Liveable and Well Designed: A well planned City that is a great place to live.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

That a Notice of Refusal to Grant a Planning Permit be issued.



VIEW 1: EXTERIOR ENTRANCE



VIEW 2: INTERIOR HALLWAY



VIEW 3: STAIRCASE

SECOND FLOOR PLAN



VIEW 4: STAIRCASE (SECOND FLOOR)



VIEW 5: STAIRCASE (FIRST FLOOR)



FIRST FLOOR

NO.	DESCRIPTION	AREA	UNIT
1	APPT 1	70sqm	1
2	APPT 2	69sqm	2
3	APPT 3	91sqm	3
4	APPT 4	69sqm	4
5	APPT 5	65sqm	5

SECOND FLOOR

NO.	DESCRIPTION	AREA	UNIT
6	APPT 6	70sqm	6
7	APPT 7	69sqm	7
8	APPT 8	93sqm	8
9	APPT 9	65sqm	9
10	APPT 10	50sqm	10

ADVERTISED PLAN
13 OF 26

This is a preliminary plan and is not to be used for any purpose other than for information only. It is not to be used for any purpose other than for information only. It is not to be used for any purpose other than for information only.

Spectrum
Design Group

17 Ararat Street, Carnegie VIC 3163
Ph: 03 9566 7000
www.spectrumdesigngroup.com.au

NO.	DESCRIPTION	AREA	UNIT
1	APPT 1	70sqm	1
2	APPT 2	69sqm	2
3	APPT 3	91sqm	3
4	APPT 4	69sqm	4
5	APPT 5	65sqm	5

MULTIUSE DEVELOPMENT

AT: 329 JASPER ROAD, ORMOND

NO.	DESCRIPTION	AREA	UNIT
1	APPT 1	70sqm	1
2	APPT 2	69sqm	2
3	APPT 3	91sqm	3
4	APPT 4	69sqm	4
5	APPT 5	65sqm	5



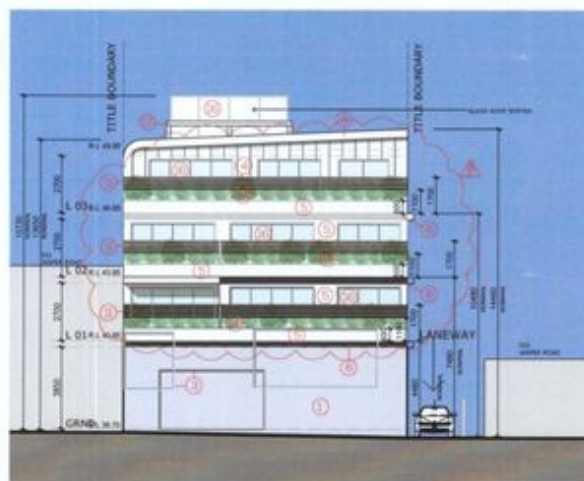
BEAR NEIGHBORHOOD PROPERTY

THE 2013 FIVE YEAR RENEWAL RATES FOR
each company are based on the number of companies that
were reported in the 2008 survey. The 2013 survey included

ADVERTISED PLAN 26

16 OF 28

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WEST ELEVATION

MATERIAL AND COLOUR SCHEDULE

[illegible]

27 Ansonia Street, Carnegie, Va. 2803
Ph: +1 3 3668 7022
www.spectrumsys.com.au

ii	1998-2007	1998-2007
iii	1998-2007	1998-2007

MULTI-USE DEVELOPMENT

AT: 329 JASPER ROAD,
OSMOND

[illegible]

0732

[TOP](#)

2004年10月

ITEM 9.8 VCAT WATCH**Author:** *Effie Tangelakis – Coordinator Town Planning***File No:** *N/A***Attachments:** *1. Table of new appeals lodged***PURPOSE AND SUMMARY**

To report to Council recent VCAT decisions.

RECOMMENDATION

That Council notes:

1. the reported planning decisions of the Victorian Civil and Administrative Tribunal (VCAT); and
2. VCAT and officer comments.

BACKGROUND

The VCAT process allows appellants to amend their proposal between the time that Council makes a decision and the time VCAT considers the matter. Section 84B of the *Planning and Environment Act 1987* requires VCAT to “take into account” any relevant Planning Policy, not necessarily apply it.

ISSUES AND DISCUSSION

ADDRESS	669-673 CENTRE ROAD, BENTLEIGH EAST
PROPOSAL	<p>AMENDMENT TO THE EXISTING PERMIT FOR THE CONSTRUCTION OF A SIX STOREY BUILDING COMPRISING RETAIL AT GROUND LEVEL AND UP TO THIRTY (30) DWELLINGS ABOVE A BASEMENT CAR PARK, ALTERATION OF ACCESS TO A ROAD ZONE CATEGORY 1, A REDUCTION IN PARKING AND WAIVER OF LOADING BAY REQUIREMENTS</p> <p>THE AMENDMENT INCLUDED:</p> <ul style="list-style-type: none"> • TWO ADDITIONAL LEVELS ON THE APPROVED FOUR STOREY BUILDING TO INCREASE THE NUMBER OF DWELLINGS FROM 32 TO 39. • AMEND THE PERMIT PREAMBLE TO INCREASE THE NUMBER OF STOREYS FROM FOUR TO SIX. • REDUCTION OF THE VISITOR CAR PARKING REQUIREMENT.
COUNCIL DECISION	REFUSAL (MANAGER)
PROPOSAL CONSIDERED BY VCAT	THE PROPOSAL WAS AMENDED BY THE APPLICANT PRIOR TO THE VCAT HEARING BY THE SUBSTITUTION OF DIFFERENT PLANS TO THAT ORIGINALLY CONSIDERED BY COUNCIL.

	<p>THE KEY CHANGES TO THE PROPOSAL WERE AS FOLLOWS:</p> <ul style="list-style-type: none"> • AN INCREASE IN THE NUMBER OF CARSPACES FROM 44 TO 49 – 41 FOR RESIDENTS (FROM 39) AND 5 FOR VISITORS (FROM 2) <p>THE CHANGES WERE NOT CONSIDERED AN IMPROVEMENT AS THEY DID NOT ADDRESS THE COUNCIL'S ORIGINAL CONCERNS WITH THE PROPOSAL</p>
VCAT DECISION	APPROVAL
APPELLANT	CENTRE ROAD PROPERTY GROUP PTY LTD



“In broad terms, the planning scheme seeks to increase densities within established urban areas.”

“There is nothing in the Planning Scheme to indicate that a uniform or low building height is anticipated in this location. In a commercial centre, heights often vary. In this immediate future, this building will be one storey taller than its neighbour to its west.”

- VCAT Member Tracey Bilston-McGillen

- The original Planning Permit was issued at the direction of VCAT in December 2014 and allowed the construction of a four storey building comprising shops at the ground level and up to 30 dwellings above a basement car park, and a reduction in car parking and waiver of the loading bay requirement.
- The changes to the original permit were for the construction of a six storey building (an increase of two floors) and allow 39 dwellings (an increase of 7 dwellings).

ORDINARY COUNCIL MEETING

- The subject site is located within the Commercial 1 Zone, within the Bentleigh East Neighbourhood Activity Centre.
- Council held that the proposed additional levels did not satisfy the intent of the Housing Diversity Area Policy in terms of excess mass, bulk, scale and height. In addition, Council believed the proposal failed to provide appropriate transition to surrounding residential areas.
- While the amended plans provided an increase in the number of visitor parking spaces, there was still a shortfall of one. The reduction in visitor car parking as proposed was not supported due to the busy location of the site and the increased intensity of the development.
- The Tribunal considered the changes proposed to be acceptable, given the location, lack of controls to limit the height, and the approved five storey development to the west of the subject site.
- The Tribunal held that due to the development to the west of the subject site, the visibility of the six storey proposal will be obscured. In addition, expert evidence presented by the permit applicant's Urban Designer indicated that as the upper addition was recessed, it would have minimal impact to the rear yards of the adjoining sites (particularly to the north).
- In terms of amenity impacts, the Tribunal did not agree with Council that the development would cause detriment to the residential areas to the rear, as the interface is to a driveway.
- The Tribunal concluded that although the development would be visible from the street, due to the current approval for a four storey building, neighbouring approvals and the location in a commercial zone, the additional levels are not unreasonable. Council's decision was set aside and an amended permit was issued.
- There was no mention at all by VCAT in its order about the visitor car parking.

ORDINARY COUNCIL MEETING

ADDRESS	3 AMES AVENUE, CARNEGIE
PROPOSAL	CONSTRUCTION OF SEVEN (7) DWELLINGS WITHIN A THREE-STOREY BUILDING ABOVE BASEMENT CAR PARK
COUNCIL DECISION	REFUSAL (MANAGER)
PROPOSAL CONSIDERED BY VCAT	<p>THE PROPOSAL WAS AMENDED BY THE APPLICANT PRIOR TO THE VCAT HEARING BY THE SUBSTITUTION OF DIFFERENT PLANS TO THAT ORIGINALLY CONSIDERED BY COUNCIL. THE CHANGES WERE MINOR IN NATURE AND INCLUDED SOME INCREASED SETBACKS TO THE NORTH.</p> <p>THE CHANGES WERE CONSIDERED A MINOR IMPROVEMENT AS THEY ADDRESSED SOME OF THE OFFICER'S ORIGINAL CONCERNS WITH THE PROPOSAL</p>
VCAT DECISION	REFUSAL
APPELLANT	E A HOMES PTY LTD



“I find the mass, setbacks and scale of this development is beyond the ‘tipping point’ for this Neighbourhood Centre. It fails to respond to the policy objectives which is to ensure development is sited and designed so that it does not dominate the streetscape and wider neighbourhood.” – VCAT Member Jane Tait

- The subject site is located within the General Residential Zone, within the Murrumbeena Neighbourhood Centre.

ORDINARY COUNCIL MEETING

- Council refused the application as it was inconsistent with the intent and objectives of the Housing Diversity Area Policy due to mass, visual bulk and inadequate setbacks.
- Overshadowing, landscaping, car parking, solar access, design detail and private open space were other grounds of refusal by Council.
- The Tribunal accepted that the site was located in an area that encouraged urban consolidation, and within close proximity to public transport, shops and other services.
- The Tribunal acknowledge that the development of seven dwellings in this location agreed with the purpose of the General Residential Zone however held that the scale of development on this site was excessive.
- The Tribunal believed that development on this site needs to address the neighbourhood character which includes a number of modest single and double dwellings. In addition, the Tribunal held that the height and length of the first and second floor walls, as well as the limited landscaping opportunities fail to address the amenity of adjoining sites to the south.
- It was concluded by the Tribunal the development did not respond adequately to the context in terms of massing and scale within the street and amenity impact to abutting sites. The Tribunal affirmed Council's decision and directed no permit be granted.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONS

N/A

COMMUNICATION AND ENGAGEMENT

N/A

LINK TO COUNCIL PLAN

Town Planning and Development: to manage the rate and extent of change to the built environment consistent with State and Local Planning Policies to achieve a diversity of housing as sympathetic as possible to neighbourhood character.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

N/A

ATTACHMENT 1: TABLE OF NEW APPEALS LODGED

COMPULSORY CONFERENCE (MEDIATION)	FULL HEARING	PROPERTY	PROPOSAL	ZONE	COUNCIL DECISION	APPEAL AGAINST
	4 September 2017	472 & 476-482 Kooyong Road & 11 Saturn Street, Caulfield South	Construction of buildings and works (ranging from 3 to 19 storeys) and use of the land as a hospital, retirement village, residential aged care facility and child care centre with associated carparking and reduction of the bicycle parking requirement	Neighbourhood Residential Zone	Refusal (Council)	Refusal (Applicant)
	12 July 2017	18 Poet Road, Bentleigh East	Two double storey dwellings	Neighbourhood Residential Zone	Permit (Manager)	Conditions (Applicant)
	15 August 2017	5 Werona Street, Bentleigh	Two double storey dwellings	Neighbourhood Residential Zone	Permit (Manager)	Conditions (Applicant)
25 July 2017	4 September 2017	1254-1258 Glen Huntly Road, Carnegie	Six storey mixed use building comprising a shop, café and dwellings, above 2 levels of basement car parking, reduction in car parking and waiver of loading facilities	Commercial Zone	Permit (Council)	Conditions (Applicant)
26 July 2017	11 September 2017	670-672 Centre Road & 51 Browns Road, Bentleigh East	Amendment to Permit to allow an additional storey comprising 2 dwellings to approved part 3 and part 5 storey development	Commercial Zone & General Residential Zone	Refusal (Council)	Refusal (Applicant)
27 July 2017	14 September 2017	2-4 Blair Street, Bentleigh	Four storey apartment building comprising 24 dwellings	Residential Growth Zone	Refusal (Council)	Refusal (Applicant)

1 August 2017	18 September 2017	9-13 Derby Road, Caulfield	Eighteen storey building comprising 158 units for use as student accommodation	Commercial Zone	Refusal (Council)	Refusal (Applicant)
1 August 2017	20 September 2017	360 Neerim Road, Carnegie	Four storey building comprising shop and 16 dwellings and reduction in car parking and loading bay requirements	Commercial Zone	Notice of Decision to Grant a Permit (Council)	Conditions (Applicant)
10 August 2017	21 September 2017	30-32 Prince Edward Avenue, McKinnon	Three storey building comprising 18 dwellings above basement car parking	General Residential Zone	Refusal (DPF)	Refusal (Applicant)
31 August 2017	21 September 2017	10 Princes Street, Caulfield North	Three storey building containing 16 dwellings above basement level car park	General Residential Zone	Refusal (DPF)	Refusal (Applicant)
	22 September 2017	1 Plunkett Avenue, Carnegie	Two double storey attached dwellings	Neighbourhood Residential Zone	Refusal (Manager)	Refusal (Applicant)
	5 October 2017	7 Chauvel Street, Bentleigh	Two double storey dwellings	Neighbourhood Residential Zone	Notice of Decision to Grant a Permit (DPF)	Notice of Decision to Grant a Permit (Objector)
	9 October 2017	438 Centre Road, Bentleigh	Change of use to a place of assembly incorporating function centre and food and drink premises, sale and consumption of liquor and waiver of car parking, and demolition of buildings and works on land affected by Heritage Overlay	Commercial Zone	Notice of Decision to Grant a Permit (DPF)	Notice of Decision to Grant a Permit (Objector)
	13 October	13-17 Cecil	Buildings and works for a child	Neighbourhood	Permit (DPF)	Conditions

	2017	Street, Bentleigh	care centre and place of worship and reduction in car parking requirement for place of worship	Residential Zone		(Applicant)
	13 October 2017	20 Elizabeth Street, Bentleigh East	Two double storey attached dwellings	Neighbourhood Residential Zone	Permit (DPF)	Conditions (Applicant)
	19 October 2017	5 Chloris Crescent, Caulfield	Two double storey attached dwellings	Neighbourhood Residential Zone	Refusal (DPF)	Refusal (Applicant)
	20 October 2017	564 Centre Road, Bentleigh	Two double storey attached dwellings	Neighbourhood Residential Zone	Refusal (Manager)	Refusal (Applicant)
	24 October 2017	6 Wheeler Street, Ormond	Three, three-storey dwellings	General Residential Zone	Refusal (Manager)	Refusal (Applicant)
13 September 2017	1 November 2017	167 Bambra Road, Caulfield	Use of dwelling as home occupation exceeding 50 square metres in area	Neighbourhood Residential Zone	Notice of Decision to Grant a Permit (DPF)	Permit (Objector)
	29 August 2017	100 Tarnbet Street, Bentleigh East	Construction of two (2) double storey attached dwellings	Neighbourhood Residential Zone	Permit (Officer)	Conditions (Applicant)
11 August 2017	5 October 2017	12-14 Howe Street, Murrumbeena	Construction of two three-storey buildings comprising 11 dwellings	General Residential Zone	Refusal (Council)	Refusal (Applicant)
	6 November 2017	124 Mackie Road, Bentleigh	Construction of two (2) double storey attached dwellings	Neighbourhood Residential Zone	Refusal (Manager)	Refusal (Applicant)
	30 August 2017	23 Marquis Road, Bentleigh	Construction of two (2) double storey attached dwellings	Neighbourhood Residential Zone	Permit (Manager)	Conditions (Applicant)

	16 November 2017	23 Koornang Road, Carnegie	Construction of a fifteen (15) storey building comprising ground floor retail and eighty-six (86) dwellings above basement car parking, reduction in car parking and bicycle requirements and waiver of loading bay requirements	Commercial 1 Zone	Refusal (Council)	Refusal (Applicant)
	24 November 2017	7 Daniell Crescent, Caulfield	Construction of three single storey dwellings.	Neighbourhood Residential Zone	Refusal (Manager)	Refusal (Applicant)
	15 November 2017	46 Carlton Street, McKinnon	Construction of two (2) double-storey dwellings and buildings/works on land affected by the Special Building Overlay	Neighbourhood Residential Zone	Refusal (Manager)	Refusal (Applicant)
29 August 2017	9 October 2017	16-18 Hamilton Street, Bentleigh	The construction of a 4 storey building comprising 29 dwellings and a reduction to the visitor car parking requirement	Residential Growth Zone	Undetermined	Failure (Applicant)
21 August 2017	9 October 2017	236 Jasper Road, McKinnon	The construction of a five storey, mixed use building above basement car park (comprising a food and drink premises and 45 dwellings); a reduction of car parking requirements; waiver of loading bay requirements; alteration of access to a Road Zone Category 1; construction of buildings and works within a	Commercial 1 Zone	Refusal (Manager)	Refusal (Applicant)

			Special Building Overlay			
	16 November 2017	Unit 7 25 Pyne Street, Caulfield	Construction of seven (7) single storey units and one (1) double storey unit	General Residential Zone	Notice of Decision (DPF)	Conditions (Objector)
	23 November 2017	64 Tucker Road, Bentleigh	Construction of two (2) double-storey dwellings	Neighbourhood Residential Zone	Refusal (DPF)	Refusal (Applicant)
	7 September 2017	11 Boronia Street, Bentleigh East	Construction of two (2) double storey attached dwellings	Neighbourhood Residential Zone	Permit (Manager)	Conditions (Applicant)
	5 September 2017	50 Barrani Street, Bentleigh East	Construction of a single storey dwelling to the rear of the existing dwelling	Neighbourhood Residential Zone	Permit (Officer)	Conditions (Applicant)
	27 November 2017	2 Brailsford Road, Bentleigh	Construction of three storey apartment building comprising of three dwellings	General Residential Zone	Refusal (Manager)	Refusal (Applicant)
	17 September 2017	11 Davis Street, Elsternwick	Construction of a double storey dwelling on a lot less than 300 square metres	Residential Growth Zone	Notice of Decision (DPF)	Conditions (Applicant)
	12 September 2017	15 Jupiter Street Caulfield South	Extension of Time Request	Neighbourhood Residential Zone	Refusal of Extension of Time (Manager)	Refusal (Applicant)

ITEM 9.9 CAULFIELD RACECOURSE WEDGE - CROWN ALLOTMENT 2031

Author: Mark Collins, Group Manager Recreation and Leisure

File No: N/A

Attachments: 1 – site plan
2 – design examples

PURPOSE AND SUMMARY

At the Ordinary Council Meeting of 20 December 2016 it was resolved that Council:

1. *authorises officers to meet with DELWP to negotiate favourable conditions for Council's use of the land, including clarity on the type of recreation facilities that could be incorporated onto the site;*
2. *authorises officers to undertake any due diligence on the site and commence the process to form the Committee of Management for Crown Allotment 2031;*
3. *writes to the Minister for Energy, Environment, Climate Change and Suburban Development requesting:*
 - (a) *Potential for the site to be rezoned in future for other uses, without a net reduction in open space across the municipality;*
 - (b) *An allocation of funds received by the State Government from the Melbourne Racing Club be made available to facilitate the development of this site;*
4. *receives a further report outlining this information for Council consideration prior to accepting the offer of Committee of Management.*

The purpose of this report is to update Council on the findings of the due diligence and discussions with the State Government regarding Crown Allotment 2031, known as the Caulfield Racecourse Wedge.

The State Government Department of Environment, Land, Water and Planning (DELWP) has offered Council the Caulfield Racecourse Wedge to manage as a public recreation reserve, as the Committee of Management.

RECOMMENDATION

That Council:

1. accepts the State Government Department of Environment, Land, Water and Planning's offer to appoint Glen Eira City Council as Committee of Management for Crown Allotment 2031;
2. accepts the State Government Department of Environment, Land, Water and Planning offer of \$350,000 and annual rental for maintenance;
3. authorises the Chief Executive Officer or delegate to execute the Agreement with the State Government Department of Environment, Land, Water and Planning; and
4. authorises officers to engage a landscape architect to develop recommendations and concept ideas for the site for public consultation.

BACKGROUND

Crown Allotment 2031 has been offered to Council by The State Government Department of Environment, Land, Water and Planning (DELWP) to manage as a public recreation reserve.

The parcel of land was part of an initial land swap transaction involving the Melbourne Racing Club (MRC) acquiring the Crown Land triangle opposite the racecourse entrance (bordered by Normanby Road, Station Street and Smith Street) in exchange for freehold MRC land adjacent to the intersection of Glen Eira, Booran and Kambrook Roads (see attachment 1).

ISSUES AND DISCUSSION**Committee of Management process**

Delegated management of Crown land is most commonly achieved by the appointment of committees of management under the Crown Land (Reserves) Act 1978 (the Act). Under the provisions of section 14(2) of the Act, where any land is reserved, the Minister for Energy, Environment and Climate Change may appoint a committee of management. Local Government is a key stakeholder in managing Crown land in Victoria.

The Caulfield Racecourse Wedge is Crown land and DELWP is proposing that Council be appointed as the committee of management of the land. This is similar to arrangements for other Crown land reserves such as Caulfield Park and Booran Reserve, which are managed by Council as Committee of Management. Council will not own the land.

The State Government's offer will be conditional upon:

- Council's acceptance, that in accordance with section 15(1) of the Act, Council '*shall improve, maintain and control the land for the purposes for which it is reserved.....*'. The 'Caulfield Wedge' is reserved for the purposes of 'public recreation'; and
- Council accepting responsibility for any contamination, risk or ongoing infrastructure maintenance issues and not imposing any ongoing obligations on DELWP; and
- Ministerial Approval of Council's appointment as Committee of Management.

Environmental Assessment

Environmental consultants were engaged to undertake a Soil Contamination Assessment to identify if the site contained any significant contamination that may pose an adverse health risk to potential users of the public open space, or require a significant cost to remediate.

The soil sampling and testing program did not report any chemical concentrations above the human health criteria for public open space, including; parks, playgrounds, playing fields and footpaths. The site is therefore considered suitable for public open space.

Some samples reported heavy metal concentrations above the Environmental Protection Authority (EPA) Fill Criteria. Further advice will be required prior to any work that involves removal of soil from the site so that appropriate recommendations about soil disposal can be provided.

A single fragment of cement sheeting was found on the site and was confirmed to contain asbestos fibres. No other asbestos cement fragments were observed during the site inspection indicating that the contamination risk is low. Officers have requested DELWP remove the cement sheeting from the site.

Site Redevelopment

DELWP has stipulated that the site must be used for public recreation purposes. The types of recreation facilities appropriate for the reserve should be considerate of the following:

Site limitations

An assessment of Crown Allotment 2031 was undertaken as part of the Open Space Strategy and identified a number of issues that may restrict the types of recreational opportunities to be undertaken at the site. Consideration will be given to:

- Limited car parking
- Location on a busy intersection
- Poor passive surveillance
- Is not connected to any other public land

Adjacent land

Council has been advocating for a number of years for improved access to the infield at Caulfield Racecourse Reserve. It is likely that significant and more accessible open space for passive use and active sports will be made available in future.

Financial resources

DELWP has offered to transfer \$350,000 to Council to develop the land for public recreation purposes. In addition, approximately \$25,000 per annum has been offered to maintain it. Given that the site is not located within a gap area identified by the Open Space Strategy and the recent redevelopment of nearby Booran Reserve, additional financial investment by Council is not recommended.

Nearby public open space

The recently opened Booran Reserve offers a high quality and diverse open space for the whole community.

Proposed recreational opportunities

In consideration of the site limitations, adjacent land and financial resources available, officers recommend implementing a temporary and low cost option to activate the site. The land also presents an opportunity to offer the community something different and unique, which is not offered elsewhere in the municipality due to limited open space and shared use requirements. Potential activities envisaged for the site include:

- An enclosed dog agility park
- Community gardens (utilising raised garden beds to minimise excavation))
- BMX track

An example of these is provided in attachment 2. Other opportunities may be identified by a landscape architect and it may be possible to include a combination of activities.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

The current offer of \$350,000 to develop the site and approximately \$25,000 per annum for maintenance would be adequate funds to develop a low cost option.

POLICY AND LEGISLATIVE IMPLICATIONS

Crown Land (Reserves) Act 1978 – provisions of sections 14(2) and 15(1).

No other policy or legislative implications are applicable.

COMMUNICATION AND ENGAGEMENT

If supported, Council will engage a landscape architect to develop a suite of concepts presenting potential uses of the site. These concepts will be used as part of the community engagement process.

LINK TO COUNCIL PLAN

Theme 4: Clean and Sustainable

Continue to explore opportunities to increase the amount of open space for recreation purposes, including access to schools, as well as state and federal government own land.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Crown Allotment 2031 has been deemed suitable for public open space following an environmental assessment. It is recommended that Council accepts the State Government's offer to appoint Glen Eira City Council as Committee of Management and develop a low cost and temporary public open space.

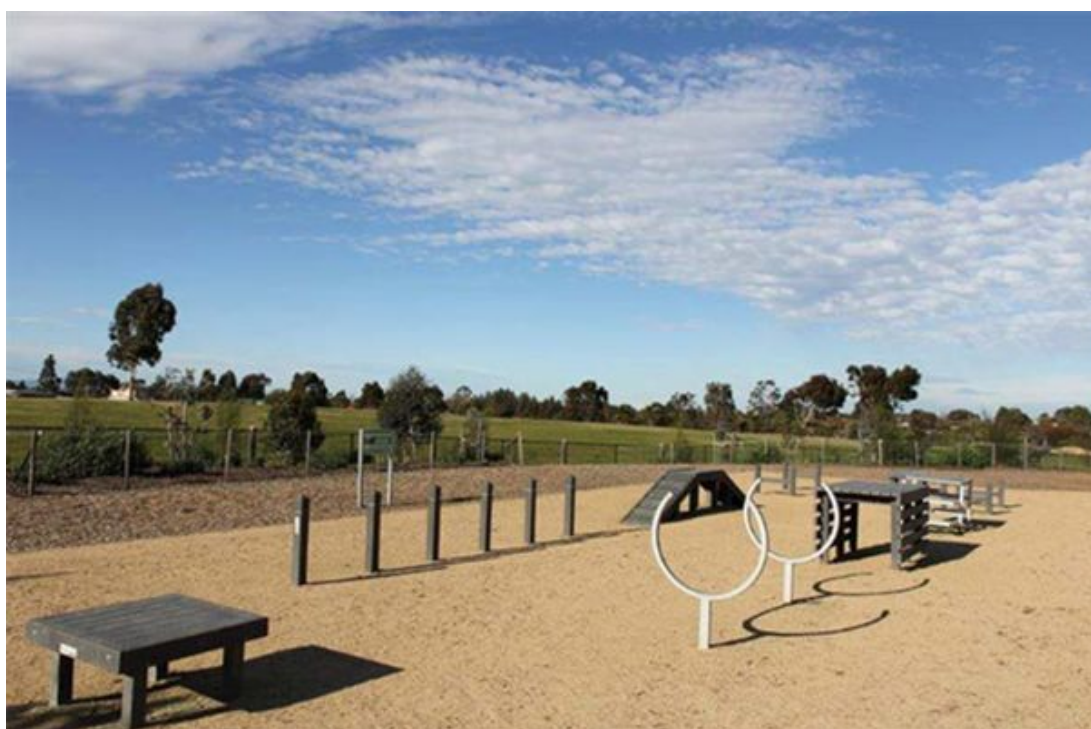
Following the preparation of concept ideas, the community will be consulted to identify a preferred option. Concept ideas will be presented to Council at Assembly meeting prior to undertaking community consultation.

ATTACHMENT 1



ATTACHMENT 2

Dog agility park



Community Gardens



BMX track



ITEM 9.10 SUPPORT FOR ELSTERNWICK TRADERS DURING COLES REDEVELOPMENT

Author: *Aidan Mullen, City Futures Manager*

File No: *N/A*

Attachments: *None*

PURPOSE AND SUMMARY

At the 7th February 2017 Ordinary Council Meeting, Council resolved:

“That Officers prepare a Report outlining options that Council can explore to actively support traders affected by the future redevelopment of the Coles Elsternwick site into a multi-storey residential and commercial hub.

The report should explore options that facilitate patron access to Elsternwick shopping centre, and parking for patrons and nearby residents during construction.”

A report was presented to Council at 23 May 2017, where it was resolved that Council:

- “1. notes this report.*
- 2. receives a further report once the required construction management plan and car parking management plan have been received.”*

The Construction Management Plan and the Car Parking Management Plan have now been lodged, this report seeks to provide a further update.

RECOMMENDATION

That Council:

1. notes that both the Construction Management Plan and Car Parking Management Plan have now been lodged and will be reviewed by Officers.
2. writes to the Elsternwick Traders Association to outline a plan that addresses the loss of the supermarket, for inclusion in the agreement to manage the Elsternwick Special Rate
3. communicates regularly with the Elsternwick Traders Association during the construction to advise of any major disruptions.

BACKGROUND

A planning permit was approved by Council in December 2015 for an eight storey redevelopment of the Coles site at 441-461 Glen Huntly Road and 9 Beavis Street, Elsternwick. The planning permit allows for a mixed use development for shops and a supermarket, with apartments above. The development will consist of 172 apartments and a 3,934m² supermarket.

It is anticipated that demolition works will commence at the site in October 2017 and the development will be completed by September 2019.

ISSUES AND DISCUSSION

It is understood that the construction works for the redevelopment of the Coles site will have the following three major impacts on the surrounding Elsternwick traders:

1. Construction activity
2. Loss of publicly accessible car parking
3. Loss of a retail anchor

These three major impacts are further explored below, along with options to address these impacts.

1. Construction activity

The impact on surrounding businesses and the community associated with the redevelopment of the Coles site is not unlike numerous large development sites occurring across the city. Like all major developments within Activity Centres, Council will continue to alert traders regarding major disruptions and assist traders to encourage patrons to continue to frequent the area.

The Construction Management Plan (CMP) has now been lodged with the Community Safety and Compliance Department and is currently being reviewed. The CMP contains details about:

- Hours of construction activity;
- Delivery and unloading points and expected frequency;
- Measures to control noise, dust etc;
- Details of any occupation of footpaths or roads.

A CMP does not address issues such as impact on retail activity or loss of public parking during construction.

2. Loss of publicly accessible car parking

This development will result in a loss of 114 car spaces in the Coles car park.

Officers have reviewed the options to address this loss of car parking. This has included the possible reconfiguration of nearby Council car parks to provide additional parking spaces. However, these reconfiguration works would require significant kerb and drainage works and require the car parks to be shut down potentially causing a loss of trade during that time. In addition, the reconfiguration would only result in an additional 20 spaces.

A Car Parking Management Plan for the Coles site has now been submitted. However, the Plan is focused on the management of on-site car parking post construction. It does

not discuss any parking management during construction. It is currently being reviewed by Officers.

3. Loss of retail anchor

As noted in the May report, it is understood that some traders in Elsternwick are concerned that the temporary loss of the only supermarket in the centre will result in a significant loss of trade to the centre and a reduction in the service available to the local community.

The true economic impact of the temporary loss of the Elsternwick supermarket will not be known until it occurs. Unfortunately, the options to address this impact are limited, as the strength of such 'anchors', where large and consistent visitor numbers are drawn, are very hard to replicate, particularly in a short timeframe.

Council has recently renewed the Elsternwick Special Rate, which is a fund raised for the purposes of marketing the shopping centre. The agreement between Council and the Elsternwick Traders Association which outlines how the Special Rate is managed is yet to be signed. It is recommended that Council work with the Elsternwick Traders Association to explore ways to address the economic impact of the loss of the supermarket through initiatives funded through the Elsternwick Special Rate. This may include marketing campaigns to entice customers to the area during construction.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

POLICY AND LEGISLATIVE IMPLICATIONS

N/A

COMMUNICATION AND ENGAGEMENT

Council is currently undertaking considerable community consultation in Elsternwick as part of the Structure Plan process.

LINK TO COUNCIL PLAN

Theme one – Liveable and Well Designed

Objective one – Create prosperous, accessible and vibrant urban places

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Council acknowledges the disruption that will occur during the Coles redevelopment. Campaigns to entice customers into the area during construction and effective communication between Council and the Traders Association are considered the best approach under the circumstances.

ITEM 9.11 PAVILION REDEVELOPMENT STRATEGY CONSULTATION

Author: Mark Collins, Group Manager Recreation and Leisure

File No: n/a

Attachments: 1. Feedback
2. Pavilion Redevelopment Strategy

PURPOSE AND SUMMARY

To present Council with the Pavilion Redevelopment Strategy for adoption and provide an overview of recent community consultation.

RECOMMENDATION

That Council:

- a) adopt the Pavilion Redevelopment Strategy;
- b) note the consultation process and feedback received.

BACKGROUND

The draft Pavilion Redevelopment Strategy was presented to Council at the Assembly meeting on 14 March 2017. Community consultation which focused on the rating criteria was undertaken between 20 March and 12 May 2017 and included:

- Meetings with all 9 Reserve Advisory Committees;
- All relevant information on 'Have Your Say' online portal;
- Information on Council's homepage;
- Advertising in Leader newspapers; and
- Direct advice to all tenant sporting clubs, associations and user groups.

The outcome of this was presented to Council at the Ordinary Council Meeting on 13 June 2017.

A second phase of consultation, which included a redevelopment priority list, concluded on 12 July and involved:

- Notifying all Council sporting clubs, Reserve Advisory Committees and tenants;
- 'Have Your Say' online portal;
- Opportunity to provide feedback via forums or link to direct email;
- Information on Council's homepage; and
- Media release.

This report presents the findings of this consultation and seeks adoption of the Strategy.

ISSUES AND DISCUSSION**Consultation Feedback**

The Have Your Say portal received 130 unique visits with 66 people downloading the draft Strategy. No comments were made in the forum section.

There were six responses received as part of the consultation (Attachment 1). Analysis and discussion of the responses is outlined below.

Response 1 – Resident

Feedback was provided on the timing, design and usage of EE Gunn Reserve pavilion – and requested an escalation of the EE Gunn Reserve Pavilion redevelopment, with a focus on providing sporting opportunities for females and potential other infrastructure like indoor courts.

In response, the Strategy provides a transparent, fair and equitable process to redevelop all pavilions. The immediate needs and opportunity are viewed across all pavilions, with the criteria enabling a balanced view.

Response 2 – North Caulfield Maccabi Junior Football Club

Feedback discussed a range of issues at Caulfield Park. Specific to the Caulfield Park Pavilion and Community Rooms there was some issues raised on the functionality of the pavilion. This main pavilion has not been included as part of the Priority list due to its relatively recent redevelopment. Officers will use the feedback received in terms of the club in relation to future planning for other pavilions but there is no current plans to renew this pavilion at this time.

Additionally, issues were raised in relation to the condition of the Grey Brick Pavilion. This must be viewed in relation to other facilities and an equitable process so it is not proposed to alter the scoring for this item. Issues relating to the operation of this pavilion have been noted from a management perspective and will be discussed with the club. Amenity concerns can potentially be addressed through a cyclical maintenance program.

Other comments in relation to location of buildings, synthetic surfaces and dog walking are not relevant to this discussion and will be more suitable to the upcoming Caulfield Park Masterplan review. The Masterplan process will provide an excellent opportunity to explore these issues and integrate with future pavilion planning.

Response 3 – Mackie Cricket Club and Glen Eira Football Club

The clubs requested a review of the rating score applied to Mackie Road Reserve Pavilion.

- **Functionality** – The clubs highlighted the emergence of female participation and providing appropriate facilities to support and encourage this use.

This situation is not unique to Mackie Road Reserve users with growth in female sport being seen across Glen Eira. Increasing the rating would require an increase across the all pavilions in a similar position. The participation numbers used to inform the strategy ratings are current and it is not proposed to alter these ratings, regular reviews will reflect future changes in participation.

The social room is noted as being grossly inadequate, and the kiosk is considered small and difficult to operate. While this may be the case, it needs to be viewed in a broader context where some pavilions have no social space of any description. The building audit did not raise any compliance issues with the kiosk or general air circulation.

Comments regarding limited shade have been noted.

Comments regarding storage are consistent with many other pavilions that were designed with limited storage. Remembering many pavilions were built before items such as bowling machines, portable soccer goals and fields nets were considered core club equipment.

- Open Space – Comments noted. The criteria looks to locations that can service multiple fields, accommodate additional use and have sufficient park amenity to support this. The rating for Mackie Road Reserve reflects this objective.
- Utilisation – Participation numbers provided are consistent with those used to inform the strategy. The dynamic nature of participation will be reflected in regular reviews of the rating system as mentioned in the strategy.
- Condition – Building Issues. The age of a building is not necessarily a suitable reflection of condition. While building standards often change, a building does not become uncompliant when they do. Significant works or redevelopment would trigger current standards to be met. Minor works may improve amenity such as ramps, increasing door widths or suitable bathroom layout.

The pavilion condition rating is suitable and has been based on compliance data and building audits undertaken by suitably qualified engineers.

- Opportunity – The clubs support to accommodate additional users has been noted.

Response 4 – Carnegie South Cricket Club
Feedback noted.

Response 5 – Old Haileyburians Amateur Football Club
Feedback noted.

Response 6 – Ormond Amateur Football Club
The club provided general support for the direction and intent of the strategy. They highlighted that larger sporting clubs require a range of support infrastructure and pavilion space that may not be necessarily be compatible with additional or shared users. As outlined in the strategy the primary purpose of pavilions will be to support tenant clubs, additional usage may come in a range of forms, but not at the expense of existing users.

Current examples of other uses include YMCA holiday programs during the day, preschool sports sessions, kinder ballet and personal trainers using indoor pavilion spaces over winter. The design of pavilions would be considerate of these opportunities.

The club also queried the low score attributed to EE Gunn Pavilion for the 'functionality' criteria – specifically the two change rooms that service both ovals.

The functionality criteria measures the provision of a range of features including number of change rooms for fields, unisex friendly umpires rooms, social areas, kiosks, waste areas, external storage and public toilets. The score for the change room element makes note of provision, and in combination with other rating areas, the score is appropriate. No changes have been proposed.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

The Strategic Resource Plan (SRP) currently allocates funding each financial year for a pavilion redevelopment. In the current SRP, Council's *Pavilion Program* resumes from 2018-2019 onwards with \$2.5m per annum allocated.

The 2017/18 budget provides funding for minor pavilion upgrades, including female friendly change/bathroom facilities, at:

- Koornang Park Pavilion bathroom and change facilities (\$300k);
- King George Reserve Pavilion change, bathroom and building frontage (\$700k + SRV funding of \$100k);

Consistent with the strategy, officers will continue to make applications under Sport & Recreation Victoria's (SRV) Community Sports Infrastructure funding programmes, including:

- Female Friendly Facilities grants;
- Major facilities grant; and
- Minor facilities.

Successful SRV funding applications for the 2018/19 financial year are generally announced in late 2017, these applications include:

- Koornang Park Pavilion - change room and bathroom facilities;
- McKinnon Reserve Pavilion - change room and bathroom facilities; and
- Victory Park Pavilion - change room and bathroom facilities.

POLICY AND LEGISLATIVE IMPLICATIONS

Key strategic objectives in Council's Community Plan include:

- Create prosperous, accessible and vibrant urban places.
- Deliver programs and activities to promote a healthy and resilient community.
- Invest sustainably in our infrastructure and community assets.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

The Pavilion Redevelopment Strategy will provide Council and the community with a transparent, pragmatic and equitable process for the future development process for sporting pavilions. It provides direction to improve pavilion functionality and flexibility, provide opportunity for additional use and meet the needs and aspirations of Glen Eira's dynamic community.

Attachment 1 – Feedback

1	Resident - Member of Ormond Football Club	<p><i>Email 1</i></p> <p>Hello</p> <p>I was thinking recently, when I saw the relaying of the oval at EE Gunn reserve that it would be great if the club rooms could be upgraded too. I am wondering if there is scope to maintain the current look of the club stand (is it of historical importance?) but update the rooms for the footballers and cricketers. My 2 boys are junior members of both footy and cricket there and love it.</p> <p>The facilities really tired and now with female club members this is an urgent upgrade need. Could there be an addition of 1-2 basketball courts/futsal courts (indoors) to make it a more varied complex for everyone.</p> <p>The reason for this is also to encourage everyone to be active. Especially girls. I had sport at school until yr 10. Then you were on your own. Boys and mens sport is so organised and some sports even pay you! ie football. I think this upgrade is essential and should be made a priority.</p> <p>Our club has emailed us to say that we are ranked 10 out of 26 pavillions in need of upgrade. I would say this indicates a disappointing lack of committment to infrastructure that brings community together for the health and wellbeing of our city. I would like to see this acted on as a priority and in time to benefit my children and there peers. They have the community of wonderful parents that are so dedicated in making the clubs the joy they are to attend. Please escalate the upgrade of these facilities.</p> <p>Love the gym equippment being installed in the garden strip near Brightside cafe and am using cycling extended path from Allnutt Park to Hawthorn Rd with children. Better than riding on the road. Keep prioritising bike paths please.</p> <p>Kind Regards</p> <p><i>Email 2</i></p> <p>I sent my email yesterday. Later that day I saw my niece who attends the girl's school that I did 30 years ago. Nothing has changed. My niece is in yr 11 and there is no sport on the cirriculum. My sister said if she doesnt walk (to the bus, train etc) she now does no exercise.</p> <p>I wish to emphasize that i believe the upgrade to our club rooms is urgent. Inclusion of facilities for girls and women is urgent. The priority of this upgrade should be of the upmost importance to this council to benefit ALL of our children now and in the future. As a ratepayer I dont think this can wait and I would like to see GE council set the narrative for sport inclusion, facilities and the health of our children for the state if not the nation. You dont have to build the biggest to be the best. I am sure clever design could provide very productive outcomes.</p> <p>Please upgrade EE Gunn. Looking forward to the outcome of this consultation</p>
2	North Caulfield Maccabi Junior Football Club	<p>In regards to the Draft Pavilion Redevelopment Strategy for Caulfield Park I would like to make some suggestions.</p> <p>Given that I am the president of North Caulfield JFC, which from what I can tell is the largest tenant of the park and makes the most use of it, I feel that I have a good insight into many areas that can be improved.</p> <p>I am also a regular dog walker in the park so I can address some of those issues too.</p> <ul style="list-style-type: none"> • Caulfield Park main pavilion <p>In general, it is a great facility that is the envy of many visiting clubs however there are some design faults that I can point out that were not obvious at the time of building.</p> <p>For a start, all the change rooms are carpeted. Given that all the games played outside are on grass this is a nightmare for cleaners. It is very difficult getting the grass out of the carpet. It would be much better for all concerned if there was a non-slip vinyl or similar.</p>

	<p>None of the outside toilets are used by any club at any time of the year. I refer specifically to the 3 toilets between the canteen and the referee rooms. As a club we leave them locked up as we do not want the responsibility of cleaning them. We direct people to the "push button" toilet on the south side or sometimes let them into our change rooms if they are open at the time. I realise that for design reasons the toilets might be mandatory but you could combine all 3 into the one disability toilet and change the other rooms into storage rooms which would be used by the clubs.</p> <p>It would be nice for the council to take pride in showing the public which local clubs use the pavilion. Right now no one knows who plays out of that building, it seems to be a secret that someone wants to keep. All I suggest is the opportunity for clubs to put their names on the front right hand side of the building in a council designated way. For example a sign saying, This premises is the proud home of : and then let the clubs put up their details. It might even encourage locals to contact the clubs to play a particular sport or two.</p> <ul style="list-style-type: none"> • Caulfield Park grey brick pavilion <p>From our clubs point of view this pavilion is ideally suited to the games that go on around it. We use all the fields of CP and this year specifically have identified this pavilion as the most central and have directed most of our teams there.</p> <p>Given the extra use that it is having this building needs a severe overhaul. Most of the rooms are not utilised and the ones that are over utilised.</p> <p>A physical visit to this facility needs to be done to show how it is currently being used and which rooms are not used at all.</p> <p>We also seem to be the only club that uses this building at anytime of the year. If that is the case then lets make it official and turn it into a club specific facility or at least half of the building.</p> <ul style="list-style-type: none"> • Sport usage at CP <p>As long as CP relies on only grass fields then it will always be an underused park in the sporting sense. The grass fields take a beating all year around which in turn restricts the amount of sport that can be played on them.</p> <p>I also appreciate that the dog walkers need the space to move around but CP is a very big park with lots of room for dog walkers.</p> <p>The Inkerman Road side or the NE side , fields 3 and 4, could be changed into synthetic and it would have no impact on room for dog walkers. Although the issue of security of that ground would be a problem.</p> <p>If that problem could be overcome then it would take the wear and tear off the other grounds and that side of the park could be used far much more than it currently is.</p> <ul style="list-style-type: none"> • Caulfield Park in general <p>As explained before I am also a dog walker in the park and the issue of dog poo being left behind has only become worse over time. This also impacts the use of the grounds by the sporting clubs.</p> <p>I have had some good conversations with council and the rangers about this problem and to their credit they are working on it.</p> <p>However council also needs to look at the placement of the poo bag dispensers and the rubbish bins.</p> <p>Some people are too lazy to walk the extra 20mts to get a bag and/or to dispose of it properly. So maybe some extra stations need to be put in to encourage everyone to do the right thing.</p> <p>Thank you for the opportunity to have my say.</p>
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3	<p>Joint submission Mackie Road Reserve.</p> <p>Mackie Cricket Club and Glen Eira Football Club.</p>	<p>In terms of the ranking given to Mackie's Pavilion we request the percentage ratings in several categories be reviewed.</p> <p>4.1 Functionality - Current Mackie rating 14%</p> <p>We feel that this rating is too low based on the measures in Draft Pavilion Redevelopment Strategy.</p> <ul style="list-style-type: none"> ● <i>Is there an appropriate number of change rooms per field?</i> No Primarily due to the emergence of women in our teams the current structure can result in difficulties trying to separate men and women. This is a larger problem with soccer where they have back to back games, within a 10 minute turn around, and the games may include both sexes. The difficulties can revolve around storing personal belongings in addition to preparing for a game or changing after a game. The facilities need to be the same for both the home and away teams. ● <i>Does the facility cater for unisex / all ages / female friendly change facilities?</i> No <ul style="list-style-type: none"> ○ This is a major issue for us. There is only one female toilet which doubles as the Disability toilet near the canteen. This is totally inadequate as emphasised by the number of complaints we receive from females including females (both seniors and juniors) playing sport on the oval, wives / partners, parents of junior players and supporters. ○ Toilet and showers are exceptionally old (built in 1965). Because of their appearance and exposure people are reluctant to use the shower facilities. ● <i>Is there provision of multi-purpose or social rooms, kiosk or social spaces?</i> Yes but grossly inadequate. <ul style="list-style-type: none"> ○ Social rooms <ul style="list-style-type: none"> i. Our pavilion is not conducive to holding social functions as it is small, dark, cold, lacks appropriate toilet facilities, especially for females, and lacks open space mainly due to not being able to store tables and chairs when they are not required. Consequently any large functions need to be held at other locations. The impact of that is: <ul style="list-style-type: none"> • We are unable to make a profit on canteen food and bar sales which is one of our major income streams • Our members will pay higher prices for their food and drink • We might incur fees to hire other facilities ○ Kiosk/ Canteen <ul style="list-style-type: none"> i. Being small it is exceptionally difficult for several people to be working in the canteen at the same time to ensure that the concepts / requirements of preparing, storage and serving of food, cleaning and sanitising is difficult. ii. There is a need for better access to service clientele who approach the canteen from outside the pavilion. This could be achieved by widening of the existing public shutters and screens. iii. Especially in the hot weather the kitchen is basically a health hazard being hot and stuffy due to the high temperature of the kitchen as there are no built in fans/air conditioning. iv. This needs to comply with the air quality and movement throughout the building as per Section 19(1) of the Occupational Safety and Health Act 1984 <p><i>Does the facility meet the requirements of tenant clubs.</i></p> <ul style="list-style-type: none"> ○ Two concerns we have here are <ul style="list-style-type: none"> i. There is minimal shade provided for players and spectators ii. That we comply with the air quality and movement throughout the building as per Section 19(1) of the Occupational Safety and Health Act 1984. This is a big concern during the summer months. ● <i>Is there appropriate storage facilities?</i> Not really especially soccer requirements. <ul style="list-style-type: none"> ○ There is insufficient storage facilities to cater for the needs of both the Cricket Club and Soccer club using the facility with perhaps a roller door access. Examples of larger items requiring storage are: <ul style="list-style-type: none"> i. Soccer goal posts which require trolleys to transport them to the oval ii. Mini portable soccer goals iii. Training aids for the cricket club eg bowling machine and fielding nets iv. Large sails v. Tables and Chairs. As there is nowhere to store these, the clubrooms are always
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		<p>untidy, cluttered and restricts the movement of people within the building.</p> <ul style="list-style-type: none"> vi. Uniforms for sale vii. Food and drinks for sale in the canteen viii. Cricket equipment required on game day <p>4.2 Open Space - Current Mackie rating 6%</p> <p>As we only have one oval we understand that this rating is low. However what makes Mackie such a picturesque local park are the excellent walking paths, fantastic playground and BBQs. Perhaps this lovely green environment could lead to a slightly higher rating. The old pavilion built in 1965 is certainly not attractive to the local community.</p> <p>4.3 Utilisation - Current Mackie rating 10.8%</p> <p>We feel that this rating is far too low considering the utilisation of the oval. During the Summer months, Monday is the only day when the pavilion is not being used. Details of how the pavilion is used are as follows.</p> <p>A. Cricket Club</p> <ul style="list-style-type: none"> a. Mackie Cricket Club has 5 Senior teams, 4 Junior teams and also runs a Milo program which includes males and females. The Seniors train Tuesday and Thursday and play on Saturday whilst the Juniors train Tuesday and Wednesday and play on Friday night, Saturday morning and Sunday morning. b. The Club are actively recruiting for a female team at the moment. <p>B. Soccer Club</p> <ul style="list-style-type: none"> a. Glen Eira FC has about 1000 players this season. b. Of these 900 are Juniors whilst 140 of that number are females. Dividing those numbers by 4 (as the soccer club have 3 fields at Lord and 1 at Mackie) it means that one field at Mackie is servicing 250 players of whom 225 are active juniors and 35 are female. <p>C. As seen above there is good female involvement (which we hope to increase in future) however the facilities are inadequate for females and has caused issues for both clubs.</p> <p>4.4 Condition – Building Issues - Current Mackie rating 7.3%</p> <p>This rating should be slightly higher considering the building was built in 1965 to satisfy the needs of two cricket teams and one AFL team. It quite clearly does not meet the needs of a significant increase of users as per the present. The information provided in 4.3 above demonstrates the increase in users.</p> <p>Three aspects that have changed and perhaps leaves us vulnerable are guidelines established after the pavilion was built eg</p> <p>I. Disabled toilets need to conform to the appropriate standards as outlined in the</p> <ul style="list-style-type: none"> o Disability Discrimination Act 1992 o Disability Access to Premises – Building Standards 2011 <p>II. Section 19(1) of the Occupational Safety and Health Act 1984</p> <p>4.5 Opportunity - Current Mackie rating 9.5%</p> <p>Both tenant clubs would welcome use of the pavilion with any other local groups and in fact could be used by other groups on the reserve ie Tennis Club, Bowling Club or Scouts.</p> <p>An updated pavilion would be more attractive to any other potential local users.</p> <p>Thank you for considering our feedback.</p>
4	Carnegie South Cricket Club	<p>Carnegie South CC agree with the Pavilion Redevelopment Strategy, in particular the high prioritisation of Lords hex pavilion and cream brick pavilion. We look forward to the opportunity to discuss with you our thoughts on the design and location of the new pavilion.</p>

5	Old Haileyburians Amateur Football Club	I note due to recent renovations that DC Bricker is not part of the process, and hence we as a tenant have therefore minimal input at this stage.
6	Ormond Amateur Football Club	<p>The Committee of the Ormond Amateur Football Club congratulates Council on the preparation of the draft Pavilion Redevelopment Strategy and for the opportunity for the Ormond AFC to provide feedback.</p> <p>The Ormond AFC supports the general directions of the draft Strategy, particularly, the direction to investigate opportunities to make sporting pavilions more flexible in their use and relevance to a broader cross-section of community, the fact that they should value-add to the open space amenity, and importantly, should be fit-for-purpose for their primary use as a facility to support the various off-field needs and uses of their primary sporting tenants.</p> <p>One point that the Committee would like to emphasise in relation to the direction that opportunities should be identified to expand pavilion uses beyond the traditional sporting uses, is that the larger the tenant clubs occupying a pavilion, the less likely that a pavilion can reasonably accommodate other shared uses. I take the winter use of the main pavilion at EE Gunn Reserve as an example. The senior club has 5 teams and the junior club has 16 or 17 teams. In order for the two tenant clubs to effectively manage these teams and the various volunteers and paid staff supporting them, a significant amount of pavilion use and access is required. This is to accommodate committee meetings, sub-committee meetings, informal coach meetings, professional development sessions for coaches and trainers, receiving player equipment, merchandise and uniforms from suppliers and then sorting through and storing the stock, receiving canteen and bar supplies and storing stock, holding social functions, etc. That is not to mention the access to the pavilion required Monday – Sunday for football training and matches (this usage based on the availability of both ovals for junior and senior training and matches).</p> <p>Whilst a majority of the mid-week usage is confined to late afternoon and evenings, there is still the need for usage during the day. But the key to effectively accommodating other joint uses will be the capacity and capability of the tenant clubs to be able to keep the pavilion clean, and for equipment to be securely stored after each use. Given the high usage by the senior and junior clubs, the task to have floor surfaces, toilets, social spaces and change rooms areas clean and clear and available for use by a third winter tenant on a regular basis would be an impossible expectation for the winter tenants at EE Gunn Reserve to fulfil. The reality is, large clubs require extraordinary usage of a pavilion.</p> <p>The senior committee is only illustrating the point that large clubs and their usage need to be very carefully considered prior to exploring the opportunities for pavilions to accommodate additional regular uses. And the statement in the report on page 5, supports our view <i>“Primarily, sporting pavilions need to support tenant clubs”</i>.</p> <p>I also query the comparatively low score attributed to the EE Gunn Reserve pavilion for the ‘Functionality’ criteria – 8.0 points:</p> <ul style="list-style-type: none"> • The number of change rooms (2) is inadequate when both ovals are being used. (Applies to junior matches on a Sunday, and on Saturdays from next season the senior club will be applying to Council to permit women’s team matches to be played on the second oval concurrent with reserves matches on the main oval). • Currently, the pavilion services both genders in change room amenities that are not wholly female friendly (still contain urinals, basins have no vanity benches). • The existing umpires room is inadequate in size and design, and does not meet the AFL guidelines for mixed gender umpire rooms. • The available storage is inadequate for all three tenant clubs. <p>Hopefully, the above comments and suggestions will constructively add to the process for Council to finalise the Pavilion Redevelopment Strategy.</p> <p>The Committee of the Ormond Amateur Football Club looks forward to seeing the final report, and to assisting Council to implement its recommendations.</p>

Attachment 2 – Pavilion Redevelopment Strategy



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GLEN EIRA CITY COUNCIL

PAVILION REDEVELOPMENT STRATEGY

JULY 2017

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INTRODUCTION

Glen Eira City Council is the primary provider of sporting pavilions and due to the significant investment, it is crucial that facilities are planned and managed to ensure maximum benefit and usage for the whole community.

Pavilions play a crucial role to sports clubs — beyond the core sporting elements, they are staunchly defended 'home grounds'; hubs for club social activities; and a place to display club history and memorabilia.

Beyond sport, pavilions are increasingly seen as community assets that offer various recreational, social and sporting opportunities to the broader community. This has created growing expectation to provide well-designed, flexible and accessible community sporting infrastructure.

The Pavilion Redevelopment Strategy provides Council with a clear and equitable framework for prioritising investment. It will inform annual budgets and guide long-term financial planning.

The Strategy does not commit Council to implementing the priorities in any set order as this can be influenced by financial planning decisions, unique opportunities, external factors and competing demands for Council resources.



I. VISION FOR PAVILIONS

'Council sporting pavilions are essential community assets that can provide a range of recreation, social and sporting opportunities to the whole community.'

Traditionally, Council's sporting pavilions have generally facilitated organised sports and club based activity. This function is evolving and expanding as pavilions become adaptable community hubs that can offer other organised activity and casual use.

As increasingly seen in many new developments across Victoria, multi-purpose pavilions can be places where communities connect through a wide range of activities, programs and events. This type of use can co-exist with sporting clubs and further enhance the local identity and define open space character.

Council resources are limited and expenditure on sporting pavilions competes with other programs and projects.

To provide both value and increased utilisation, there are several opportunities beyond active sport that can be explored.

These include:

- the ability to cater for community groups and casual users;
- opportunity to integrate and support external uses in open space;
- co-locating Council services;
- complementary commercial activities; and
- partnerships with educational or other government agencies.

This vision challenges some of the historical expectations around pavilion usage and access, such as providing dedicated social spaces, single use rooms and 24/7 access.

The Strategy prioritises the development of facilities that can provide opportunity to and benefit the wider community, while still providing for active sport and protecting our parks unique character.



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2. CURRENT SNAPSHOT OF PAVILIONS



The City of Glen Eira is home to 64 sporting clubs and on any weekend in winter, more than 9,500 individuals step onto a field to play sport. In summer, close to 6,000 individuals participate in an organised sporting activity.

When you include the supporters, officials and club volunteers that support these sporting clubs, more than 20,000 individuals contribute to sporting activities in the City of Glen Eira annually.

Council manage 19 active sporting and recreation reserves, including 26 sporting pavilions. While traditionally used for active sports, pavilions have evolved into adaptable community hubs used for a range of other organised or casual use.

Outside of organised sport, there are more than 8,500 annual recreation facility bookings in sporting pavilions, including Moorleigh Community Village. Bookings range from classes and meetings as well as casual events such as weddings, birthdays and social events. Annually, there are more than 750 bookings in our rotundas and open spaces.

The ability to book these facilities is made easier through adaptable design, remotely controlled swipe cards and a well-established booking process. Moving forward, this will include an online booking portal and payment systems.



- | | | | |
|----|---|----|-------------------------------------|
| 1 | Bailey Reserve Pavilion | 14 | Glen Huntly Park Pavilion |
| 2 | Bailey Reserve Softball Pavilion | 15 | King George VI Reserve Pavilion |
| 3 | Hodgson Reserve Pavilion | 16 | Koomang Park Pavilion |
| 4 | Bentleigh Reserve Pavilion | 17 | Lord Reserve Hex Pavilion |
| 5 | Caulfield Park Pavilion and Community Room | 18 | Lord Reserve Cream Brick Pavilion |
| 6 | Caulfield Park Main Pavilion | 19 | Mackie Road Reserve Pavilion |
| 7 | Caulfield Park Red/Grey Brick Pavilion | 20 | Marlborough Street Reserve Pavilion |
| 8 | Julie Cooper Pavilion — Centenary Park | 21 | McKinnon Reserve Pavilion |
| 9 | DC Bricker Pavilion — Princes Park | 22 | Mooreleigh Reserve Pavilion |
| 10 | Duncan McKinnon Reserve Pavilion and Community Room | 23 | Murrumbidgee Park Pavilion |
| 11 | East Caulfield Reserve Pavilion | 24 | Packer Park Pavilion |
| 12 | EE Gunn Reserve Baseball Pavilion | 25 | Princes Park Multi-Purpose Pavilion |
| 13 | EE Gunn Reserve Main Pavilion | 26 | Victory Park Pavilion |

3. FUTURE NEEDS AND OPPORTUNITIES

DISTRIBUTION OF SPORTING PAVILIONS

3.1 STRENGTHENING OUR HOME BASE

Sports pavilions play a crucial role to sports clubs beyond the functional aspect of change rooms, toilets and kiosks.

They are a central meeting place for social activities and a physical base to display club history and memorabilia, all of which help to build and develop an active and involved community with a strong sense of belonging and connection.

Primarily, sporting pavilions need to support tenant clubs — specifically the amenity of players, support for administrators, volunteers, officials and supporters, who collectively transform sport from an activity into a community.

3.2 PROVIDING SPORT FOR EVERYBODY

Changing trends and demand has seen the traditional sports pavilion design replaced with multi-purpose, flexible and accessible facilities. Newly designed pavilions cater for male and female sports, junior and senior play, users of all abilities and ages in addition to external community groups and casual community users.

Recent examples include providing facilities that can accommodate female participation, making pavilions accessible for all ages and abilities and creating areas for first aid, umpires and club volunteers.

Across Glen Eira the focus is to provide multi-purpose, accessible and flexible pavilions where appropriate. At each location, the redevelopment process will continue to recognize the dynamic and changing nature of sport and recreation, which is influenced by sporting trends, community needs, opportunities and input from relevant stakeholders.

Continuing this design process in new and upgraded pavilions ensures that facilities will support the level of sporting usage appropriately and can adapt to future changes.



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3.3 BEYOND SPORT

Outside traditional sporting use, pavilions can facilitate and extend Council services by providing flexible spaces, shared use and smart design.

This could include events and displays, health programs or exercise programs.

Pavilion design will be unique at each location and consider site specific features, such as:

- surrounding open space;
- support infrastructure to service additional use;
- potential surrounding land use changes or forecast development;
- amenity and character of open space; and
- level of sport and usage.

These additional opportunities would need to be complementary to the primary sporting club use.

3.4 EXTERNAL USES — COMMERCIAL AMENITY

The cumulative impact of rate capping will impact on Council's capacity to deliver large infrastructure projects. Facilities designed with the potential to include commercial elements and the ability to generate income would be able to offset the cost to the community.

Each pavilion location would lend itself to different opportunities with any commercial operator, operating in a designated zone as allocated by Council.

The nature of any commercial operator would need to be considerate of surrounding business and character of the park. It is beyond the scope of this Strategy to outline how tenants are appointed, however it will be subject to an appropriate and transparent process such as valuation, advertising, expression of interest, etc.

It is imagined that opportunities could potentially include personal trainers, fitness classes, cafés, catering or event spaces.

4. PRIORITISING PAVILION REDEVELOPMENT



Sporting pavilions have been assessed against a set of criteria, which prioritises the future upgrade order.

The criteria are consistent with Council's strategic objectives of providing services that support the community, enhance recreational facilities, create sustainable assets and help to build strong and connected communities.

Criteria are weighted the following way:

- Functionality: 30 per cent
- Open space capacity: 15 per cent
- Condition: 20 per cent
- Utilisation: 20 per cent
- Opportunity: 15 per cent

4.1. FUNCTIONALITY

Functionality measures the suitability of core pavilion infrastructure for the type of sport and level of competition. Over time, this has extended to include referee facilities, first aid rooms, storage areas and importantly the ability to cater for females and juniors. This assessment is specific to the requirements of existing sporting clubs, not potential users.

The following measures are used:

- Is there an appropriate number of change rooms per field?
- Does the facility cater for unisex/all ages/female friendly change facilities?
- Is there provision of multi-purpose or social rooms, kiosk or social spaces?
- Does the facility meet the requirements of tenant clubs, based on sporting standards outlined by peak bodies/associations?
- Is there appropriate support facilities, such as first aid room, referees change room, and storage provision?
- Is the facility adaptable to tenant sporting codes and playing requirements?

4.2. OPEN SPACE CAPACITY

This measures each park's capacity, amenity and infrastructure to accommodate existing and additional use. This includes access, visibility, parking and other facilities. This allows pavilions to service more than one compliant sportsground and potentially accommodate additional use (either community or sporting), to take priority.

The following measures are used:

- Number of sportsgrounds the pavilion services.
- Are passive areas provided?
— ie. playgrounds, picnic facilities, pathways and unencumbered open space areas.
- Ability of open space to accommodate current and additional usage, such as adequate parking, visibility and access.
- Sportsground compliance
— Eg. boundary distances and ground lighting.

4.3. UTILISATION

This prioritises pavilions with higher numbers of users, taking into account the number of fields/ovals. Additionally, there are specific measures for youth and female participation, which addresses wider community goals, such as childhood obesity and the discrepancy between male and female sport participation.

The following measures are used:

- Number of seasonal clubs based in the pavilion.
- Combined number of teams or active users in relation to fields.
- Proportion of active junior members.
- Proportion of active female members.

4.4. CONDITION — BUILDING ISSUES

This evaluates each pavilion's physical condition (structural integrity) and compliance with relevant codes such as the *Disability Discrimination Act*, *Building Code of Australia* and hazardous materials. Assessments are based on compliance data and building audits undertaken by engineers.

4.5. OPPORTUNITY

A focus of future pavilion redevelopments will be the opportunity to increase utilisation. This may be through growing club capacity, providing Council services, or exploring partnerships and arrangements with external parties.

This element will consider the following:

- Have additional uses been identified?
- Is there opportunity to incorporate or consolidate other local groups or clubs?
- Are there identified or forecast shortfalls in Council services in the area?
- Can pavilions facilitate more use?
- Opportunities that arise from other projects or through access to external state or government funding would be considered on a case-by-case basis.



5. IMPLEMENTATION

The redevelopment process will involve broad community consultation and analysing existing Council services. Foremost will be the requirements of tenant sporting clubs, based on a combined feedback from peak sporting bodies, tenant clubs and associations.

5.1. PAVILION IDEALS

Pavilion planning will incorporate the following principles:

Sustainable — Incorporate environmentally sustainable design features, for example, solar panels; energy efficient design; rainwater tanks; preference for recycled materials; and investment in energy efficient appliances.

Responsive — Accommodate a range of users through flexible and adaptable features.

Accessible — Incorporate universal design principles to ensure pavilions are accessible, usable and convenient to use regardless of age, ability or gender.

Community — Facilitate opportunities outside of active sport.

Club building — Provide club-based facilities that can improve sport participation outcomes.

5.2. PLANNING PROCESS

At each location, redevelopment process will explore:

- The opportunity to provide flexible, accessible and adaptable facilities.
- Providing existing community focused Council services and opportunities to enhance or co-locate these.
- Gap areas for Council services or the ability to extend existing Council services and programs. For example, fitness classes, a meeting space, community education sessions or maternal and child health sessions.
- Opportunities to accommodate external users — potentially commercial elements such as personal trainers, cafés or classes.
- Developing shared use facilities with schools or universities, for example, off-site classrooms or sessional spaces.
- Inclusion of unstructured sporting activities as part of broader development, which may include basketball/netball half-courts, tennis rebound walls, golf practice cages, etc.
- Facilitate Council health and wellbeing programs that align with open spaces.
- Opportunities to align with government or external agency projects.
- The impact and opportunities possible through current and future changes to land use, such as planning applications, rezoning or amendments.

This process will ensure that pavilions have a footprint, character and facilities that are appropriate for its location. What is built at one location is not necessarily applicable at another.



5.3. PAVILION DESIGN PROCESS

Development of each pavilion will broadly follow various processes to ensure suitable engagement, discussion and analysis and result in the best possible outcomes.

5.3.1. NEEDS ASSESSMENT

- Discussion with tenant groups, sporting associations and peak bodies.
- Community consultation to identify and discuss key opportunities and issues.
- Analysing Council services and demand.
- Identifying additional opportunities that may be possible through the process.
- Exploring how needs can be met.
- Reviewing current and future sport and recreation trends.
- Benchmark comparison of similar facilities.

This level of assessment will inform the next phase of development.

5.3.2. FEASIBILITY ASSESSMENT

- Initial concept and design development phase.
- Cost estimates and potential timing.
- Analysing external opportunities or commercial market review.
- Community consultation on concept and designs.
- Local or state planning issues.

The feasibility process will enable a pragmatic and informed discussion on each pavilion redevelopment proposal.

5.4. ALLOCATION NEW USERS

Opportunities for additional community use will be advertised to the wider community through an expression of interest process, consistent with Council's *Sportsground Allocation Policy*.

Commercial opportunities would be advertised in a similar public manner and managed through a formal lease or licence depending on the circumstances.

6. REVIEW

Evaluation and review will be undertaken every two years to ensure the *Strategy* remains relevant, reflects community needs, expectations, existing conditions, Council's financial resources and is responsive to any legislative changes.

State or Federal funding opportunities may also trigger a review, but would be considered on a case-by-case basis.



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7. PAVILION PRIORITY LIST

	Pavilion	Overall score (out of 100)	Functionality (30%)	Open space capacity (15%)	Building condition (20%)	Utilisation (20%)	Opportunity (15%)	Pavilion Priorities Report 2007
1	Lord Reserve Mex Pavilion	64.1	20.0	12.0	14.5	13.5	4.1	Not included due to pool redevelopment
2	Murrumbidgee Park Pavilion	61.8	12.0	12.0	14.5	12.3	10.9	4
3	Lord Reserve Cream Brick Pavilion	56.8	20.0	11.0	16.4	5.4	4.1	Not included due to pool redevelopment
4	Marlborough Street Reserve Pavilion	55.5	12.0	8.0	10.9	12.3	12.3	2
5	Koorngang Park Pavilion	54.0	16.0	9.0	12.7	10.8	5.5	Not included due to pool redevelopment
6	Victory Park Pavilion	53.2	14.0	8.0	10.9	10.8	9.5	6
7	King George VI Reserve Pavilion	53.0	12.0	8.0	10.9	11.2	10.9	10
8	Bailey Reserve Softball Pavilion	52.2	16.0	7.0	7.2	11.2	10.9	Not included due to pool redevelopment
9	EE Gunn Reserve Baseball Pavilion	51.9	20.0	8.0	12.7	8.5	2.7	5
10	EE Gunn Reserve Main Pavilion	47.9	8.0	11.0	12.7	13.5	2.7	7
11	Mackie Road Reserve Pavilion	47.6	14.0	6.0	7.3	10.8	9.5	n/a
12	McKinnon Reserve Pavilion	44.6	8.0	8.0	9.1	15.4	4.1	14
13	Bailey Reserve Pavilion	43.9	10.0	7.0	12.1	13.5	1.4	11
14	East Caulfield Reserve Pavilion	40.6	0.0	10.0	9.1	9.2	12.3	9
15	Caulfield Park Red/Grey Brick Pavilion	36.8	8.0	9.0	9.2	9.2	1.4	Not included as there was a commitment to upgrade Caulfield Park pavilion
16	Bentleigh Reserve Pavilion	36.4	0.0	7.0	6.2	12.3	10.9	15
17	Hodgson Reserve Pavilion	30.1	0.0	9.0	8.2	11.5	1.4	16
18	Caulfield Park Main Pavilion	29.9	6.0	7.0	5.1	10.4	1.4	8
19	Moorleigh Reserve Pavilion	29.8	4.0	7.0	7.3	8.8	2.7	13
20	Glen Huntly Park Pavilion	27.7	0.0	7.0	9.1	6.2	5.5	12
	Caulfield Park Pavilion and Community Room							Not included as there was a commitment to upgrade Caulfield Park pavilion
	Julie Cooper Pavilion — Centenary Park							3
	Duncan Mackinnon Pavilion and Community Room							1
	Packer Park Pavilion							Not included in list as it was recently redeveloped
	DC Bricker Pavilion — Princes Park							Not included in list as it was recently redeveloped
	Princes Park Multi-purpose Pavilion							Not included in list as it was recently redeveloped

**ITEM 9.12 INTERSECTION OF GLEN EIRA AND KOORYONG ROADS,
CAULFIELD NORTH – TRAFFIC CONDITIONS**

Author: Terry Alexandrou, Traffic Engineering Team Leader

File No: N/A

Attachments: None

PURPOSE AND SUMMARY

This report responds to a Council resolution requesting a report from officers.

At the 2 May 2017 Ordinary Council Meeting, it was resolved:

“That officers prepare a report including:

- 1. the prospects of installing right-turn signals at the Glen Eira Road intersection with Kooyong Road; and*
- 2. The frequency with which right-turning vehicles in that intersection trigger its red-light cameras.”*

RECOMMENDATION

That Council notes this report.

BACKGROUND

The intersection of Glen Eira and Kooyong Roads is indicated in Figure 1.



**Figure 1
Intersection of Glen Eira and Kooyong Roads**

Glen Eira Road is classified as a secondary arterial road which is under the care and management of VicRoads. Kooyong Road is a Major Council Road.

VicRoads is responsible for the operation and maintenance of the intersection and the traffic signals at the intersection of Glen Eira and Kooyong Roads.

Both roads have a single traffic lane, and a shared parking and bicycle lane in each direction.

On both approaches to the intersection of Glen Eira and Kooyong Roads, Glen Eira Road has three lanes; a combined through and left turn lane, a through lane and a right turn lane. Kooyong Road has two lanes on each approach; a combined through and left turn lane, and a combined through and right turn lane.

State Government speed and red light cameras exist on the Glen Eira Road approaches of the intersection.

ISSUES AND DISCUSSION

1. Provision of right-turn signals at the intersection of Glen Eira and Kooyong Roads

VicRoads is responsible for the operation of the intersection of Glen Eira and Kooyong Roads. Therefore as the responsible Road Authority in this matter, VicRoads was requested to investigate and respond to the request for right turn arrows at the intersection.

The original response from VicRoads was broad and covered all approaches to the intersection and a range of scenarios. VicRoads was subsequently asked to provide a response specifically about the provision of right turn arrows from the right turning lanes on Glen Eira Road.

The following final response was provided by VicRoads:

“VicRoads receives many requests each year for intersection improvements throughout Victoria. All requests are considered and evaluated on a statewide basis with consideration given to factors such as the number and type of vehicles using the intersection, the need to cater for pedestrians, the historical safety record of the site, the impact that treating the intersection would have on the performance of the surrounding road network and the implementation costs.

VicRoads has considered the request for the provision of right turn arrows for traffic entering from Glen Eira Road into Kooyong Road. The current traffic signal arrangement at the intersection gives priority to the important through traffic on Glen Eira Road, particularly during peak periods. As the traffic signals at intersections along Glen Eira Road are linked, the implementation of dedicated right turn arrows for traffic turning would affect the traffic flow for Glen Eira Road, causing additional delays.

While VicRoads acknowledges that a crest exists west of the intersection on Glen Eira Road, VicRoads has assessed the visibility at the intersection and found that it is adequate for motorists to select gaps in oncoming traffic to safely complete their right turn movements into Kooyong Road north.

In the context of the above, VicRoads’ assessment has found that there are currently other proposals for intersection improvements across the state that, when evaluated, rank higher than this intersection. VicRoads will continue to monitor the intersection for improvements in the future.”

2. Frequency with which right turning vehicles trigger the red-light cameras at the intersection

The Department of Justice was request to provide statistics on how many offences have been issued to right turning traffic.

Various data was provided for various offences at the intersection. This offence falls under the category of *Fail to Obey Traffic Lights*. There were 670 drivers who failed to obey the traffic signals along Glen Eira Road in the 2015/16 financial year and 1,007 in 2016/17 (up to 27 May 2017 when the data was sourced). The data provided does not differentiate between those who failed to obey the traffic lights when travelling straight through, turning left or turning right, as it is grouped under the same offence.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

N/A

LINK TO COUNCIL PLAN

Transport Planning – To promote the safe movement of pedestrian, bicycle and vehicle traffic in a way that minimises the impact of traffic and parking on the local amenity and physical environment.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

VicRoads will not install right turn traffic signals at the intersection of Glen Eira and Kooyong Roads because it is not currently a high priority when compared to the other VicRoads sites across the State.

The data provided by the Department of Justice does not differentiate how many of the red light camera offences at the intersection are as a result of drivers turning right or those travelling straight through or left. It is simply the one offence of *Failing to Obey Traffic Lights*. Therefore, the data provided to Council does not reveal any potential for a problem with right-turning vehicles at the intersection.

ITEM 9.13 INVESTMENT POLICY

Author: John Vastianos (Chief Financial Officer)

File No: 17/1168673

Attachments: None

PURPOSE AND SUMMARY

This report responds to a Council resolution requesting a report from officers.

At the 13 June 2017 Ordinary Council meeting, it was resolved:

That officers prepare a report to include the following information:

- 1. Is the Investment Policy from 2014 still current? If not, what are Glen Eira Council's existing investment/divestment policies?*
- 2. How often does Glen Eira Council review its investment and divestment policies?*
- 3. What options does Glen Eira Council have in investing/divesting its funds, and what measures could council take to ensure that it does not invest in fossil fuel or fossil fuel aligned companies?*
- 4. What are some other councils doing in this regard, and could Council strengthen its policy?*

RECOMMENDATION

That Council:

1. notes this report; and
2. notes that officers will review the current investment policy for Council consideration.

BACKGROUND

Council's Investment Policy was originally adopted by Council in September 1997 and updated in July 2007 following a review of the Policy by the Audit Committee.

Around the time of the Global Financial Crisis in 2007-08, Council's Audit Committee received and considered a number of reports covering such matters as Council's investment portfolio, banking details, investment policy, investment product profiles, fund investment returns, investment advisory arrangements and the Commonwealth Government's deposit guarantee on investments over \$1 million.

Since early 2008, Council has adopted a conservative investment approach and substantially reduced its exposure to AA rated and AAA rated cash-enhanced funds in favour of fixed rate bank deposits, AAA rated cash funds or income earning bank accounts. Presently, over 85% of Council's funds are invested in fixed-rate Australian financial institution term deposits and savings investment accounts. The objective of these restrictions, and of the restrictions placed on Council by the *Local Government Act*, is to minimise risk, not maximise returns.

In 2014, Council updated the Investment Policy.

ISSUES AND DISCUSSION

The Investment Policy was last reviewed in 2014 and is currently in the process of being reviewed by Council Officers in preparation for Council consideration.

The Investment policy is reviewed as required to ensure it is current, consistent and complies with legislation.

Investments

Council is restricted to placing funds in investments under Section 143 of the *Local Government Act 1989*. Section 143 allows Councils to invest money:

- (a) *in Government securities of the Commonwealth;*
- (b) *in securities guaranteed by the Government of Victoria;*
- (c) *with an authorised deposit-taking institution;*
- (d) *with any financial institution guaranteed by the Government of Victoria;*
- (e) *on deposit with an eligible money market dealer within the meaning of the Corporations Act;*
- (f) *in any other manner approved by the Minister after consultation with the Treasurer either generally or specifically, to be an authorised manner of investment for the purposes of this section.*

Council's Investment policy stipulates that Council will not invest directly in fossil fuel assets, carbon-heavy investments or high-carbon intensive industries or other uses which are contrary to Council's policies.

In reviewing the Investment Policy, officers will ensure that Council will not directly invest in any company for whom the extraction, production, refining, or distribution of fossil fuels forms a core part of their business strategy, or in any company whose principal business involves providing infrastructure or services to companies previously mentioned. Council will advocate with relevant authorised deposit-taking institutions to refrain from investing directly or indirectly in fossil fuels.

Investment policies from a number of Councils including Monash City Council, Kingston City Council, City of Darebin, Stonnington City Council, Port Phillip Council and Bayside City Council were reviewed. The policies for Monash City Council, Kingston City Council, Stonnington City Council and Bayside City Council did not include any environmental investment criteria. Both Darebin and Port Phillip Councils state that they would not support or invest in the fossil fuel industry directly or where practical, would give preference to financial institutions that do not directly or indirectly support fossil fuel companies.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

Provides guidelines to ensure sound financial management in relation to the investment of Council funds.

POLICY AND LEGISLATIVE IMPLICATIONS

In accordance with the *Local Government Act 1989* (the Act):

- ***Principles of Sound Financial Management*** - under section 136 of the Act, a Council must implement the principles of sound financial management.
- ***Investments*** - section 143 of the Act.

COMMUNICATION AND ENGAGEMENT

Not Applicable.

LINK TO COUNCIL PLAN

Theme 5: Informed and Engaged.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Officers are currently reviewing the Investment Policy for consideration by Council.

ITEM 9.14 CONDUCT REFERENCE GROUP

Author: Janice Pouw, Coordinator Councillor Business

File No: N/A

Attachments: 1. *Conduct Reference Group Terms of Reference and Operating Guidelines*

PURPOSE AND SUMMARY

To review Membership and Terms of Reference of the Conduct Reference Group (CRG).

RECOMMENDATION

That Council:

1. appoints Cr Magee, Cr Silver and Cr Esakoff to the Conduct Reference Group; and
2. endorses the reviewed Terms of Reference and Operating Guidelines of the Conduct Reference Group.

BACKGROUND

In April 2016 Frances O'Brien QC was engaged to explore complaints about Councillor behaviour and to ensure Council has an appropriate mechanism to make certain that future complaints and related matters of concern to Councillors are dealt with thoroughly and expeditiously. After interviewing all parties Ms O'Brien recommended the establishment of a Conduct Reference Group.

At the 30 August 2016 Council meeting, Council resolved to:

- *Establish a Councillor Conduct Reference Group;*
- *Adopt the Conduct Reference Group Terms of Reference and Operating Guidelines;*
- *Appoint Cr Mary Delahunty, Cr Margaret Esakoff and Cr Thomas Sounness as members of the Councillor Conduct Reference Group until the end of the current Council term.*

Membership of the Conduct Reference Group (CRG) comprises three Councillor members, excluding the Mayor. Clause 4C states that *'The Mayor will act as an alternate member if there is a conflict of interest in the membership of the CRG, including where a member of the CRG is a party to the matter being considered.'*

The Terms of Reference and Operating Guidelines include that the CRG provide that: "the terms of reference and operating guidelines, functions and effectiveness of the CRG will be reviewed annually by the Councillor group".

ISSUES AND DISCUSSION

In August 2016 the Conduct Reference Group was established for the remaining term of Council, being two months. Clause 4B of the CRG Terms of Reference and Operating Guidelines states '*Membership of the CRG will be determined by the Council at twelve monthly intervals.*'

The intent of the CRG was to facilitate timely resolution of conduct concerns between Councillors without the requirement to initiate a Councillor Conduct Panel under the provisions of the Local Government Act. It provides an avenue for Councillors to escalate concerns on Councillor conduct.

The CRG may, after considering serious conduct breaches, recommend that conduct concerns are referred to the Councillor Conduct Registrar or Local Government Inspectorate for independent review.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

There are no financial, resource or asset management implications associated with this report.

POLICY AND LEGISLATIVE IMPLICATIONS

The Local Government Act 1989 mandates that a Councillor Code of Conduct be adopted by Council and is binding on all Councillors. Section 7.1.3 of the adopted Councillor Code of Conduct refers any parties to a conflict/dispute, to try any avenue possible to resolve the conflict/dispute before escalation to the CRG.

COMMUNICATION AND ENGAGEMENT

There was no communication or engagement required for this report.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme 5 – Informed and Engaged – A well governed Council that is committed to transparency and engages residents in decision-making.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

It is proposed that three Councillors are appointed to the Conduct Reference Group and the Terms of Reference and Operating Guidelines be reviewed and endorsed.

ATTACHMENT 1**GLEN EIRA CITY COUNCIL****CONDUCT REFERENCE GROUP
TERMS OF REFERENCE AND OPERATING GUIDELINES****PREAMBLE**

To ensure best outcomes for the City of Glen Eira and its operation, a Councillor Conduct Reference Group (CRG) has been established. The CRG is established to provide all Councillors with an avenue to escalate concerns about Councillor conduct. The Terms of Reference and Operating Guidelines are subject to the requirements of the Local Government Act 1989 (as amended from time to time) and other applicable legislation.

1. Role and functions of the Councillor Reference Group

- A. The CRG provides an avenue to manage concerns regarding Councillor conduct. The CRG is a process which is available under clause 7.1.3 of the Councillor Code of Conduct. It is not a compulsory process and no Councillor can be forced to participate in the CRG process. However, failure to participate will not preclude the CRG from meeting and deliberating in accordance with these Terms of Reference and Operating Guidelines.
- B. The CRG provides an informal process for conflict resolution and is available to deal with matters within its terms of reference prior to the commencement of any internal mediation under clause 7.2 of the Councillor Code of Conduct. Once clause 7.2 is invoked, the CRG cannot be convened.
- C. Matters which may be the subject of a CRG process include:
 - disputes between Councillors
 - conduct by a Councillor which may have breached the General Conduct Obligations in clause 5 of the Councillor Code of Conduct
 - behaviour by a Councillor which impedes the process of good governance.
- D. Where a matter or dispute involves a number of Councillors or involves a contentious or political matter, it may be considered that the CRG cannot be successfully used and is unavailable in the circumstances. The decision on this will reside with the CRG. The CRG will not be convened during the caretaker period.
- E. The CRG may be convened by resolution of the Council, at the request of the Mayor, or at the request of one or more Councillors. The CRG acts collectively, and none of its members may undertake any of the functions as an individual without the authorisation of the group.
- F. The CRG must act within the guidelines and use natural justice principles to examine Councillor conduct.

G. The CRG will perform the following functions:

- hear, investigate and consider concerns raised by Councillor/s about the conduct of one or more Councillors;
- provide the Mayor and/or the Council with a report about that conduct including, where required, a recommendation on how to manage that conduct;
- issue a written warning to Councillor/s when behaviour is perceived to be inconsistent with the Councillor Code of Conduct, the Local Government Act 1989 or any other relevant legislation including without limitation the Occupational Health and Safety Act 2004 and the Equal Opportunity Act 2010;
- provide the Mayor with advice to assist in the oversight and promotion of good relationships;
- mentor or provide counsel to a Councillor following an investigation, report and recommendation;
- assist the Mayor and the Council in determining, subject to relevant legislation, the need to take further action concerning the conduct of Councillor/s including a referral of conduct to a Councillor Conduct Panel within the requirements of the Local Government Act 1989; and
- undertake any other activity related to the above within the limitation of the terms of reference and operating guidelines.

2. Natural Justice Principles of Decision Making

- A. The CRG must operate in accordance with the following fundamental principles of natural justice:
- any person the subject of an investigation must be advised of the nature and substance of the allegations against them;
 - all parties should be given a fair opportunity to be heard before a conclusion or recommendation is made; and
 - the CRG members must not have predetermined the matter or be reasonably perceived as having predetermined the matter.
- B. The CRG members must ensure that they have considered all the available evidence and information before coming to any final conclusions or recommendations.

3. Operating process of the CRG

- A. The CRG will be convened as set out in 1E above.
- B. The CRG may develop its own procedures for managing an investigation.
- C. The CRG may request the provision of all relevant information and documentation.
- D. Councillors who are requested to provide information and documents should use their best endeavours to provide them within the requested timeframes.

- E. Meetings between the CRG and a Councillor the subject of the meeting will be conducted in an informal manner with a commitment to honest and open discussions.
- F. All Councillors involved in the process as members of the group or the subject of conduct matter will participate in good faith in the process.
- G. The CRG will provide their report within a reasonable time period of meeting and deliberating.
- H. The CRG recommendations should be respected and acknowledged in the spirit of the good governance principles in the Councillor Code of Conduct.
- I. The CRG recommendations are not binding or enforceable but may form the basis of a Council resolution.

4. Membership of the CRG

- A. The CRG will comprise three (3) members appointed from the Councillor group, but excluding the Mayor.
- B. Membership of the CRG will be determined by the Council at twelve monthly intervals .
- C. The Mayor of the day will act as an alternate member if there is a conflict of interest in the membership of the CRG, including where a member of the CRG is a party to the matter being considered.

5. Review

The terms of reference and operating guidelines, functions and effectiveness of the CRG will be reviewed annually by the Councillor group.

Established by Council resolution	30 August 2016
Reviewed by Council	25 July 2017

ITEM 9.15 PUBLIC PARTICIPATION GUIDELINES AT COUNCIL MEETINGS

Author: Janice Pouw, Coordinator Councillor Business

File No: N/A

Attachments: 1. Proposed Public Participation Guidelines

PURPOSE AND SUMMARY

To consider the adoption of the Public Participation at Council Meeting Guidelines in accordance with Clause 230 of the Local Law 2009.

RECOMMENDATION

That Council adopts the Public Participation Guidelines at Council Meetings, shown as Attachment 1 to this report.

BACKGROUND

At the Special Council Meeting on 8 November 2016, Cr Delahunty advised of her intention to introduce public participation at Council Meetings on a trial basis from the December 2016 Council meeting. The Mayor proposed that at each Council meeting, Council would suspend standing orders for a period of 15 minutes to allow members of the community to address Council, either making a statement or asking a question.

This process was introduced under Clause 230 of the Local Law which states:

230. Members of the public may address Council and Committee meetings:

- (1) at the discretion of, and under direction of, the Chairperson; or*
- (2) as provided in section 223 (1) (b) of the Local Government Act 1989,*

In accordance with any guidelines for public participation in Council and Committee Meetings adopted by Council from time to time.

ISSUES AND DISCUSSION

Since the introduction of this process officers have received mixed feedback from a small number of community members. They either expressed their appreciation for the opportunity to address Council or provided negative feedback when they attended a meeting with a view to participate and were not afforded the opportunity. This may have been due to the length of time used by the earlier speakers.

The guidelines when adopted by Council should support the Chairperson through the public participation process at the Council meeting, keeping in mind, participation is at the discretion of the Chairperson (clause 230 of the Local Law 2009).

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

There are no financial, resource or asset management implications associated with this report.

POLICY AND LEGISLATIVE IMPLICATIONS

In accordance with Clause 230 of the Glen Eira City Council Local Law 2009, guidelines for public participation in Council meetings may be adopted by Council from time to time.

COMMUNICATION AND ENGAGEMENT

No formal process of communication has been undertaken, however positive and negative feedback has been received throughout the trial period. The Guidelines have been prepared taking into account this feedback.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme 5 – Informed and Engaged – A transparent and accountable Council that engages its residents in decision-making.

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

Public Participation Guidelines have been prepared to provide members of the community with an opportunity to participate in Council Meetings. It is intended that Council consider adopting the guidelines consistent with Clause 230 of Local Law 2009.

Attachment 1**Guidelines - Public Participation at Council Meetings**

The following Guidelines are prepared under Section 230(1) of the Local Law 2009 and provide the public with a means of participating in Council meetings in addition to the submission of public questions under section 232 of the Local Law.

This process provides the community with an informal forum to ask brief questions or make statements relating to Council's role, functions or business.

If the question or statement you are asking is not suitable for this format, please contact Council by telephone on 9524 3333 or email to mail@gleneira.vic.gov.au. Alternatively, you are invited to submit a public question under section 232 of the Local Law or contact Council's Customer Service Centre on mail@gleneira.vic.gov.au or by telephone 9524 3333.

Process to participate in a Council Meeting**A. Registration**

1. Participants should register by completing the form provided in the Council Chamber and submitting the form prior to commencement of the Council Meeting or as soon as possible thereafter. Forms will be available from 7pm on the day of the Council Meeting.
2. The forms will be numbered and speakers will be taken in order of registration (first come, first served).
3. There will be a limit of one speaker per registration.
4. The Mayor, Delegate or Chief Executive Officer is authorised by the Council to read all proposed questions/statements in advance to ensure they are not deemed inappropriate as set out under the dot point (a) to (d) in the section below.

B. Meeting Process

1. The Chairperson will manage the public participation process at their discretion and in accordance with these guidelines where applicable.
2. At a convenient point in the meeting proceedings the Chairperson will announce the commencement of public participation under clause 230(1) of the Glen Eira Local Law and in accordance with these Guidelines.
3. A period will be allowed where the Chairperson will invite the participants to speak in order of registration.
4. Conduct in the Chamber must be professional and courteous at all times. Local Laws 244 and 246 apply to improper or disorderly conduct during Council meetings.
5. The Council will not accept or respond to questions or statements that:
 - (a) relate to matters that are outside the role, functions or business of the Council
 - (b) relate to a Councillor or staff member other than in their Council capacity;
 - (c) are considered to be defamatory, indecent, inappropriate or may constitute discrimination, vilification, harassment, or may place Council or the participant at risk of legal action;
 - (d) if answered could constitute a breach of the *Information Privacy and Data Protection Act 2014* or the confidentiality provisions or any other provision of the *Local Government Act 1989* or any other relevant legislation.

6. The Chairperson will not allow a participant to speak on or continue to speak on any topic which the Chairperson believes to fall into (a) to (d) above.
7. Participants must comply with the directions of the Chairperson.
8. The Chairperson requests participants to ask one question or make one statement. If time permits, and at the discretion of the Chairperson, further questions may be asked or statements made in the same order of registration. If there are any questions remaining unanswered at the conclusion of the allotted time, the Coordinator Councillor Business will respond on behalf of the Council at a later date by telephone or email.
9. The Chairperson will refer each question to the most appropriate person to respond. Responses may be provided by the Mayor, a Councillor, the CEO or a Council officer. The Chairperson may advise that a response to a question may be provided at a later time.

C. Minutes of the Council Meeting

1. Council meetings may be recorded (audio and/or visual recording) and the recording made available publicly and otherwise managed in accordance with Council record keeping policies. Participants in the Council meeting under the section 230(1) process will be included in such recordings.
2. Records of the public participation under these guidelines will not be included in the minutes of the meeting.

ITEM 9.16 APPOINTMENT OF ACTING CHIEF EXECUTIVE OFFICER

Author: Janice Pouw, Co-ordinator Councillor Business

File No: N/A

Attachments: None

PURPOSE AND SUMMARY

To appoint an Acting Chief Executive Officer for the period from 5pm Friday 18 August to Friday 25 August inclusive during the absence of the Chief Executive Officer. The temporary appointment is in accordance with section 94(4A) of the *Local Government Act 1989*.

RECOMMENDATION

That Council appoints Ms Samantha Krull, Director Infrastructure, Environments and Leisure to the role of Acting Chief Executive Officer for the period 5pm Friday 18 August to Friday 25 August 2017 inclusive, in accordance with section 94(4A) of the *Local Government Act 1989*.

BACKGROUND

The Chief Executive Officer, Ms Rebecca McKenzie will be taking annual leave from 5pm Friday 18 – 25 August 2017. To ensure the continued smooth and efficient operation of Council's business, it will be necessary for Council to appoint an Acting Chief Executive Officer for the period.

ISSUES AND DISCUSSION

In accordance with section 94(4A) of the *Local Government Act 1989 (the Act)*, the Council may appoint an Acting Chief Executive Officer during the absence of the Chief Executive Officer for a period of not greater than up to 12 months, without the requirement to consider applications invited through a public process.

FINANCIAL, RESOURCE AND ASSET MANAGEMENT IMPLICATIONS

Ms Krull will receive a higher duties allowance for the term of the Acting appointment.

POLICY AND LEGISLATIVE IMPLICATIONS

This report is consistent with section 94(4A) of the *Local Government Act* to appoint a person to act as its Chief Executive Officer for a period of not more than 12 months.

COMMUNICATION AND ENGAGEMENT

Not applicable to this report.

LINK TO COUNCIL AND COMMUNITY PLAN

Theme 5 – Informed and Engaged

OFFICER DECLARATION OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect interest in this matter.

CONCLUSION

It is proposed that Ms Samantha Krull, Director, Infrastructure Environment and Leisure be appointed to the role of Acting Chief Executive Officer for the period 5pm Friday 18 August to Friday 25 August inclusive.

10. URGENT BUSINESS

11. ORDINARY BUSINESS

11.1 Requests for reports from Officers

11.2 Right of reply

11.3 Councillor questions

11.4 Public questions to Council

12. CONSIDERATION OF ITEMS IN CAMERA

That pursuant to Section 89(2) of the Local Government Act 1989, the Council resolves that so much of this meeting be closed to members of the public, as it involves Council consideration of matters coming within some or all of the following categories listed in Section 89(2) of such Act.

- (a) Personnel matters;
- (b) The personal hardship of any resident or ratepayers;
- (c) Industrial matters;
- (d) Contractual matters;
- (e) Proposed developments
- (f) Legal advice
- (g) Matters affecting the security of Council property'
- (h) Any other matter which the Council or Special Committee considers would prejudice the Council or any person;
- (i) A resolution to close the meeting to members of the public.

12.1 which relates to the awarding of the contract for **Tender number 2018.002 Crosbie Road Reconstruction** - *Local Government Act 1989 - Section 89 (2)(d)*

Number of tenders received	4
Number of evaluation criteria tenders assessed against	Three (3)
Estimated contract value	\$1,000,000.00

12.2 which relates to the awarding of the contract 2017.049 Provision of Cleaning Services, GESAC - *Local Government Act 1989 - Section 89 (2)(d)*

Number of tenders received	Six (6)
Number of evaluation criteria tenders assessed against	Three (3)
Estimated contract value	\$2,284,000

12.3 **Contract 2017.247** Provision of Parks and Playground Equipment, Open Space and Recreational Infrastructure, Outdoor Furniture, Signage and Related Products and Services - *Local Government Act 1989 - Section 89 (2)(d)*

12.4 **Contract 2017.396** Provision of Library Collections, Furniture, equipment and associated requirements - *Local Government Act 1989 - Section 89 (2)(d)*

13. CLOSURE OF MEETING