

GLEN EIRA PLANNING SCHEME

INCORPORATED DOCUMENT

Caulfield Racecourse (Works Packages 3-5),
Station Street, Caulfield East

November 2021

This document is an incorporated document in the Glen Eira Planning Scheme under section 6(2)(j) of the *Planning and Environment Act 1987*.

1.0 INTRODUCTION

This document is an incorporated document in the Schedules to Clauses 45.12 (Specific Controls Overlay) and 72.04 (Documents Incorporated in this Planning Scheme) of the Glen Eira Planning Scheme (the scheme).

This incorporated document facilitates the delivery of Caulfield Racecourse Works Packages 3,4 and 5 (the **Project**), which are defined as:

- Works Package 3 (Northern Precinct Public Realm and Clubhouse)
- Works Package 4 (New Administration Building)
- Works Package 5 (Second track, lighting for night racing and associated facilities).

The land identified in Clause 3.0 of this document may be used and developed in accordance with the specific controls and clauses contained in Clauses 5.0 and 6.0 of this document.

The provisions of this document prevail over any contrary or inconsistent provision in the scheme.

2.0 PURPOSE

The purpose of this document is to facilitate the development of the land described in Clause 3.0 of this document for the development of land for buildings and works at the Caulfield Racecourse, generally in accordance with the plans approved in Clause 5.0 of this document and subject to the clauses at Clause 6.0 of this document.

3.0 LAND

The control in this document applies to land affected by Specific Controls Overlay Schedule 7 (SCO7) as shown in Planning Scheme Maps 1SCO and 2SCO and identified in Figure 1 below.

The control in this document applies to land at Station Street, Caulfield East, known as Caulfield Racecourse, formally described as: Volume 12337 Folio 299, 132-140 Kambrook Road, Caulfield East, PC380965W Parish of Caulfield (freehold land); Volume 11766 Folio 669, Crown Allotment A, Parish of Prahran at Caulfield (Crown land), that is affected by the Specific Controls Overlay (SCO7).

The control in this document primarily applies to Crown land. A smaller section of freehold land, in the ownership of the Victoria Amateur Turf Club (incorporating the Melbourne Racing Club), is also partially affected.

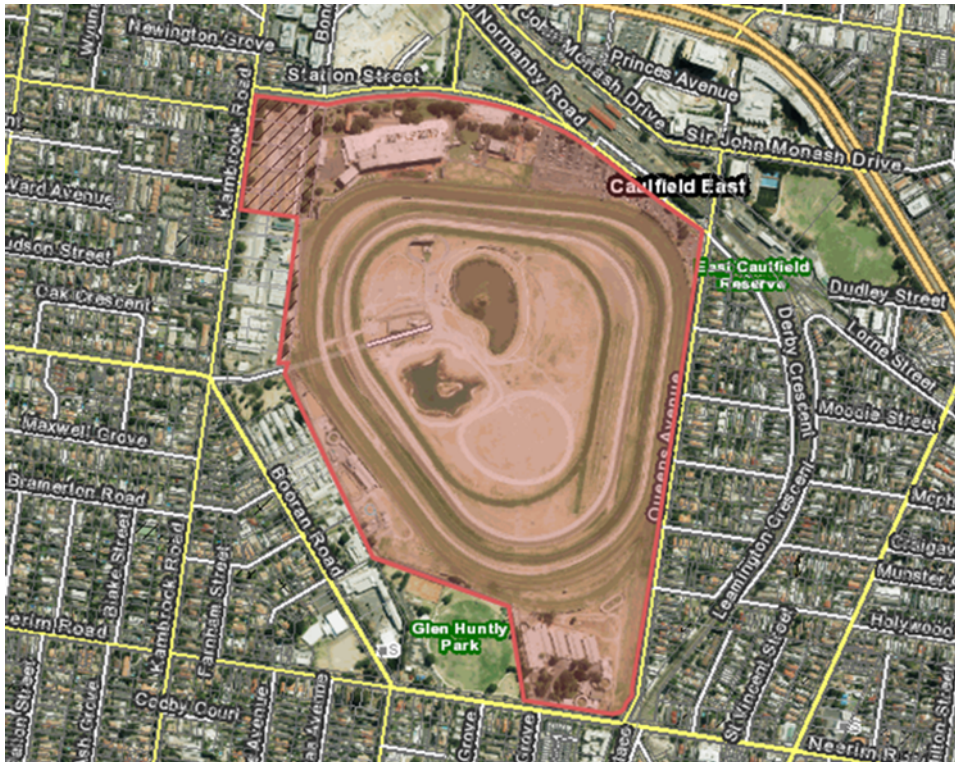


Figure 1: Land subject to the incorporated document highlighted in red.

4.0 EXEMPTION FROM PLANNING SCHEME REQUIREMENTS

Despite any provision to the contrary or any inconsistent provision in the planning scheme, no planning permit is required for, and no planning provision in the planning scheme operates to prohibit, restrict or regulate the development of land for the purposes of the project as described in Clauses 5.0 and 6.0 of this document.

5.0 THIS DOCUMENT ALLOWS

This document allows for buildings and works associated with the project, including the following:

- Patron arrival area and public forecourt
- Demolition of the existing Glasshouse building and works to the Clubhouse building
- Mounting yards, parade ring and associated race day facilities
- Administration building at the western end of the precinct
- Second track, lighting towers, maintenance facilities and associated infrastructure
- Upgrades to the existing track
- Upgrades to the existing fence
- Landscape works
- Tree removal and relocation
- Associated demolition works.

The development of the land must be generally in accordance with the following plans as endorsed by the Minister for Planning, and modified to include any changes required by Clause 6.0 of this incorporated document:

- Architectural Plans (WP3 and 4: Public Realm & Administration) prepared by Hassell Ltd (9 June 2021)
- Architectural Plans (WP3: Clubhouse Building) prepared by Techne (20 April 2021)

- Architectural Plans (WP5), Second Track & Lighting) prepared by Dalton Consulting Engineers (9 June 2021)
- Architectural Plans (WP5b: Track Maintenance) prepared by Bayley Ward (Rev 3, dated 15 September 2021)
- Light Spill Report (WP5) prepared by Arup (4 June 2021)
- Waste Management Plan (WP3 and 4) prepared by WSP (May 2021)
- Traffic Statement (WP3 and 4), prepared by Ratio Consultants (9 June 2021)
- Traffic Statement (WP5), prepared by Ratio Consultants (8 June 2021)
- ESD Report (WP3 and 4) prepared by WSP, Revision 1 (21 April 2021)
- Caulfield Racecourse Tree Strategy (WP3-5), prepared by Urbis (Rep 02, 6 August 2021)
- Caulfield Racecourse (WP3 and 4) Heritage Impact Statement prepared by Lovell Chen (June 2021)
- Any other plans required to be endorsed by Clause 6.0 of this incorporated document.

And including any amendment of the plans that may be approved from time to time under the requirements of this document.

Any amendment to the plans which affects land in the Public Park and Recreation Zone, by a person other than the relevant public land manager, must be accompanied by the written consent of the public land manager, indicating that the public land manager consents generally or conditionally either the amendment being requested or the amendment and to the proposed development.

Once approved, these plans will be the endorsed plans.

For avoidance of doubt, any plans endorsed by the Minister for Planning pursuant to any clause of this document may be amended with the written consent of the Minister for Planning.

Any plans endorsed by the Responsible Authority may be amended with the written consent of the Responsible Authority.

6.0 THE FOLLOWING REQUIREMENTS APPLY TO THIS DOCUMENT:

Amended plans

1. Prior to the commencement of development associated with Work Package 3 and 4, excluding demolition, bulk excavation and early site preparation works, an electronic set of plans, drawn to scale, must be submitted to, and approved by the Minister for Planning (with consultation with the Responsible Authority, as appropriate). The plans must be generally in accordance with the drawings prepared by Hassell Ltd (WP3 and 4, dated 9 June 2021) and Techne (WP3, dated 20 April 2021), but modified to show:
 - a) Existing access points into the centre of the course as being retained.
 - b) The two existing underpasses.
 - c) A schedule of construction materials, external finishes and colours.
 - d) Details of proposed fencing, including heights and materials.
 - e) Location of external vehicle crossings.
 - f) Any changes as required as a result of a Car Park and Traffic Management Plan.
 - g) The interface of the patron arrival area with Station Street showing details of pavement widths, surface treatment, kerb and channel and road infrastructure items.

- h) Demolition Plan (TP-1100) and WP4 Demolition Plan (TP-5005) updated to clearly show extent of demolition, including a key to identify each type of shading and for both WP3 and WP4 demolition plans, include the name each building/structure proposed to be demolish (where known), generally consistent with plans provided to DELWP on 29 November 2021.
 - i) These amended plans must be to the satisfaction of the Minister for Planning and when approved shall be the endorsed plans of this document.
2. Prior to the commencement of development associated with Works Package 5, excluding demolition, bulk excavation and early site preparation works, an electronic set of plans, drawn to scale, must be submitted to, and approved by the Responsible Authority. The plans must be generally in accordance with the drawings prepared by Dalton Consulting Engineers (WP5, dated 9 June 2021) and Bayley Ward (WP5b, dated 15 September 2021), but modified to show:
- a) If required, minor modifications to the proposed light tower locations to allow for the current design of the criterium circuit.
 - b) Light tower plans, including an elevation of each tower (dimensioned), site plan showing where each of the type of towers will be located generally consistent with plans provided to DELWP on 29 November 2021.
 - c) Any changes as required as a result of a Light Spill Management Plan.

These amended plans must be to the satisfaction of the Responsible Authority and when approved shall be the endorsed plans of this document.

Staging

3. The development and corresponding requirements arising under this document may be completed in stages (Works Packages).

Landscaping

4. Prior to the commencement of the landscaping works, a landscape plan prepared by a suitably qualified or experienced person, to the satisfaction of the Responsible Authority, must be submitted to and approved by the Responsible Authority. The plan must be drawn to scale and show:
- a) All existing vegetation to be retained, along with tree protection measures as per Condition 7.
 - b) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, plant sizes at maturity, and quantities of each plant.
 - c) All-abilities paving treatments.
 - d) The planting of shade trees.
 - e) Details of measures to improve water quality run off.
5. The landscape plan must be to the satisfaction of the Responsible Authority and when approved will form part of this approval.
6. Prior to any demolition, excavation or construction works, a Tree Protection Zone (TPZ) must be established around any tree to be retained to the standard and conditions prescribed in AS 4970-2009 (Protection of Trees on Development Sites). The TPZ must remain in place until the development is completed, and no works are to occur in the TPZ unless otherwise agreed in writing by the Responsible Authority.

Car Parking and Traffic Management Plan

7. Prior to carparking works, excluding demolition, bulk excavation and early site preparation works, a revised Car Parking and Traffic Management Plan generally in accordance with the traffic statement prepared by Ratio Consultants dated June 2021 must be submitted to and approved the Responsible Authority. The revised Car Parking and Traffic Management Report must:
- a) Identify the total number of car and bicycle parking spaces and bicycle facilities provided;

- b) Amended car park plans identifying width and length of car spaces in each row and widths of all accessways.
- c) Amended car park plans showing swept path diagrams showing vehicles can enter and exit car spaces adjacent to garden beds/walls efficiently.
- d) Demonstrate compliance with relevant car park design standards outlined in Clause 52.06-9 of the Glen Eira Planning Scheme and / or other relevant Australian and New Zealand standards;
- e) Address the location and design of the upgraded vehicle crossings on Station Street, including pedestrian safety.

All traffic mitigation works and management measures as recommended in the revised Car Parking and Traffic Management Report must be implemented to the satisfaction of and at no cost to the Responsible Authority.

Construction Management Plans

8. Prior to the commencement of development associated with each Work Package (excluding demolition, bulk excavation and early site preparation works), a Construction Management Plan (CMP) must be submitted to and approved by the Minister for Planning (with consultation with the Responsible Authority, as appropriate). The CMP must provide details of the following:
 - a) delivery and unloading points and expected frequency;
 - b) truck haulage routes, circulation spaces and queuing lanes;
 - c) details how traffic and safe pedestrian access will be managed;
 - d) a liaison officer for contact by owners / residents and the Responsible Authority in the event of relevant queries or problems experienced;
 - e) an outline of requests to occupy public footpaths or roads, or anticipated disruptions to local services;
 - f) any requirements outlined within this approval as required by the relevant referral authorities;
 - g) hours for construction activity in accordance with any other condition of this approval;
 - h) measures to control noise, dust, water and sediment laden runoff;
 - i) measures to ensure that sub-contractors/tradespersons operating on the site are aware of the contents of the Construction Management Plan;
 - j) any construction lighting to be baffled to minimise intrusion on adjoining lots.

When the CMP is approved, it will become an endorsed plan forming part of this approval and must not be varied except with the written approval of the Minister for Planning.

The endorsed CMP must be complied with at all times to the satisfaction of the Minister for Planning.

Waste Management Plan

9. Prior to the commencement of the development associated with Works Packages 3 and 4, excluding demolition, bulk excavation and early site preparation works, an amended Waste Management Plan (WMP) must be submitted to and approved by the Responsible Authority. The amended WMP must be generally in accordance with the Waste Management Plan prepared by WSP and dated 18 May 2021 and include the following:
 - a) Details of the collection of waste associated with WP3 and 4, including:

- i. the provision of bulk waste collection bins or approved alternative,
 - ii. recycling bins,
 - iii. the storage of other refuse and solid wastes in bins or receptacles within suitable screened and accessible areas to the satisfaction of the Responsible Authority,
 - iv. Commercial waste bins being placed or allowed to remain not in view of the public, and receptacles not emitting any adverse odours;
- b) designation of methods of collection including the need to provide for private services or utilisation of council services. If private collection is used, this method must incorporate recycling services and must comply with the relevant EPA noise guideline relating to the time of collection;
 - c) appropriate areas of bin storage on site and areas of waste bin storage on collection days;
 - d) details for best practice waste management once operating; (e) details of how the immediate area will not be impacted by noise, smell and pollution from the waste areas.

The endorsed WMP must be complied with at all times to the satisfaction of the Responsible Authority.

Light Spill Management Plan

10. Prior to the commencement of development associated with Works Package 5, excluding demolition, bulk excavation and early site preparation works, or as otherwise agreed in writing by the Responsible Authority, a Light Spill Management Plan must be submitted to and approved by the Responsible Authority. Unless otherwise agreed in writing by the Responsible Authority this plan must be generally in accordance with the Light Spill Report prepared by Arup (4 June 2021) updated to include the following:

- a. Demonstrate how light spill from the new light poles will be managed to minimise impacts on the surrounding area;
- b. Details of how the new light poles are designed and located to minimise spilling onto adjoining residential land, including provision of a site context plan;
- c. The days and hours of operation of the new light poles;

The endorsed Light Spill Management Plan must be complied with at all times to the satisfaction of the Responsible Authority

11. Unless otherwise agreed in writing by the Responsible Authority, the track lighting associated with night racing will operate:

- a. For up to 15 night / evening race meets per calendar year (must not be consecutive days); and
- b. From late afternoon, until the final race of the evening has been completed (10.45 pm limit).
- c. In the event of an emergency, unforeseen delays due to weather, or for patron safety, the track lighting associated with night racing can remain operational past the expected race completion time, to the satisfaction of the Responsible Authority.

Stormwater and drainage

12. Drainage, including associated connecting drainage, must be to the satisfaction of the Responsible Authority.

13. The location of stormwater treatment measures including water sensitive urban design elements.

14. No buildings or works to be constructed over any easement or other restriction on the land or any sewers, drains, wires or cables under the control of a public authority or the responsible authority without the prior written consent of the relevant authority with a vested interest in the easement.

15. Any new or modified stormwater connections to the drainage system must obtain separate approval from the relevant service authority.

Documentation of cultural heritage assets to be removed or altered

16. Prior to commencement of any development associated with Works Packages 3 and 4, all culturally significant assets on the site to be removed, altered or demolished, must be recorded, generally in accordance with the recommendations in Caufield Racecourse Works Packages 3 and 4 Heritage Impact Statement prepared by Lovell Chen (June 2021), with details to be provided to the Responsible Authority and the Caufield Racecourse Reserve Trust.

7.0 EXPIRY

7.1 The control in this document expires if any of the following circumstances apply:

- a. The development allowed by this control is not started within two years of the date of gazettal of the amendment.
- b. The development allowed by this control is not completed within four years of the date of gazettal of the amendment.

The Responsible Authority may extend these periods if a request is made in writing before the expiry dates or within six months afterwards.