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Proposed C231glen

## SCHEDULE 11 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO11**.

### CAULFIELD SOUTH NEIGHBOURHOOD ACTIVITY CENTRE

#### 1.0

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#### Design objectives

To support a new mid-rise scale built form character for the Caulfield South Neighbourhood Activity Centre with lower built form at the street interface and to adjoining residential areas.

To provide a more cohesive built form character and improved street interface along Hawthorn Road and Glenhuntly Road.

To ensure development maintains the prominence of the heritage street wall within the Caulfield South Shopping Centre and Environs heritage place (HO66) and respects the significance of the Holy Cross Church.

To enhance the pedestrian experience through improved activation at ground floor and maintaining sunlight to the Glenhuntly Road, Hawthorn Road and Kooyong Road footpaths.

To ensure development protects existing amenity and does not unreasonably impact adjoining residential properties.

#### 2.0

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#### Buildings and works

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

#### STREET WALL HEIGHT

Land	Preferred street wall height
Precinct 1	11m (3 storeys)
Precinct 2	9m (2 storeys) or match the height of an existing adjoining double storey building
Precinct 3	9m (2 storeys) or match the height of an existing adjoining heritage building
Precinct 4 - 612-672 Glenhuntly Road and 627-697 Glenhuntly Road	11m (3 storeys)
Precinct 4 - All other land	9m (2 storeys) or match the height of an existing adjoining double storey building

#### BUILDING HEIGHT

Land	Preferred maximum building height	Mandatory maximum building height
Precinct 1 - 306 Hawthorn Road and 379-385 Hawthorn Road	15m (4 storeys)	
Precinct 1 - 312-336 Hawthorn Road, 365-369 Hawthorn Road and 396-414 Hawthorn Road	18m (5 storeys)	

## GLEN EIRA PLANNING SCHEME

Land	Preferred maximum building height	Mandatory maximum building height
Precinct 1 - All other land	21m (6 storeys)	
Precinct 2	18m (5 storeys)	
Precinct 3		15m (4 storeys)
Precinct 4 - 542-636 Glenhuntly Road	15m (4 storeys)	
Precinct 4 - 649-697 Glenhuntly Road	21m (6 storeys)	
Precinct 4 - All other land	18m (5 storeys)	

### BUILDING SETBACKS

Land	Minimum building setbacks
All precincts	<p>Where sites directly abut a residential zone, provide setbacks in accordance with Diagram 1 below.</p> <p>Where sites abut a laneway directly abutting a residential zone, provide setbacks in accordance with Diagram 2 below.</p>
Precinct 1	<p>Zero front and side setbacks for development up to the height of the street wall.</p> <p>5m setback from the street frontage for development above the street wall.</p> <p>For corner sites, 3m setback to the secondary street frontage for development above the street wall.</p>
Precinct 2	<p>Zero front and side setbacks for development up to the height of the street wall.</p> <p>5m setback from the street frontage for development above the street wall.</p> <p>For corner sites, 3m setback to the secondary street frontage for development above the street wall.</p>
Precinct 3 - 707 Glenhuntly Road	<p>6m front setback for development up to the height of the street wall.</p> <p>Side setbacks for development up to the street wall to respond to the Holy Cross Church setting and built form.</p>
Precinct 3 - All other land	<p>Zero front and side setbacks for development up to the street wall.</p> <p>5m setback from the street frontage for development above the street wall.</p> <p>For corner sites, 3m setback to the secondary street frontage for development above the street wall.</p>
Precinct 4 - 701-703 Glenhuntly Road	<p>6m front setback for development up to the height of the street wall.</p> <p>Side setbacks for development up to the street wall to respond to the Holy Cross Church setting and built form.</p>
Precinct 4 - All other land	<p>Zero front and side setbacks for development up to the height of the street wall.</p> <p>5m setback from the street frontage for development above the street wall.</p>

Land	Minimum building setbacks
	For corner sites, 3m setback to the secondary street frontage for development above the street wall.

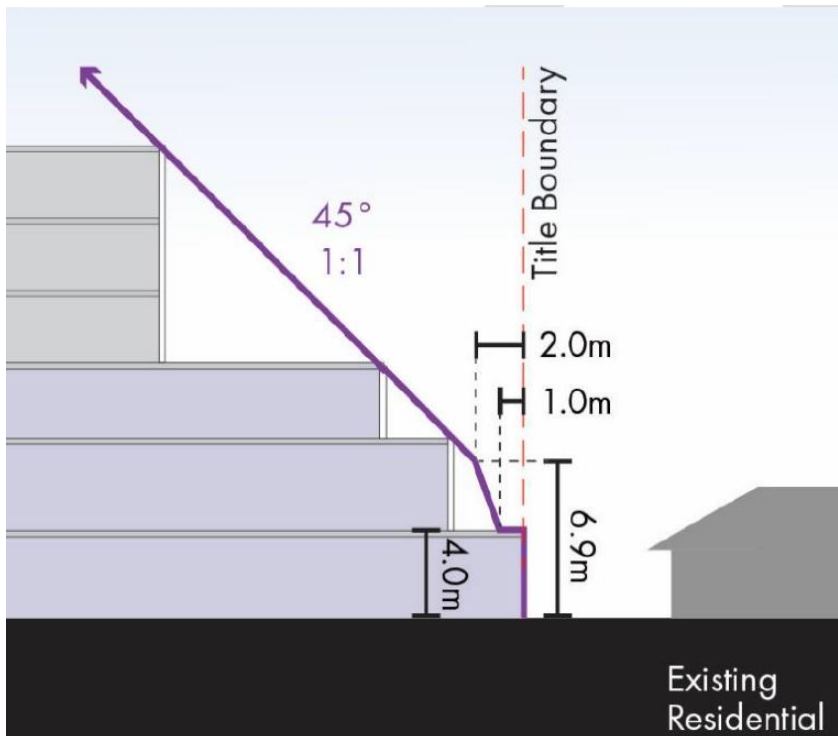


Diagram 1 - Direct interface to abutting residential zone

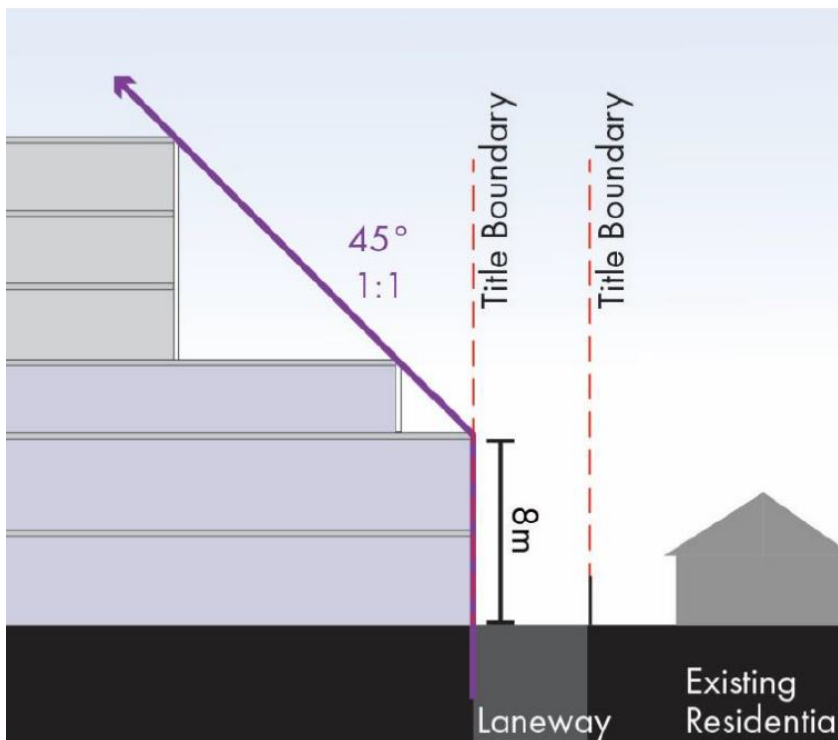


Diagram 2 - Direct interface to laneway abutting residential zone

### BUILDING FORM AND DESIGN

Design building and roof top services to be screened from the public realm and communal open spaces.

Building height excludes roof top services including plant rooms, air conditioning, lift overruns and roof mounted equipment.

Provide a minimum floor to floor height of 4m at ground level for land in a commercial zone.

Design buildings to minimise their visual bulk through recesses, articulation and materiality.

Design buildings to reflect the existing fine grain pattern (narrow shopfronts) within the centre by incorporating separate ground floor tenancies, and vertically and horizontally modulated forms that integrate with the streetscape context.

Integrate roof forms with the overall building facade design.

Use materials that do not generate glare and can withstand the effects of weathering.

Incorporate Environmentally Sustainable Design principles in all development.

Avoid repetitive stepped building forms by providing a common street and rear setback for a minimum of 65% of the upper levels above the street wall. This applies to both street and rear interfaces. Refer to Diagram 3 below.

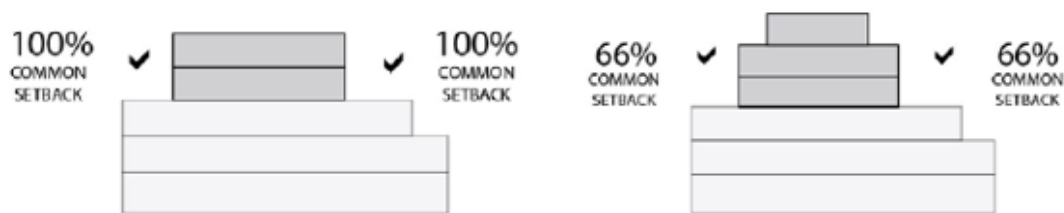


Diagram 3 - Consolidated upper level setbacks

### BUILDING SEPARATION

Where development shares a common side boundary, development above 3 storeys should:

- Be setback a minimum of 4.5m from the common boundary, where a habitable window or balcony is proposed.
- Be setback a minimum of 3m from the common boundary where a commercial or non-habitable window is proposed.

### HERITAGE DESIGN

The following applies to development within an existing Heritage Overlay or abutting an existing Heritage Overlay.

Where land is affected by a Heritage Overlay or abuts a Heritage Overlay design street wall facade details for infill buildings and new buildings to:

- Be simple and not compete with the detailing of the adjoining heritage buildings.
- Respect the vertical proportions of the heritage streetscape and adjoining buildings.

Adaptation and reuse of heritage buildings should:

- Maintain existing openings and avoid highly reflective glazing in historic openings.
- Encourage the retention of solid built form behind retained facades and avoid balconies behind existing openings.
- Maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings.

Design development above the street wall on land within a Heritage Overlay or abutting a Heritage Overlay to:

- Be visually recessive and not dominate the heritage building and streetscape.
- Use materials and finishes that have textures and colours that allow them to be visually recessive.

- Incorporate simple architectural detailing that does not detract from the heritage buildings and streetscape.
- Reflect the fine-grain pattern of subdivision of the streetscape.

Where development adjoins a heritage building, match the existing street wall height of the heritage building.

### INTERFACE WITH PUBLIC REALM AND WEATHER PROTECTION

Provide a minimum of 80% of the building façade at ground floor level with a permeable façade incorporating windows and door openings with clear glazing to areas identified as 'Key Public Realm Areas'.

Design verandahs on all buildings located in the 'Weather Protection Areas' to avoid damage from passing vehicles, by providing verandahs at:

- A height above the footpath that provides effective weather protection, generally between 3m and 4m and consistent with adjoining sites.
- A minimum setback of 750mm from the kerb line.

Design verandahs to minimise the potential for visual clutter from light fittings, service cables and under awning signage.

Design development on corner sites to actively address both frontages at street level.

Design upper levels of buildings to provide habitable rooms with windows or balconies that overlook the public realm.

Where possible, design buildings fronting laneways to provide passive surveillance with a permeable façade, including windows and door openings.

Ensure car parking is not visible from the street by incorporating design measures such as sleeving or providing basement parking.

### ACCESS AND SERVICES

Locate and design pedestrian entries to buildings to be clearly visible and easily identifiable from the street and accessible for all abilities.

Provide loading, service access and car park access from laneways and secondary streets.

Avoid and minimise building services and utilities at ground floor street frontages to prioritise active frontages at these locations.

### LANDSCAPING

Provide communal garden spaces at podium and roof top levels where appropriate that take into consideration aspect, materials and solar orientation.

#### 3.0

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#### Subdivision

None specified.

#### 4.0

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#### Advertising signs

None specified.

#### 5.0

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#### Application requirements

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report detailing how the proposed development responds to the design objectives and requirements of this schedule.

## 6.0

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### Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- For any application seeking to vary the preferred maximum building height:
  - Whether the design minimises the visibility/visual intrusion of additional levels above the preferred building height.
  - Whether the development creates no additional amenity impacts to residentially zoned properties, beyond that which would be generated by a proposal that complies with the preferred building height.
- Whether any variations to the preferred building height, street wall height or front or side setbacks would further reduce sunlight access (compared to proposals that comply with the preferred front and side setbacks) to the:
  - Eastern footpath of Hawthorn Road from 12pm - 2pm on September 22 for properties on the west side of Hawthorn Road.
  - Western footpath of Hawthorn Road from 10am - 12pm on September 22 for properties on the east side of Hawthorn Road.
  - Southern footpath of Glenhuntly Road from 10am on September 22 for properties on the north side of Glenhuntly Road.
- Whether any variation to the street wall height maintains a visual consistency with surrounding development and the human scale of the centre
- Whether any variations to the rear setbacks protects the amenity of surrounding residentially zoned properties used for residential purposes.
- If roof decks are proposed, whether they are set back from lower levels and are recessive in appearance.
- Whether the proposal has provided for the amenity of dwellings on the site and the development potential of neighbouring properties.
- Whether the proposal achieves acceptable internal amenity for future development on adjoining lots through building separation and design.

## GLEN EIRA PLANNING SCHEME

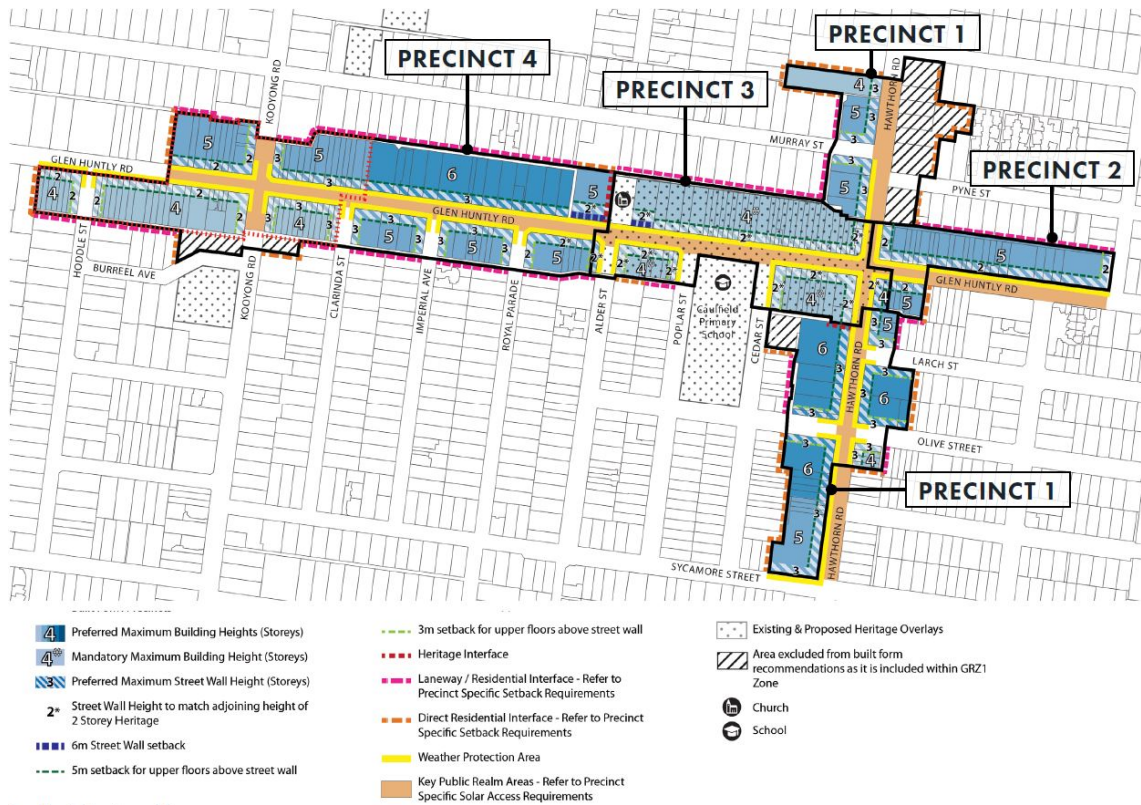


Diagram 4 - Caulfield South Built Form Framework Plan